

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

June 23, 2021

Portsmouth Planning Board  
Attn: Dexter Legg  
1 Junkins Avenue, Suite 3<sup>rd</sup> Floor  
Portsmouth, NH 03801

**RE: Conceptual Application  
1169 & 1171 Sagamore Avenue, Portsmouth, NH  
Tax Map 224, Lots 4 & 15  
JBE Project No. 21047**

Dear Mr. Legg,

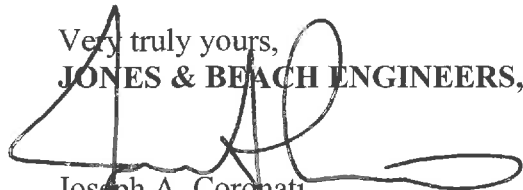
Jones & Beach Engineers, Inc., respectfully submits a Conceptual Application on behalf of the applicant, The Sagamore Group, LLC. The intent of this application is to remove existing structures as shown on Sheet C1 and construct a 10-unit condominium complex. The units are 2 duplex style homes with 6 single-family homes. All units will have a 2-car garage with space for 2 cars in the driveways. The private driveway is proposed as one-way traffic and will be 20' wide. This project to be served by electric, gas, municipal water & sewer.

The following items are provided in support of this Application:

1. Completed Conceptual Application (submitted online).
2. Letters of Authorization.
3. Test Pits.
4. Current Deeds.
5. Architectural Plans.
6. Two (2) Full Size Plan Sets Folded.
7. One (1) Half Size Plan Set Folded.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**



Joseph A. Coronati  
Vice President

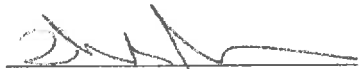
cc: Michael Garrepy, (via email)  
Mick Khavari (via email)  
Michael Fecteau (via email)  
Tim Phoenix, Hoefle, Phoenix & Gormley & Roberts (via email)

**Letter of Authorization**

The Sagamore Group, LLC, 4 Merrill Industrial Drive, Hampton, NH, 03842, USA, developer of property located in Portsmouth, NH, known as Tax Map 224, Lots 14 & 15, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on our behalf concerning the subject properties. The parcels are located at 1169 & 1171 Sagamore Avenue in Portsmouth, NH.

We hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

The Sagamore Group, LLC

  
Daniel Jackson, Member  
Duly authorized

5/4/21  
Date

### Letter of Authorization

We, John & Colleen Hebert, 54 Pioneer Road, Rye, NH 03870, owners of property located in Portsmouth, NH, known as Tax Map 224, Lot 15, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on 1169 Sagamore Avenue in Portsmouth, NH.

We hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Witness

*John J. Hebert* dotloop verified  
05/04/21 2:47 PM EDT  
SE1G-MUAR-1SWP-P2NG

John Hebert

Date

Witness

*Colleen Hebert* dotloop verified  
05/04/21 2:49 PM EDT  
Q1BG-ZMLM-FJPK-BAFX

Colleen Hebert

Date

### Letter of Authorization

I, Colleen Hebert, 54 Pioneer Road, Rye, NH 03870, owner of property located in Portsmouth, NH, known as Tax Map 224, Lot 14, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously-mentioned property. The parcel is located on 1171 Sagamore Avenue in Portsmouth, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Witness \_\_\_\_\_

*Colleen Hebert* dotloop verified  
05/04/21 2:49 PM EDT  
RL55-SIAZ-YME-YU8D

Colleen Hebert \_\_\_\_\_

Date \_\_\_\_\_

KNOW ALL MEN BY THESE PRESENTS, That Norman J. Smith, of P.O. Box 95, Portsmouth, County of Rockingham and State of New Hampshire,

BK2418 P0173

for consideration paid, grant to Colleen M. Hebert of 1169 Sagamore Avenue, Portsmouth, County of Rockingham and State of New Hampshire,

with warranty covenants

A certain parcel of land, together with the buildings thereon, situate on the Westerly side of Sagamore Avenue, so-called, in Portsmouth in the County of Rockingham and State of New Hampshire, more particularly bounded and described as follows:

Beginning in the Westerly sideline of the Avenue at land now or formerly of Haven L. Joy; thence running Westerly by other land of Joy, Two Hundred Ninety-three and Five Tenths (293.5) feet to land now or formerly of Ralph W. Junkins Est. et als; thence turning and running Northerly by other land of Junkins et als One Hundred Twenty-six and Thirty-two Hundredths (126.32) feet to a point at other land now or formerly of John J. and Harriet Scammon; thence turning and running Easterly by other land of Scammon Three Hundred (300) feet, more or less, to the Westerly sideline of the Avenue, thence running Southerly by the sideline Forty-seven and Sixty-five Hundredths (47.65) feet to a point, thence running Southeasterly by the sideline Forty-nine and Eight Hundredths (49.08) feet to land of Joy which is the point of beginning.

Being the same premises conveyed to Norman J. Smith and Janet S. Smith by deed of John J. Scammon et al dated July 24, 1954 and recorded in the Rockingham County Registry of Deeds in Book 1323 Page 324.

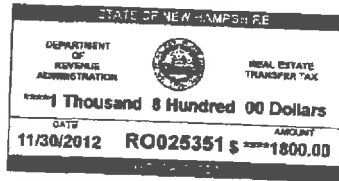


Norman J. Smith, being single ~~husband~~ ~~XXXXXXXXXXXXXXXXXXXX~~ ~~and grants~~ all rights of ~~curtesy~~ ~~dower~~ and ~~homestead~~ and other interests therein  
Witness, my hand ~~XXXXXXXX~~ this 29th day of July 1982.

Witness  
*Judith A. Gile* *Norman J. Smith*  
Norman J. Smith  
L.S.  
L.S.  
L.S.

State of New Hampshire  
Rockingham ss: July 29 A.D. 1982  
Personally appeared Norman J. Smith,  
known to me, or satisfactorily proven to be the person whose name  
subscribed to the foregoing instrument and acknowledged that he executed the same  
for the purposes therein contained  
Notary Public: *Judith A. Gile*  
Notary of the Peace

14391  
JUL 29 2 56 PM '82



061594

**WARRANTY DEED**

**KNOW ALL PERSONS BY THESE PRESENTS THAT I, ROBERT F. SCAMMON, JR.**, single and not a party to a civil union, of 1169 Sagamore Avenue, Portsmouth, New Hampshire, 03801

For consideration paid, grant to **JOHN J. HEBERT AND COLLEEN HEBERT**, husband and wife, of 54 Pioneer Road, Rye, New Hampshire, 03870, as joint tenants with rights of survivorship,

With Warranty Covenants, the following described premises situate in Portsmouth, Rockingham County, New Hampshire:

A certain lot or parcel of land with the buildings thereon situate on Sagamore Avenue, City of Portsmouth, County Rockingham and State of New Hampshire, bounded and described as follows:

Beginning at the concrete bound at the Northeasterly corner of the within described lot, the said bound being Four Hundred Seventy-nine (479) feet southerly along said Sagamore Avenue from the southeasterly corner of land now or formerly of Charles F. Moody; thence running Southerly twenty-four (24) degrees thirty-four (34) minutes west along said Sagamore Avenue one hundred (100) feet to a stake in the stone wall at other land now or formerly of Allen B. Keen; thence turning and running N 83° 43' W by other land of said Keen 300 feet to a stake; thence turning and running N 24° 30' E 100 feet by land now or formerly of Frank E. Brooks, etals; thence turning and running S 83° 43' E by land of said Brooks and other 300 feet to Sagamore Avenue and being the point of beginning.

Also a parcel of land situated on Sagamore Avenue in said Portsmouth adjoining and lying on the northerly side of the above described parcel and bounded and described as follows:  
 Beginning at a concrete bound at the southeasterly corner of these premises at land described above, said bound being 479 feet southerly along said Sagamore Avenue from the southeasterly corner of land now or formerly of Charles F. Moody; thence running N 83° 43' W by the above described parcel 300 feet to a point of land now or formerly of Frank E Brooks et als; thence turning and running N 24° 30' E by other land of said Brooks and others 300 feet, more or less to

2012 NOV 30 PM 1:45

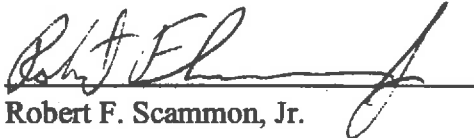
ROCKINGHAM COUNTY  
 REGISTRY OF DEEDS

said Sagamore Avenue; thence turning and running southerly along said Sagamore Avenue 50 feet to said concrete bound and being the point of beginning.

Also a parcel of land situated on Sagamore Avenue in said Portsmouth and bounded and described as follows: Beginning at the northeasterly corner of the herein described parcel at the intersection of the westerly sideline of said Sagamore Avenue and land now or formerly of Allen B. Keen, said point being 100 feet S 24° 34' W along said Sagamore Avenue from the concrete bound aforementioned; thence running southerly along said Avenue 25 feet to land now or formerly of Frank E. Brooks, et als; thence turning and running N 83° 43' W by land now or formerly Frank E. Brooks, et als 300 feet, more or less, to a point; thence turning and running N 24° 30' E 25 feet by land of said Brooks, et als, to a stake at other land now or formerly of Allen B. Keen; thence turning and running Southeast 83° 43' E by other land of said Keen 300 feet to Sagamore Avenue and being the point of beginning. This parcel adjoining and lying on the southerly side of the first described parcel herein.

Being the same premises conveyed to the within Grantor by deed of Barbara Scammon dated April 25, 1995, recorded in Rockingham County Registry of Deeds, Book 3097, Page 1715.

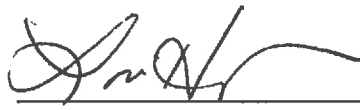
Signed this 30<sup>th</sup> day of November, 2012.

  
Robert F. Scammon, Jr.

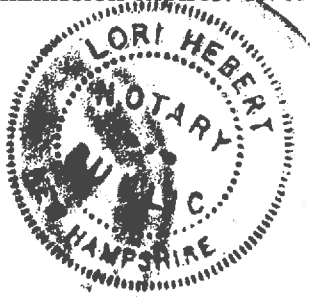
STATE OF NEW HAMPSHIRE  
ROCKINGHAM COUNTY

Personally appeared this 30<sup>th</sup> day of November \_\_\_\_\_, 2012, \_\_\_\_\_ Robert F. Scammon, Jr. \_\_\_\_\_, who acknowledged that he/she/they executed the foregoing instrument as his/her/their free act and deed for the purposes contained herein.

Before me,

  
Lori Hebert, Notary Public

My commission expires: 05/09/2017



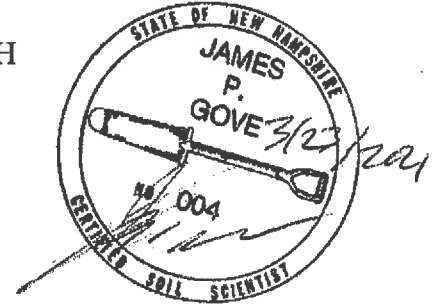




GOVE ENVIRONMENTAL SERVICES, INC.

TEST PIT DATA

Project 1169 & 1171 Sagamore Avenue, Portsmouth, NH  
 Client Garrepy Planning Consultants, LLC  
 GES Project No. 2021039  
 MM/DD/YY Staff 03-23-2021 JP Gove, CSS # 004



**Test Pit No.** 1 **Lot No.:**  
**ESHWT:** None Observed **WSPCD Group:**  
**Termination @** 60" **Roots to:**  
**Refusal:** Yes **SCS Soil:**  
**Obs. Water:** none **HIS Type:**

Depth	Color	Texture	Structure	Consistence	Redox
Fill - 0-12"	10YR3/2	SL	Gr	Fr	None
Fill - 12-35"	10YR3/3	SL	Gr	Fr	None
Apb - 35-45"	10YR3/2	SL	Gr	Fr	None
Bwb - 45-60"	10YR4/3	SL	Om	Fr	None
Bedrock - 60"					

**Test Pit No.** 2 **Lot No.:**  
**ESHWT:** None Observed **WSPCD Group:**  
**Termination @** 55" **Roots to:**  
**Refusal:** Yes **SCS Soil:**  
**Obs. Water:** none **HIS Type:**

Depth	Color	Texture	Structure	Consistence	Redox
Ap - 0-10"	10YR3/2	SL	Gr	Fr	None
Bw - 10-55"	7.5YR3/4	SL	Gr	Fr	None
Rippable Bedrock - 55"					

**Test Pit No.** 3 **Lot No.:**  
**ESHWT:** 31" **WSPCD Group:**  
**Termination @** 51" **Roots to:**  
**Refusal:** Yes **SCS Soil:**  
**Obs. Water:** none **HIS Type:**

Depth	Color	Texture	Structure	Consistence	Redox
Ap - 0-11"	10YR3/3	SL	Gr	Fr	None
Bw - 11-31"	10YR4/4	GRLS	Gr	Fr	None
Bw2 - 31-51"	7.5YR5/4	CBSL	Om	Fr	Yes
Rippable Bedrock - 51"					

**Test Pit No.** 4  
 ESHWT: None Observed  
 Termination @ 33"  
 Refusal: Yes  
 Obs. Water: none

Lot No.:  
 WSPCD Group:  
 Roots to:  
 SCS Soil:  
 HIS Type:

Depth	Color	Texture	Structure	Consistence	Redox
Ap - 0-11"	10YR3/2	SL	Gr	Fr	None
Bw - 11-33"	10YR4/4	CBSL	Gr	Fr	None
Bedrock - 33"					

**Test Pit No.** 5  
 ESHWT: None Observed  
 Termination @ 22"  
 Refusal: Yes  
 Obs. Water: none

Lot No.:  
 WSPCD Group:  
 Roots to:  
 SCS Soil:  
 HIS Type:

Depth	Color	Texture	Structure	Consistence	Redox
Ap - 0-10"	10YR3/3	SL	Gr	Fr	None
Bw - 10-22"	10YR4/4	CBSL	Gr	Fr	None
Bedrock - 22"					

**Test Pit No.** 6  
 ESHWT: None Observed  
 Termination @ 2"  
 Refusal: Yes  
 Obs. Water: none

Lot No.:  
 WSPCD Group:  
 Roots to:  
 SCS Soil:  
 HIS Type:

Depth	Color	Texture	Structure	Consistence	Redox
A - 0-2"	10YR3/2	CBSL	Gr	Fr	None
Bedrock 2"					

**Test Pit No.** 7  
 ESHWT: None Observed  
 Termination @ 21"  
 Refusal: Yes  
 Obs. Water: none

Lot No.:  
 WSPCD Group:  
 Roots to:  
 SCS Soil:  
 HIS Type:

Depth	Color	Texture	Structure	Consistence	Redox
A - 0-21"	10YR3/3	CBSL	Gr	Fr	None
Bedrock - 21"					

<b>Test Pit No.</b>	<b>8</b>	<b>Lot No.:</b>
<b>ESHWT:</b>	None Observed	<b>WSPCD Group:</b>
<b>Termination @</b>	31"	<b>Roots to:</b>
<b>Refusal:</b>	Yes	<b>SCS Soil:</b>
<b>Obs. Water:</b>	none	<b>HIS Type:</b>

Depth	Color	Texture	Structure	Consistence	Redox
Ap – 0-10"	10YR3/2	SL	Gr	Fr	None
Bw – 10-31"	10YR4/6	CBSL	Gr	Fr	None
Bedrock – 31"					

**Legend:**

GRLS = gravelly loamy sand

CBSL = cobbly sandy loam

SL= sandy loam

Gr = granular

Fr = friable

Om = massive

Ap = top soil

Bw = subsoil

Apb = buried topsoil

Bwb = buried subsoil



**1** EXTERIOR PERSPECTIVE  
EXAMPLE SINGLE UNIT

**2** EXTERIOR PERSPECTIVE  
EXAMPLE DUPLEX UNIT

PRELIMINARY  
**UNIT CONCEPT PLANS**

**1169 & 1171 SAGAMORE RD**  
PORTSMOUTH, NH 03801

ISSUE:

FOR REVIEW	06.23.2021

EXTERIOR PERSPECTIVE -  
EXAMPLE SINGLE &  
EXAMPLE DUPLEX

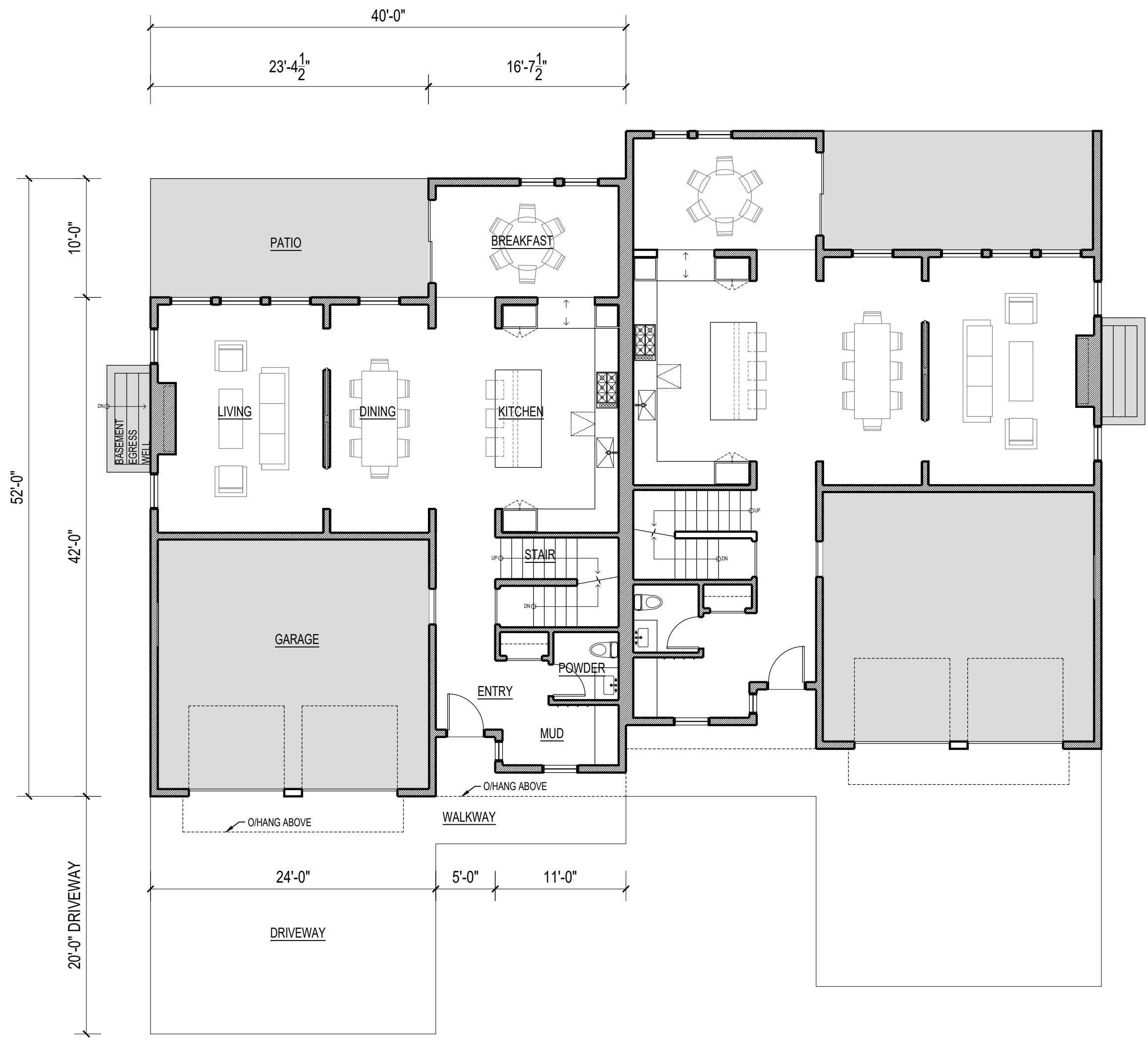
**CONCEPT**

PRELIMINARY  
**UNIT CONCEPT PLANS**  
1169 & 1171 SAGAMORE RD  
PORTSMOUTH, NH 03801

ISSUE:  
FOR REVIEW ..... 06.23.2021  
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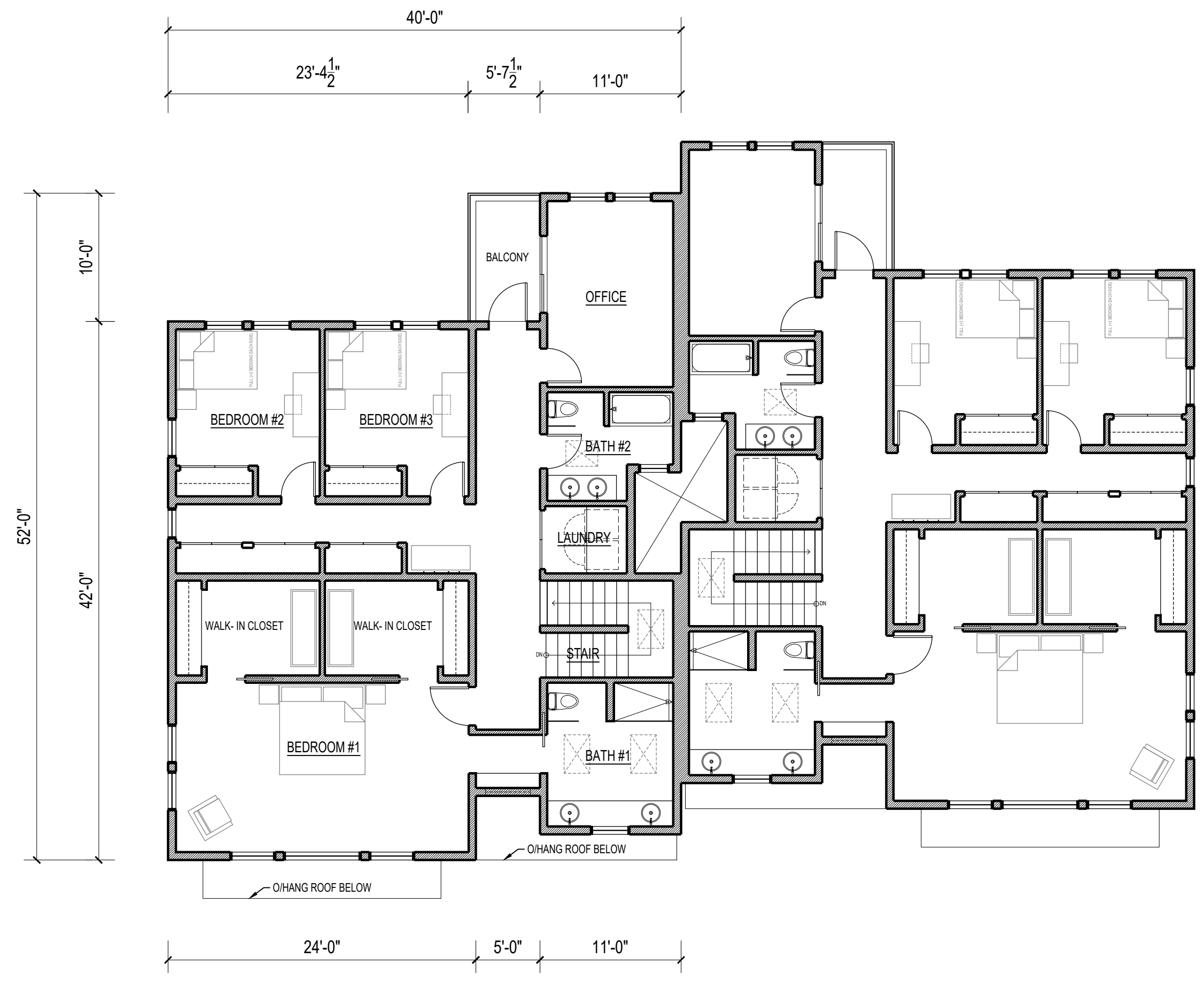
FLOOR PLANS -  
TWO ADJACENT UNITS  
FIRST & SECOND FLOOR  
(BASEMENT UNFINISHED/ NOT SHOWN)

**DUPLEX**  
**CONCEPT**



**1** FIRST FLOOR CONCEPT PLAN  
1/8" = 1'-0"  
EXAMPLE UNIT

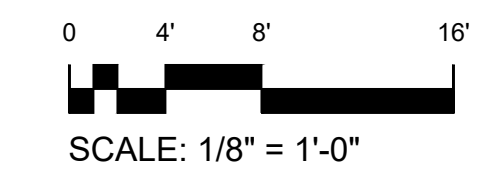
FIRST FLOOR CONCEPT PLAN  
1/8" = 1'-0"  
MIRRORED ADJ. UNIT



**2** SECOND FLOOR CONCEPT PLAN  
1/8" = 1'-0"  
EXAMPLE UNIT

SECOND FLOOR CONCEPT PLAN  
1/8" = 1'-0"  
MIRRORED ADJ. UNIT

EXAMPLE UNIT GROSS FLOOR AREA	
FIRST FLOOR:	1,246 SF
SECOND FLOOR:	1,673 SF
TOTAL	2,919 SF

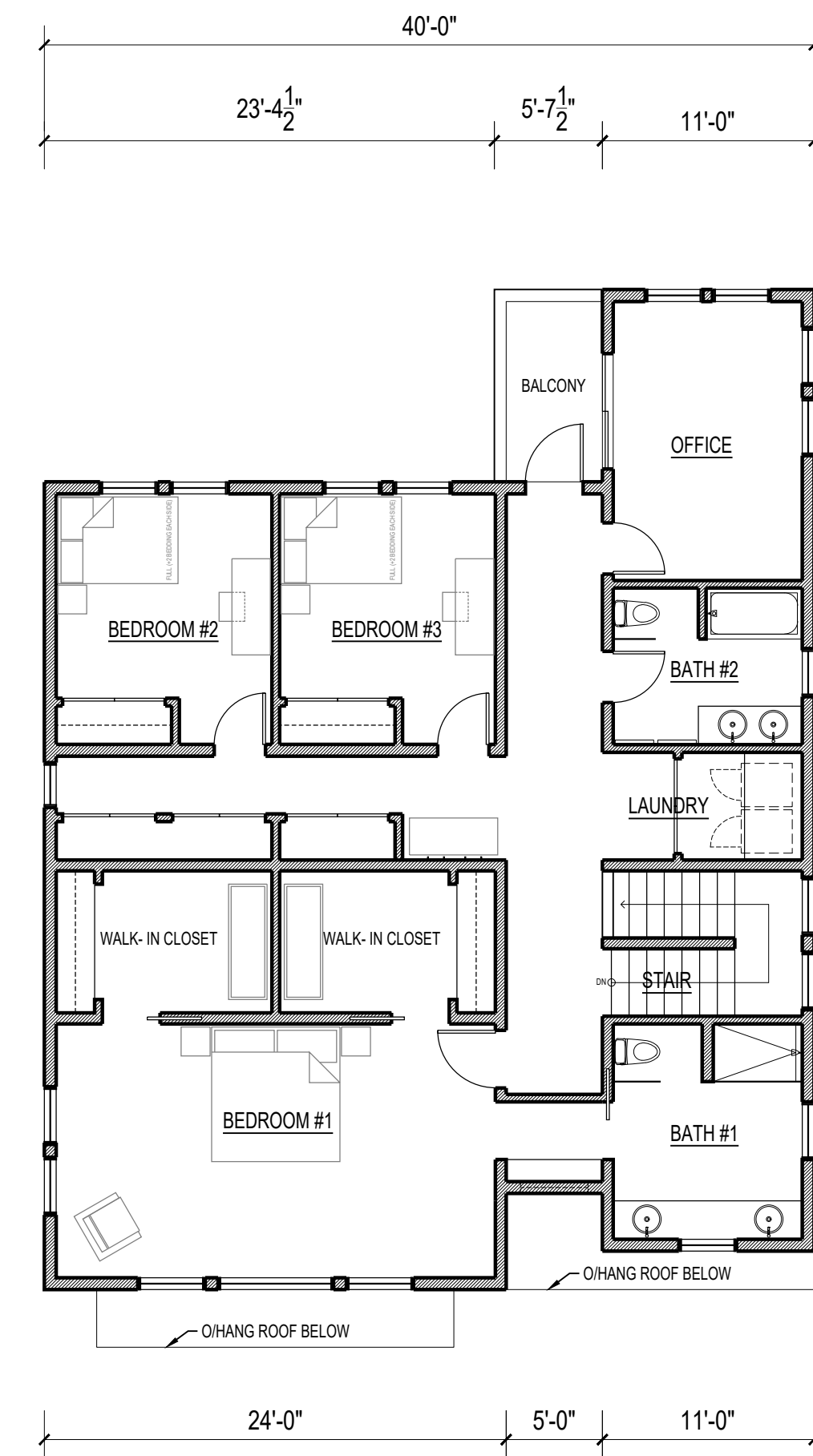


PRELIMINARY  
**UNIT CONCEPT PLANS**

**1169 & 1171 SAGAMORE RD**  
PORTSMOUTH, NH 03801

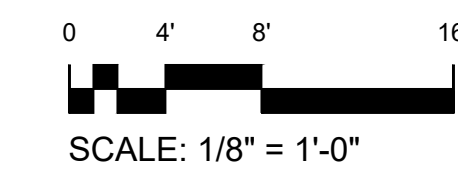


**1** FIRST FLOOR CONCEPT PLAN  
1/8" = 1'-0" EXAMPLE UNIT



**2** SECOND FLOOR CONCEPT PLAN  
1/8" = 1'-0" EXAMPLE UNIT

EXAMPLE UNIT GROSS FLOOR AREA	
FIRST FLOOR:	1,246 SF
SECOND FLOOR:	1,673 SF
TOTAL	2,919 SF



ISSUE:

FOR REVIEW	06.23.2021
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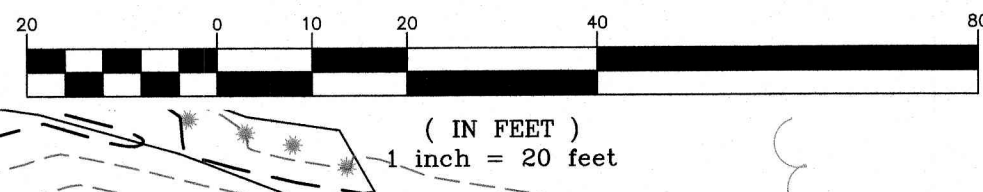
FLOOR PLANS -  
SINGLE DETACHED UNIT  
FIRST & SECOND FLOOR  
(BASEMENT UNFINISHED/ NOT SHOWN)

**SINGLE CONCEPT**

**PLAN REFERENCES:**

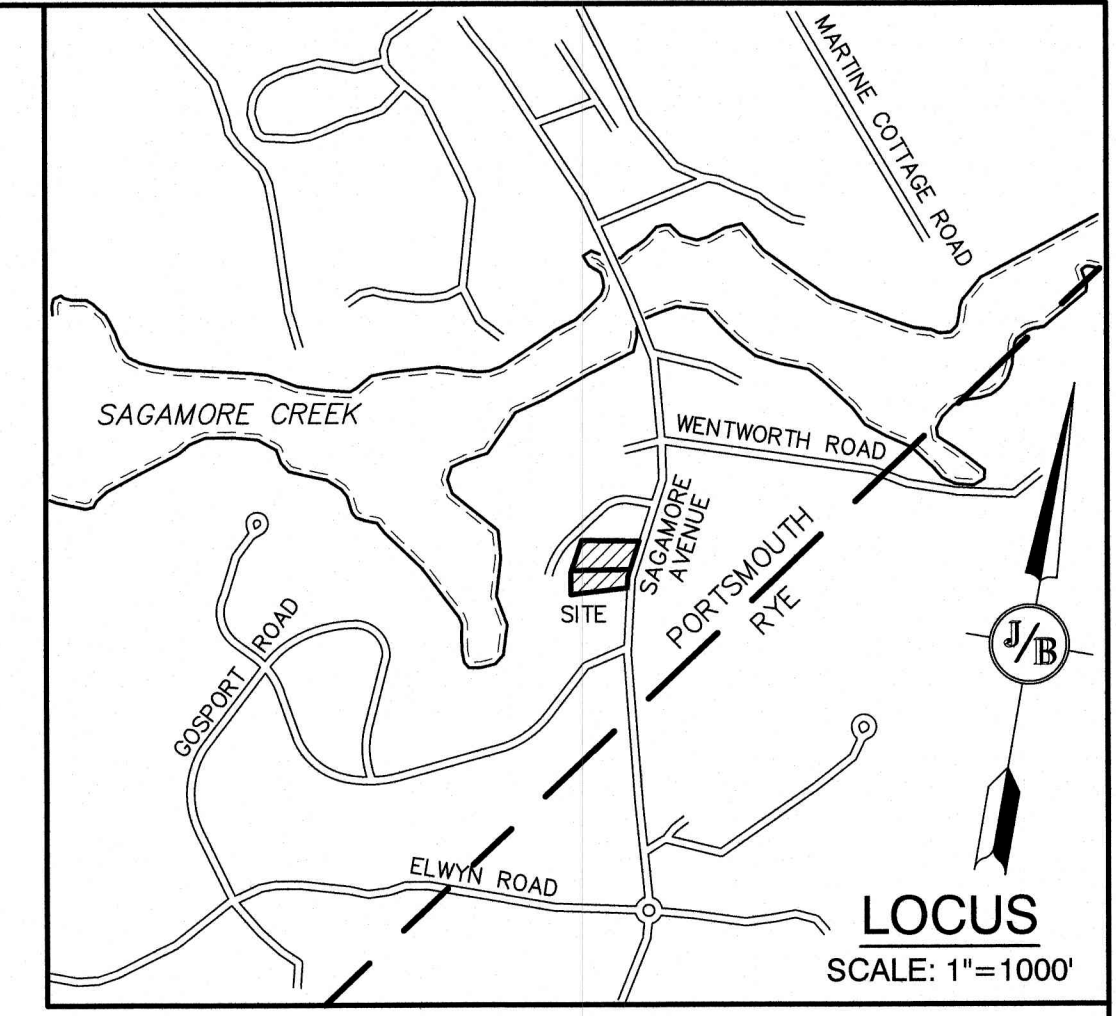
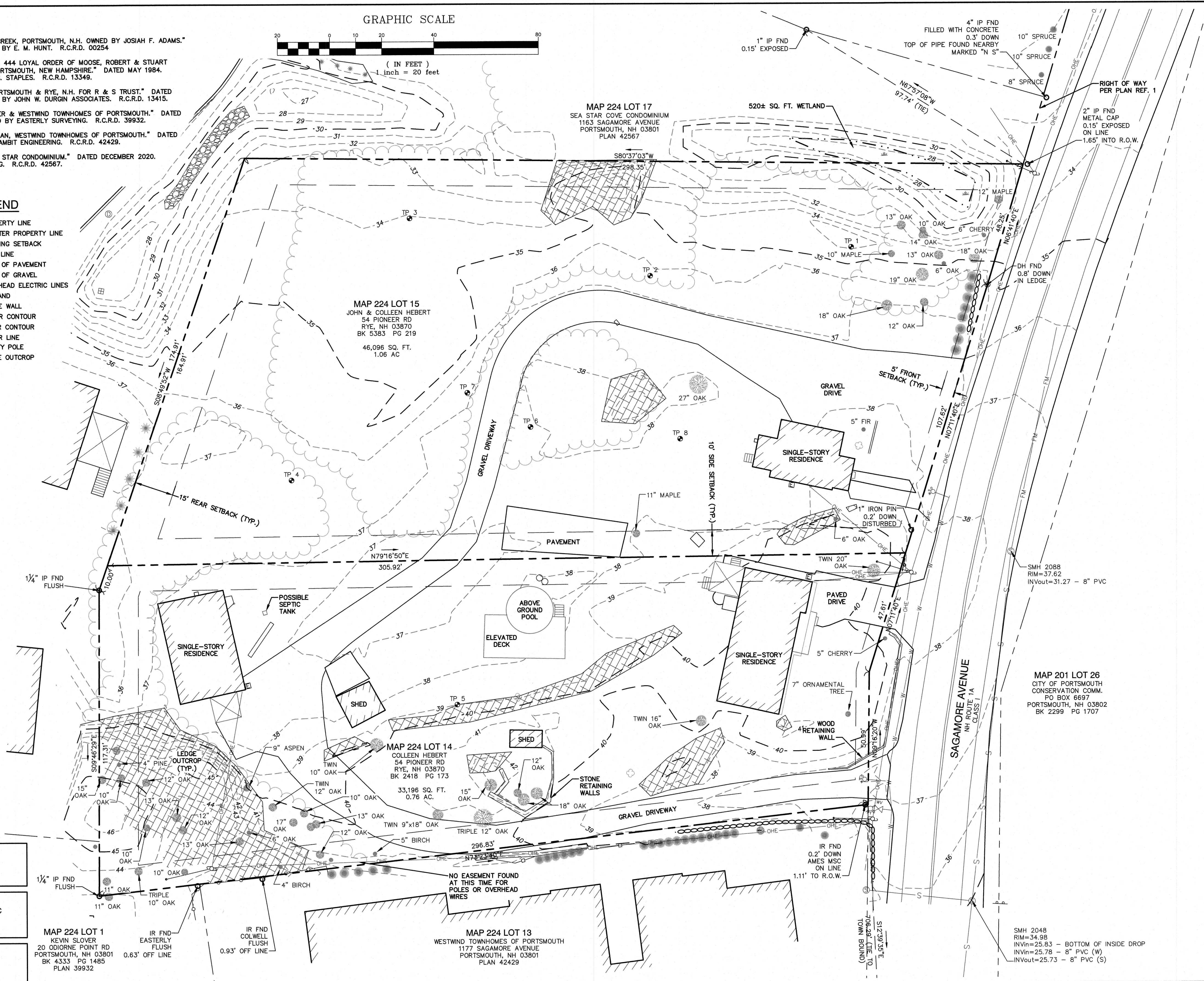
- "PLAN OF LAND ON SAGAMORE CREEK, PORTSMOUTH, N.H. OWNED BY JOSIAH F. ADAMS." DATED MARCH 1908. PREPARED BY E. M. HUNT. R.C.R.D. 00254
- "BOUNDARY LINE CHANGE, LODGE 444 LOYAL ORDER OF MOOSE, ROBERT & STUART SHAINES, SAGAMORE AVENUE, PORTSMOUTH, NEW HAMPSHIRE." DATED MAY 1984. PREPARED BY K.E. MOORE & B.G. STAPLES. R.C.R.D. 13349.
- "SUBDIVISION PLAN OF LAND, PORTSMOUTH & RYE, N.H. FOR R & S TRUST." DATED DECEMBER 13, 1984. PREPARED BY JOHN W. DURGIN ASSOCIATES. R.C.R.D. 39932.
- "LOT LINE REVISION, KEVIN SLOVER & WESTWIND TOWNHOMES OF PORTSMOUTH." DATED SEPTEMBER 16, 2011. PREPARED BY EASTERLY SURVEYING. R.C.R.D. 42429.
- "AS-BUILT CONDOMINIUM SITE PLAN, WESTWIND TOWNHOMES OF PORTSMOUTH." DATED JANUARY 2020. PREPARED BY AMBIT ENGINEERING. R.C.R.D. 42429.
- "AMENDED EASEMENT PLAN, SEA STAR CONDOMINIUM." DATED DECEMBER 2020. PREPARED BY AMBIT ENGINEERING. R.C.R.D. 42567.

**GRAPHIC SCALE**



**GENERAL LEGEND**

- PROPERTY LINE
- - - ABUTTER PROPERTY LINE
- BUILDING SETBACK
- TREE LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- OHE --- OVERHEAD ELECTRIC LINES
- WETLAND
- STONE WALL
- MAJOR CONTOUR
- MINOR CONTOUR
- S --- SEWER LINE
- U --- UTILITY POLE
- LEDGE OUTCROP



**NOTES:**

- THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS OF LOTS 14 AND 15 AS SHOWN ON PORTSMOUTH TAX MAP 224.
- ZONING DISTRICT: MIXED RESIDENTIAL OFFICE  
LOT AREA MINIMUM = 7,500 SF  
LOT FRONTAGE MINIMUM = 100'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 5'  
SIDE SETBACK = 10'  
REAR SETBACK = 15'  
MAX. BUILDING HEIGHT = 35'  
MIN. OPEN SPACE = 25%
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 33015C0286F, WITH EFFECTIVE DATE OF JANUARY 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLAN.  
VERTICAL - NAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED THROUGH THE CITY OF PORTSMOUTH GIS DATABASE AND AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES IN MARCH 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:  
A. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.  
B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.

**PROJECT PARCEL**  
CITY OF PORTSMOUTH  
TAX MAP 224, LOTS 14 & 15

**APPLICANT**  
THE SAGAMORE GROUP, LLC  
PO BOX 430  
HAMPTON, NH 03842

**TOTAL LOT AREA**  
79,292 SQ. FT.  
1.83 ACRES

MAP 224 LOT 1  
KEVIN SLOVER  
20 ODORNE POINT RD  
PORTSMOUTH, NH 03801  
BK 4333 PG 1485  
PLAN 39932

MAP 224 LOT 13  
WESTWIND TOWNHOMES OF PORTSMOUTH  
1177 SAGAMORE AVENUE  
PORTSMOUTH, NH 03801  
PLAN 42429

MAP 224 LOT 14  
COLLEEN HEBERT  
54 PIONEER RD  
RYE, NH 03870  
BK 2418 PG 173

MAP 224 LOT 15  
JOHN & COLLEEN HEBERT  
54 PIONEER RD  
RYE, NH 03870  
BK 5383 PG 219

MAP 224 LOT 17  
SEA STAR COVE CONDOMINIUM  
1163 SAGAMORE AVENUE  
PORTSMOUTH, NH 03801  
PLAN 42567

MAP 201 LOT 26  
CITY OF PORTSMOUTH  
CONSERVATION COMM.  
PO BOX 6697  
PORTSMOUTH, NH 03802  
BK 2299 PG 1707

Design: JAC	Draft: DJM	Date: 3/25/21
Checked: JAC	Scale: 1" = 20'	Project No.: 21047
Drawing Name: 21047-PLAN.dwg		
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REV.	DATE	REVISION	BY
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3	6/1/21	REVISED BUILDING LAYOUT	AJB
2	4/28/21	MINOR REVISION	DJM
1	4/20/21	REVISED LAYOUT	DJM
0	4/8/21	ISSUED FOR CLIENT REVIEW	DJM

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**

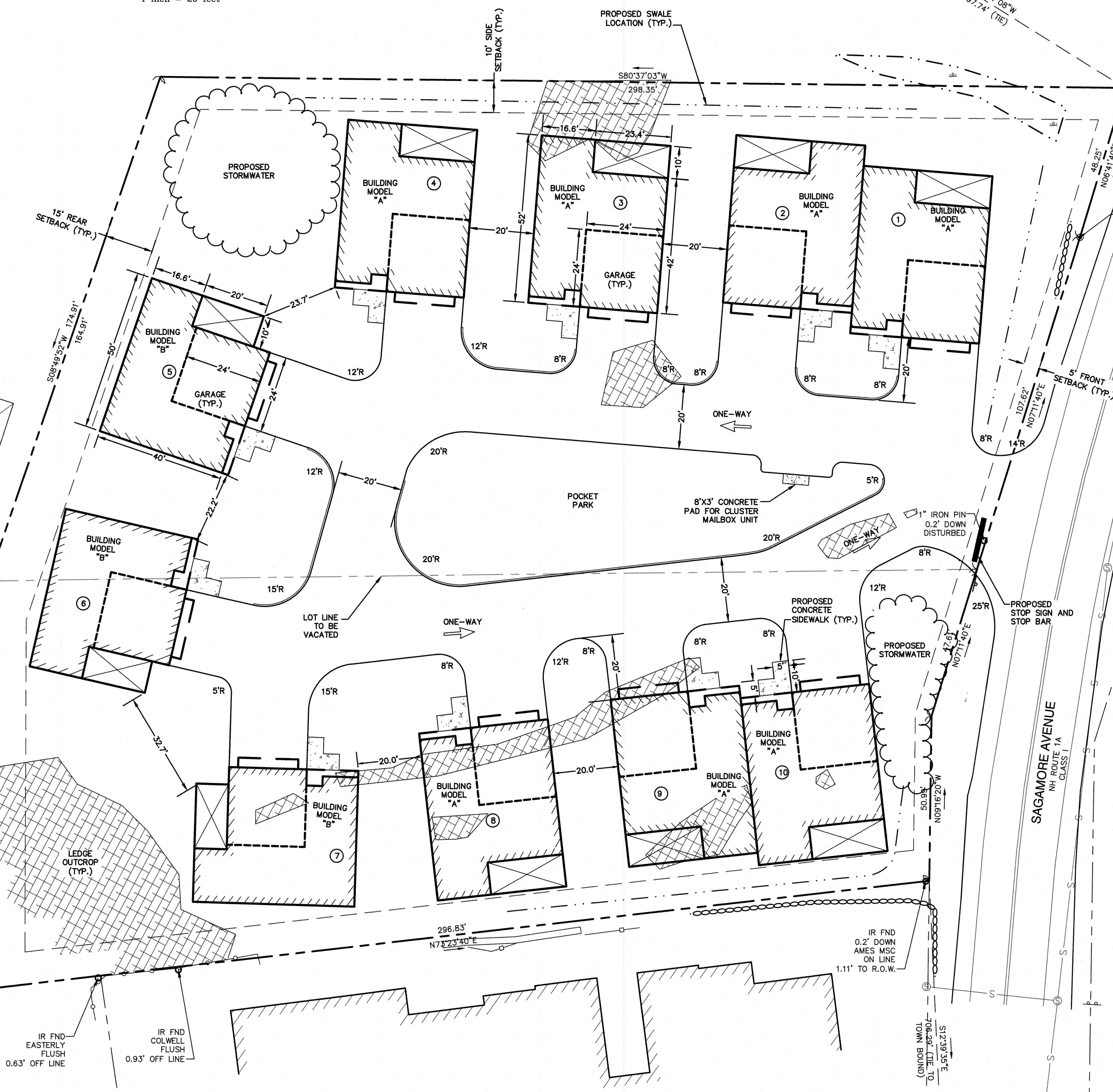
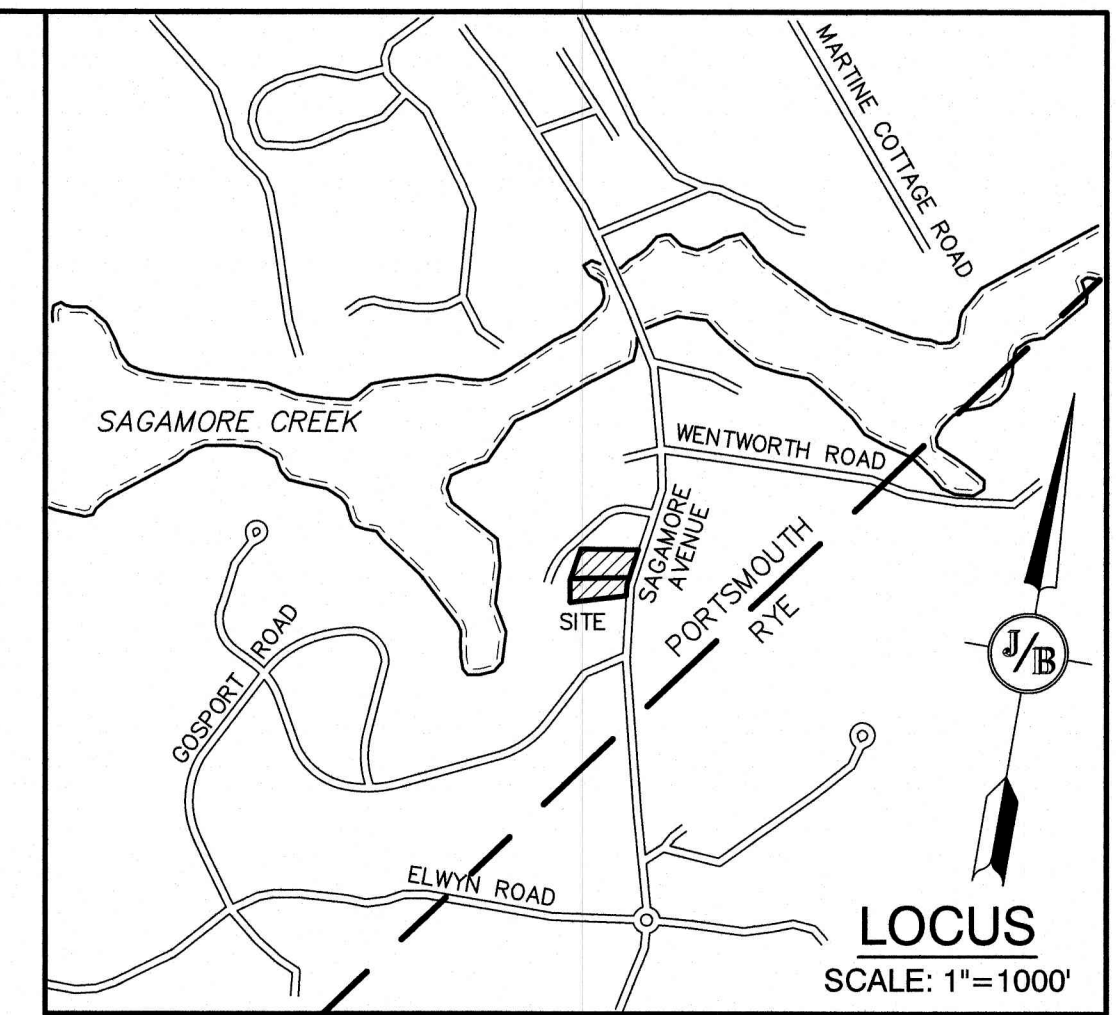
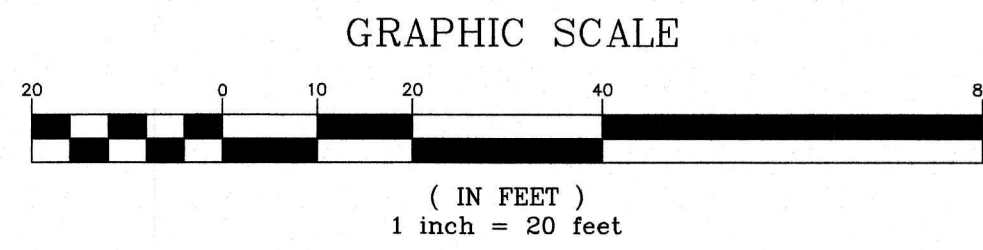
85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
PO Box 219 FAX: 603-772-0227  
Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	<b>1169 &amp; 1171 SAGAMORE AVENUE PORTSMOUTH, NEW HAMPSHIRE</b>
Owner of Record:	LOT 14: COLLEEN HEBERT 54 PIONEER RD, RYE, NH 03870 BK 2418 PG 173 LOT 15: JOHN & COLLEEN HEBERT 54 PIONEER RD, RYE, NH 03870 BK 5383 PG 219

DRAWING No.	<b>C1</b>
SHEET 1 OF 3	JBE PROJECT NO. 21047

**GENERAL LEGEND**

- PROPERTY LINE
- - - ABUTTER PROPERTY LINE
- - - BUILDING SETBACK
- ~ ~ ~ TREE LINE
- - - EDGE OF PAVEMENT
- - - EDGE OF GRAVEL
- - - O.H.E. OVERHEAD ELECTRIC LINES
- WETLAND
- STONE WALL
- MAJOR CONTOUR
- MINOR CONTOUR
- SEWER LINE
- UTILITY POLE
- LEDGE OUTCROP



**SITE NOTES:**

1. THE INTENT OF THIS PLAN IS TO REMOVE EXISTING STRUCTURES AS SHOWN ON SHT. C1 AND CONSTRUCT AN 10-UNIT CONDOMINIUM COMPLEX. PROJECT TO BE SERVED BY ELECTRIC, GAS, MUNICIPAL SEWER & PUBLIC WATER.
2. ZONING DISTRICT: MIXED RESIDENTIAL OFFICE  
LOT AREA MINIMUM = 7,500 SF  
LOT FRONTAGE MINIMUM = 100'  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = 5'  
SIDE SETBACK = 10'  
REAR SETBACK = 15'  
MAX. BUILDING HEIGHT = 35'  
MIN. OPEN SPACE = 25%  
MIN. LOT AREA PER DWELLING UNIT = 7,500 S.F.  
OPEN SPACE PROVIDED = 40,700 S.F. = 51.3%
3. DENSITY CALCULATION:  
LOT AREA = 79,292 S.F., 10 UNITS PROPOSED  
7,929 S.F. PER DWELLING UNIT PROVIDED > 7,500 S.F. PER DWELLING UNIT REQUIRED
4. PARKING CALCULATIONS:  
1.3 SPACES REQUIRED PER UNIT  
2 SPACES PROVIDED IN EACH GARAGE  
1.3 SPACES \* 10 UNITS = 13 SPACES REQUIRED  
20 SPACES PROVIDED
5. NHDES SEWER CONNECTION PERMIT NO. \_\_\_\_\_, DATED \_\_\_\_\_  
NHDOT DRIVEWAY PERMIT NO. \_\_\_\_\_, DATED \_\_\_\_\_
6. THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIO SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
7. ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 33018C0286F, WITH EFFECTIVE DATE OF JANUARY 29, 2021.
9. LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
10. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
11. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
12. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
13. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
14. ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
15. ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
16. SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
17. ALL ARCHITECTURAL BLOCK RETAINING WALLS ARE TO BE DESIGNED AND STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER. CONTRACTOR TO COORDINATE WITH APPROVED MANUFACTURER PRIOR TO INSTALLATION.
18. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
19. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
20. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
21. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THE SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
22. THE OWNER OF EACH UNIT SHALL STORE TRASH IN THEIR GARAGE. TRASH WILL BE PICKED UP BY A PRIVATE HAULER.

APPROVED - PORTSMOUTH, NH  
PLANNING BOARD

DATE: \_\_\_\_\_

PROJECT PARCEL  
CITY OF PORTSMOUTH  
TAX MAP 224, LOTS 14 & 15

APPLICANT  
THE SAGAMORE GROUP, LLC  
PO BOX 430  
HAMPTON, NH 03842

TOTAL LOT AREA  
79,292 SQ. FT.  
1.83 ACRES

Design: JAC | Draft: DJM | Date: 3/25/21  
Checked: JAC | Scale: 1" = 20' | Project No.: 21047  
Drawing Name: 21047-PLAN.dwg

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Designed and Produced in NH

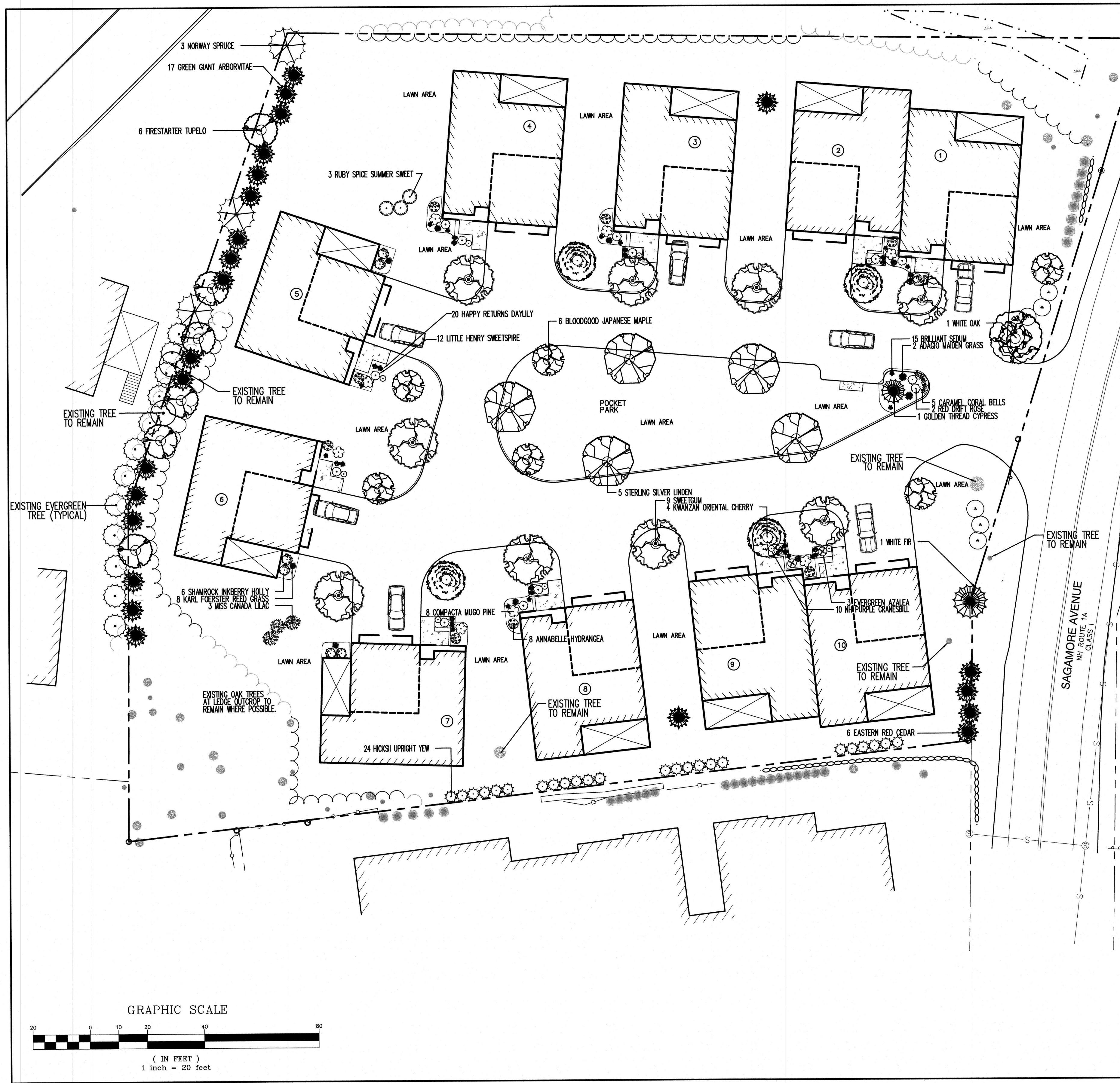
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PO Box 219 | Stratham, NH 03885 | FAX: 603-772-0227  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>PRELIMINARY SITE PLAN</b>
Project:	<b>1169 &amp; 1171 SAGAMORE AVENUE PORTSMOUTH, NEW HAMPSHIRE</b>
Owner of Record:	LOT 14: COLLEEN HEBERT 54 PIONEER RD, RYE, NH 03870 BK 2418 PG 173 LOT 15: JOHN J. & COLLEEN HEBERT 54 PIONEER RD, RYE, NH 03870 BK 5383 PG 219

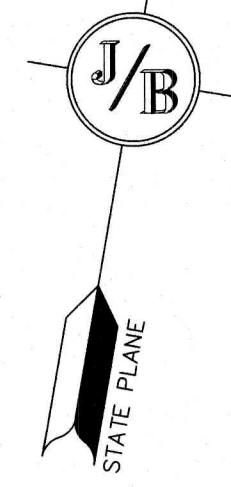
DRAWING No.  
**C2**  
SHEET 2 OF 3  
JBE PROJECT NO. 21047





**LANDSCAPE NOTES:**

- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING FOR CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
- PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
- ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
- ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
- ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
- THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE. GRASS SEED OR PINE BARK MULCH SHALL BE APPLIED AS DEPICTED ON PLANS.
- FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
- ALL LANDSCAPING SHALL MEET THE CITY OF PORTSMOUTH STANDARDS AND REGULATIONS.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE DRIPLINE OF THE TREE. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" BY EASY GARDENER OR DEWITT WEED BARRIER.
- ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
- THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.
- IRRIGATION PIPING SYSTEM SHALL BE REVIEWED AND APPROVED BY OWNER AND ENGINEER PRIOR TO INSTALLATION.
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE, AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED, AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- SEE TREE PLANTING AND SHRUB PLANTING DETAILS ON SHEET D2.



**PLANTING LIST**

Trees	Quantity	Botanical Name	Common Name	Size
	1	Abies concolor	WHITE FIR	7-8 ft. ht.
	6	Acer palmatum 'Bloodgood'	BLOODGOOD JAPANESE MAPLE	15 Gallon
	6	Juniperus virginiana	EASTERN RED CEDAR	7-8 ft. ht.
	9	Liquidambar styraciflua	SWEETGUM	2.5" Caliper
	6	Nyssa sylvatica 'Firestarter'	FIRESTARTER TUPELO	4.5" Caliper
	3	Picea abies	NORWAY SPRUCE	10-12 ft. ht.
	4	Prunus serrulata 'Kwanzan'	KWANZAN ORIENTAL CHERRY	2" Caliper
	1	Quercus alba	WHITE OAK	3" Caliper
	24	Taxus x media 'Hicksii'	HICKSII UPRIGHT YEW	6-7 ft. ht.
	17	Thuja plicata 'Green Giant'	GREEN GIANT ARBORVITAE	10-12 ft. ht.
	5	Tilia tomentosa 'Sterling'	STERLING SILVER LINDEN	3" Caliper
<b>Shrubs</b>				
	3	Azalea indicum	EVERGREEN AZALEA	3 Gallon
	1	Chamaecyparis pisifera 'Aurea'	GOLDEN THREAD CYPRESS	7 Gallon
	3	Clethra alnifolia 'Ruby Spice'	RUBY SPICE SUMMER SWEET	5 Gallon
	8	Hydrangea arborescens 'Annabelle'	ANNABELLE HYDRANGEA	5 Gallon
	6	Ilex glabra 'Shamrock'	SHAMROCK INKBERRY HOLLY	5 Gallon
	12	Itea virginica 'Sprich Little Henry'	LITTLE HENRY SWEETSPIRE	3 Gallon
	8	Pinus mugo 'Compacta'	COMPACTA MUGO PINE	5 Gallon
	2	Rosa 'Red Drift'	RED DRIFT ROSE	3 Gallon
	3	Syringa x prestoniae 'Miss Canada'	MISS CANADA LILAC	5 Gallon
	6	Viburnum dentatum 'Christom'	BLUE MUFFIN VIBURNUM	5 Gallon
<b>Perennials</b>				
	8	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	2 Gallon
	10	Geranium sanguineum 'New Hampshire Purple'	NH PURPLE CRANESBILL	1 Gallon
	20	Heemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1 Gallon
	5	Heuchera micrantha 'Caramel'	CAMEL CORALBELLS	1 Gallon
	2	Miscanthus sinensis 'Adagio'	ADAGIO MAIDEN GRASS	2 Gallon
	15	Sedum spectabile 'Brilliant'	BRILLIANT SEDUM	1 Gallon

<b>PROJECT PARCEL</b> CITY OF PORTSMOUTH TAX MAP 224, LOTS 14 & 15
<b>APPLICANT</b> THE SAGAMORE GROUP, LLC PO BOX 430 HAMPTON, NH 03842
<b>TOTAL LOT AREA</b> 79,292 SQ. FT. 1.83 ACRES

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 603-772-4746    FAX: 603-772-0227    E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>LANDSCAPE PLAN</b>
Project:	<b>1169 &amp; 1171 SAGAMORE AVENUE PORTSMOUTH, NEW HAMPSHIRE</b>
Owner of Record:	LOT 14: COLLEEN HEBERT    LOT 15: JOHN J. & COLLEEN HEBERT 54 PIONEER RD, RYE, NH 03870 BK 2418 PG 173    54 PIONEER RD, RYE, NH 03870 BK 5383 PG 219

DRAWING No.  
**L1**  
 SHEET 3 OF 3  
 JBE PROJECT NO. 21047