

C5194-001  
August 1, 2023

Mr. Peter Britz, Director of Planning & Sustainability  
City of Portsmouth Planning & Sustainability Department  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**Re: Request for TAC Work Session  
Proposed Single-Family Subdivision, Shearwater Drive, Portsmouth, NH**

Dear Peter,

On behalf of Chinburg Properties (applicant), we are pleased to submit the following information to support a request to meet with the Technical Advisory Committee (TAC) at their next scheduled Work Session for the above referenced project:

- One (1) full size & one (1) half size copy of the Site Plan Set, dated August 1, 2023;
- One (1) copy of the Owner Authorization Letter, dated August 1, 2023;
- One (1) copy of the Applicant Authorization Letter, dated August 1, 2023;
- One (1) copy of the Prototypical Architectural Plans, dated August 1, 2023;

The proposed project is located along Shearwater Drive on a parcel of land identified as Map 217 Block 2 Lot 1900 on the City of Portsmouth Tax Maps. The existing parcel had seven (7) existing buildings consisting of (5) duplexes, (1) 4-unit, and (1) 6-unit buildings that were previously demolished earlier this year. The project includes the subdivision of the 2.23 acre lot into nine (9) Single-Family lots and the construction of the associated residential buildings, stormwater management, landscaping, and utilities.

The proposed project will require Site Plan Review Permit and Subdivision Permit approvals from the Planning Board. The applicant would like to solicit feedback from City staff on the project prior to submitting the formal applications for those permits. Thus, the applicant respectfully requests to meet with TAC at their next scheduled Work Session on August 8, 2023. If you have any questions or need any additional information, please contact Neil Hansen by phone at (603) 433-8818 or by email at [nehansen@tighebond.com](mailto:nehansen@tighebond.com).

Sincerely,  
**TIGHE & BOND, INC.**



Patrick M. Crimmins, PE  
Vice President



Neil A. Hansen, PE  
Project Manager

Copy: Chinburg Properties (via email)

# PROPOSED SINGLE-FAMILY SUBDIVISION

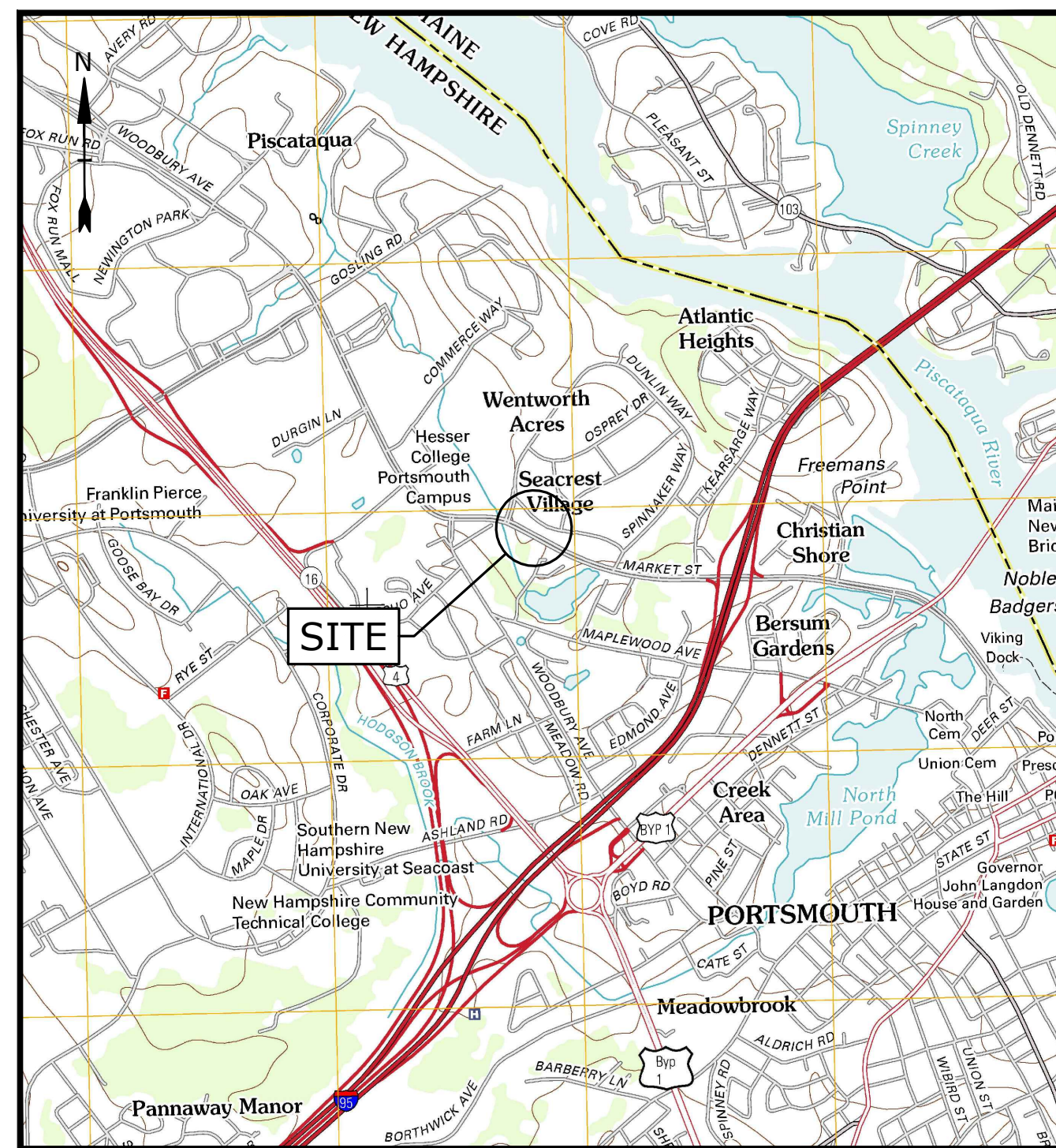
## SHEARWATER DRIVE

### PORTSMOUTH, NEW HAMPSHIRE

### AUGUST 1, 2023

# DRAFT

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	8/1/2023
1 OF 1	EXISTING CONDITIONS PLAN	7/19/2023
G-100	GENERAL NOTES AND LEGEND	8/1/2023
C-101	EXISTING CONDITIONS & DEMOLITION PLAN	8/1/2023
C-102	SITE PLAN	8/1/2023
C-103	GRADING & DRAINAGE PLAN	8/1/2023
C-104	UTILITIES PLAN	8/1/2023
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	8/1/2023
C-502	DETAILS SHEET	8/1/2023
C-503	DETAILS SHEET	8/1/2023
C-504	DETAILS SHEET	8/1/2023



LOCATION MAP  
SCALE: 1" = 2,000'

PREPARED BY:  
**Tighe & Bond**  
177 CORPORATE DRIVE  
PORTSMOUTH, NEW HAMPSHIRE 03801  
603-433-8818

OWNER:  
BANTRY BAY ASSOCIATION LLC  
540 NORTH COMMERCIAL ST  
MANCHESTER, NH 03101

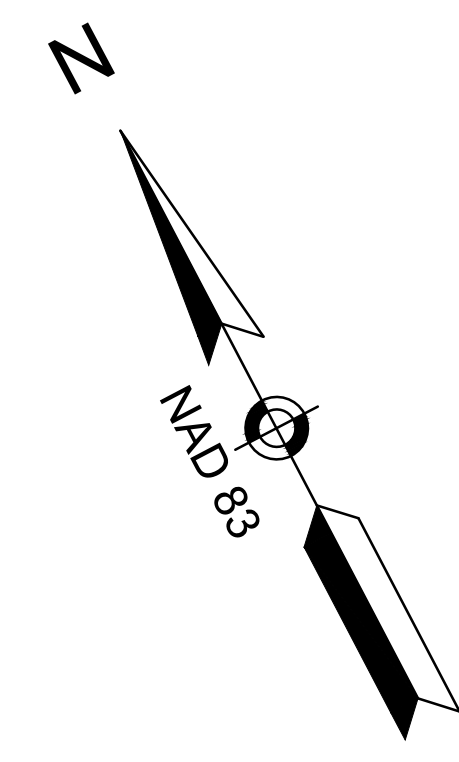
APPLICANT:  
CHINBURG PROPERTIES  
3 PENSTOCK WAY  
NEWMARKET, NH 03857

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT	NOT SUBMITTED	
SUBDIVISION PERMIT	NOT SUBMITTED	
FEDERAL		
EPA - NPDES CGP (SWPPP)	NOT SUBMITTED	

**TAC WORK SESSION SUBMISSION**  
**COMPLETE SET 11 SHEETS**

**LEGEND**

- SGC SLOPED GRANITE CURB
- VGC VERTICAL GRANITE CURB
- G GAS LINE
- W WATER LINE
- E UNDERGROUND ELECTRIC
- CLF CHAIN LINK FENCE
- SF STOCKADE FENCE
- HRF HAND RAIL & FENCE
- 90 CONTOUR ELEVATION
- TREE TREE
- UP UTILITY POLE
- GW GUY WIRE
- OW OVERHEAD WIRE
- TL TREELINE
- SIGN SIGN
- SE SPOT ELEVATION
- DM DRAIN MANHOLE
- CB CATCH BASIN
- CO CLEANOUT
- SM SEWER MANHOLE
- MH MANHOLE
- GV GAS VALVE
- GS GAS SHUT OFF
- WV WATER VALVE
- WS WATER SHUT OFF
- FH FIRE HYDRANT
- BOLLARD
- EM ELECTRIC METER
- MW MONITORING WELL
- LP LIGHT POLE
- UC UNDERGROUND COMM
- EL EASEMENT LINE
- PL PROPERTY LINE
- APL ABUTTER PROPERTY LINE
- BS BUILDING SETBACK



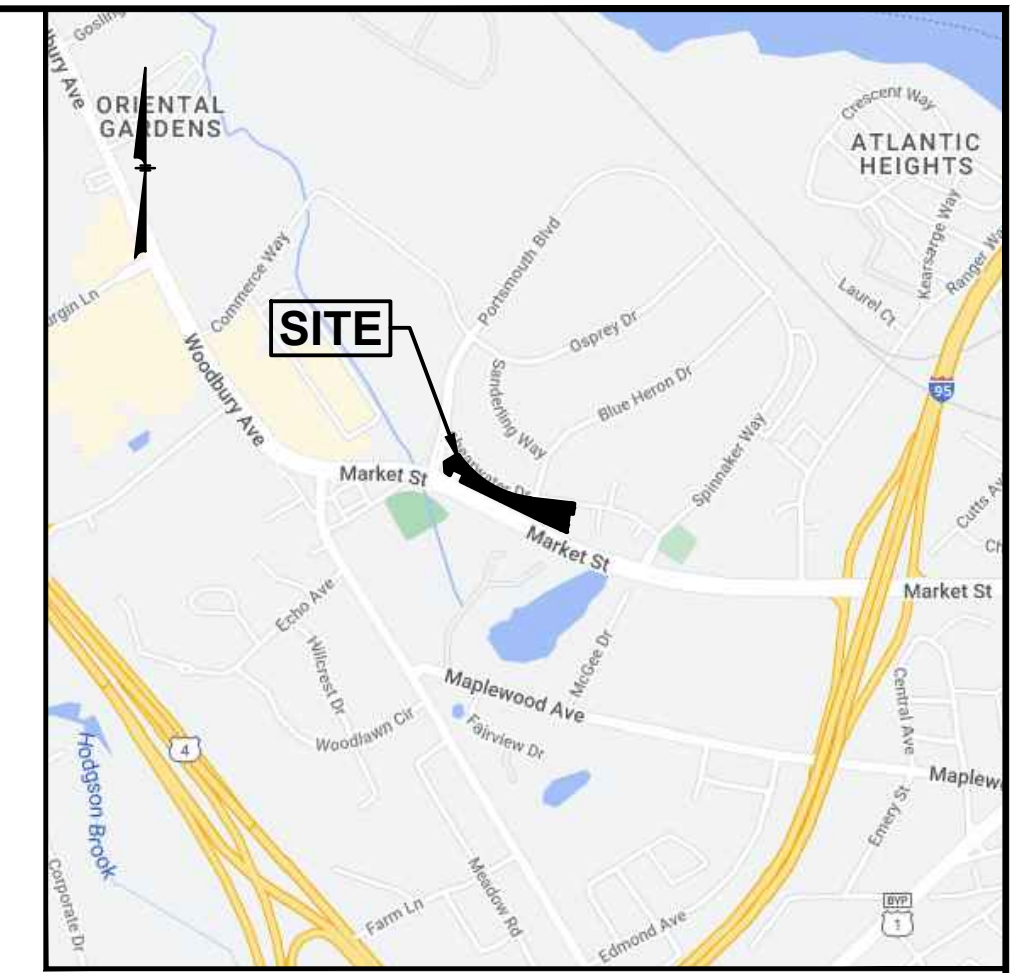
DRAFT  
7-19-23

**NOTES:**

- 1) ZONE: GENERAL RESIDENCE B DISTRICT (GRB)  
MIN. LOT SIZE: 5,000 Sq.Ft.  
MIN. LOT FRONTAGE: 80 Ft.  
SETBACKS:  
FRONT 5 Ft.  
SIDE 10 Ft.  
REAR 25 Ft.  
REFER TO THE CITY OF PORTSMOUTH ZONING ORDINANCE FOR VERIFICATION. ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE PORTSMOUTH ZONING ORDINANCE.
- 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE 28 AND JULY 5, 2023.
- 3) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JUNE 30, 2023.
- 4) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JUNE 30, 2023.
- 5) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
- 6) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0260F, WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.

**UTILITY PROVIDERS:**

- WATER SERVICE – CITY OF PORTSMOUTH
- SEWER SERVICE – CITY OF PORTSMOUTH
- GAS SERVICE – UNITIL
- ELECTRICAL SERVICE – EVERSOURCE
- TELEPHONE – CONSOLIDATED COMMUNICATIONS



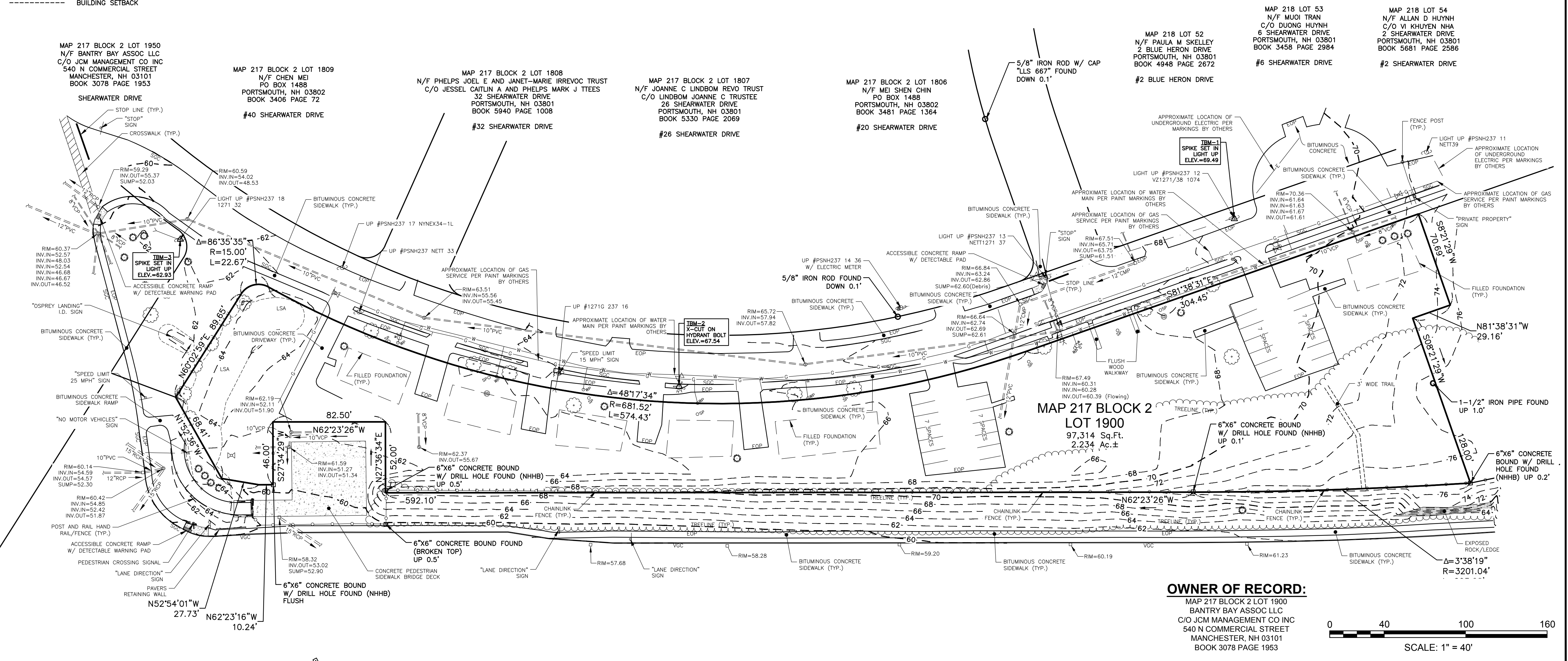
**LOCATION MAP**  
(NOT TO SCALE)

**GPI** Engineering  
Design  
Planning  
Construction Management  
603.893.0720 GPINET.COM  
Greenman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079

PREPARED FOR  
**TIGHE & BOND**  
53 SOUTHAMPTON ROAD  
WESTFIELD, MA

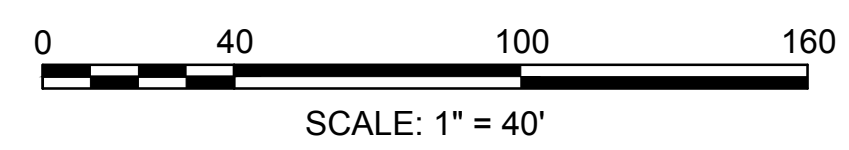
**ASSESSOR MAP 217 BLOCK 2  
LOT 1900**

**SHEARWATER DRIVE  
PORTSMOUTH, NH**



**OWNER OF RECORD:**

MAP 217 BLOCK 2 LOT 1900  
BANTRY BAY ASSOC LLC  
C/O JCM MANAGEMENT CO INC  
540 N COMMERCIAL STREET  
MANCHESTER, NH 03101  
BOOK 3078 PAGE 1953



REVISIONS		
NO.	REVISION	DATE
SUBMISSION DATE		
DRAWN/DESIGN BY	CSS	CHECKED BY
		XXX

**EXISTING  
CONDITIONS  
PLAN**

SCALE: 1"=40'

NEX-2200150.19

1 OF 1

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GENERAL PROJECT INFORMATION

PROJECT APPLICANT: CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857
PROJECT NAME: PROPOSED SINGLE-FAMILY SUBDIVISION
PROJECT MAP / LOT: MAP 217 BLOCK 2 / LOT 1900
PROJECT ADDRESS: SHEARWATER DRIVE
PORTSMOUTH, NH 03801
PROJECT LATITUDE: 43°-05'-10" N
PROJECT LONGITUDE: 70°-46'-59" W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF SUBDIVIDING THE EXISTING LOT INTO NINE (9) INDIVIDUAL PARCELS, THEN CONSTRUCTING A SINGLE-FAMILY HOME ON EACH. THE PROJECT ALSO CONSISTS OF IMPROVEMENTS TO SHEARWATER DRIVE.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 2.1 ACRES.

SOIL CHARACTERISTICS

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH IS EXCESSIVELY DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF X.

NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH'S CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO NORTH MILL POND THEN TO THE PISCATAQUA RIVER OR DIRECTLY TO THE PISQUATAQUA RIVER.

CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

- 1. CUT AND CLEAR TREES.
2. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
• NEW CONSTRUCTION
• CONTROL OF DUST
• CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
3. ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
4. CLEAR AND DISPOSE OF DEBRIS.
5. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
6. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
7. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
9. SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.
10. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
11. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

SPECIAL CONSTRUCTION NOTES:

- 1. THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
2. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

EROSION CONTROL NOTES:

- 1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
2. PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
3. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
4. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
6. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
7. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
8. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
9. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

STABILIZATION:

- 1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.;
E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.
2. WINTER STABILIZATION PRACTICES:
A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
A. TEMPORARY SEEDING;
B. MULCHING.
4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
5. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES

PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

DUST CONTROL:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

STOCKPILES:

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

OFF SITE VEHICLE TRACKING:

- 1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

VEGETATION:

- 1. TEMPORARY GRASS COVER:
A. SEEDBED PREPARATION:
a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
b. SEEDING:
a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
C. MAINTENANCE:
a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
2. VEGETATIVE PRACTICE:
A. FOR PERMANENT MEASURES AND PLANTINGS:
a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
e. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
f. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED;
g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:
SEED MIX APPLICATION RATE
CREEPING RED FESCUE 20 LBS/ACRE
TALL FESCUE 20 LBS/ACRE
REDTOP 2 LBS/ACRE
IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

- 1. THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES:

- 1. FIRE-FIGHTING ACTIVITIES;
2. FIRE HYDRANT FLUSHING;
3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
4. WATER USED TO CONTROL DUST;
5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
11. UNCONTAMINATED EXCAVATION DEWATERING;
12. LANDSCAPE IRRIGATION.

WASTE DISPOSAL:

- 1. WASTE MATERIAL:
A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LABELED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE

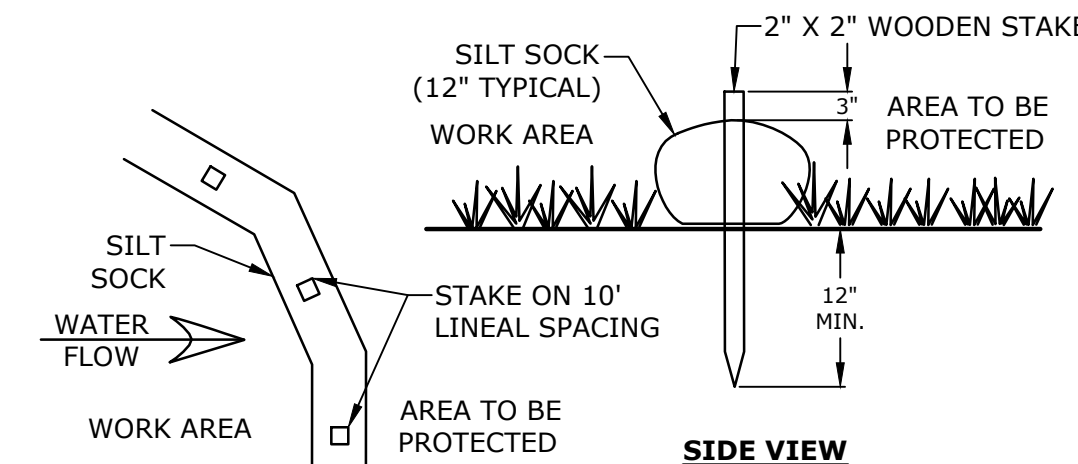
- DEPOSITED IN A DUMPSTER;
B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE:
A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE:
A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION:

- 1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
b. ALL REGULATED MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN IMPERVIOUS SURFACE;
c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
g. THE TRAINING OF ON-SITE EMPLOYEES AND THE ON-SITE POSTING OF RELEASE RESPONSE INFORMATION DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL OF REGULATED SUBSTANCES.
B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
i. PETROLEUM PRODUCTS:
a. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
b. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
ii. SECURE FUEL STORAGE AREAS AGAINST UNAUTHORIZED ENTRY;
iii. INSPECT FUEL STORAGE AREAS WEEKLY;
iv. WHEREVER POSSIBLE, KEEP REGULATED CONTAINERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM SURFACE WATER AND STORM DRAINS, 75 FEET FROM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS;
v. COVER REGULATED CONTAINERS IN OUTSIDE STORAGE AREAS;
vi. SECONDARY CONTAINMENT IS REQUIRED FOR CONTAINERS CONTAINING REGULATED SUBSTANCES STORED OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE TANKS OTHERWISE REGULATED.
viii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUDE:
(1) EXCEPT WHEN IN USE, KEEP CONTAINERS CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED;
(2) PLACE DRIP PANS UNDER SPIGOTS, VALVES, AND PUMPS;
(3) HAVE SPILL CONTROL AND CONTAINMENT EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;
(4) USE FUNNELS AND DRIP PANS WHEN TRANSFERRING REGULATED SUBSTANCES;
(5) PERFORM TRANSFERS OF REGULATED SUBSTANCES OVER AN IMPERVIOUS SURFACE.
ix. FUELING AND MAINTENANCE OF EXCAVATION, EARTHMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT SHALL COMPLY WITH THE REGULATIONS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES THESE REQUIREMENTS ARE SUMMARIZED IN WD-DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND MAINTENANCE OF EXCAVATION AND EARTHMOVING EQUIPMENT, OR ITS SUCCESSOR DOCUMENT.
HTTPS://WWW.DES.NH.GOV/ORGANIZATION/COMMISSIONER/PIF/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF
b. FERTILIZERS:
i. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
ii. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
iii. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
c. PAINTS:
i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
ii. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

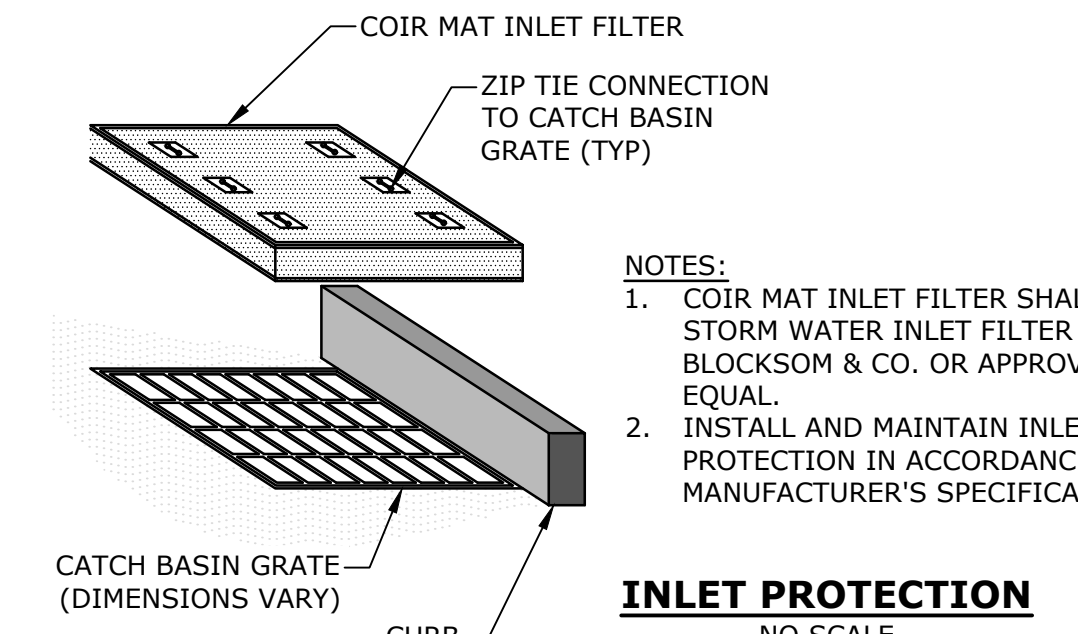
EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

- 1. THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.
2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:
A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
B. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

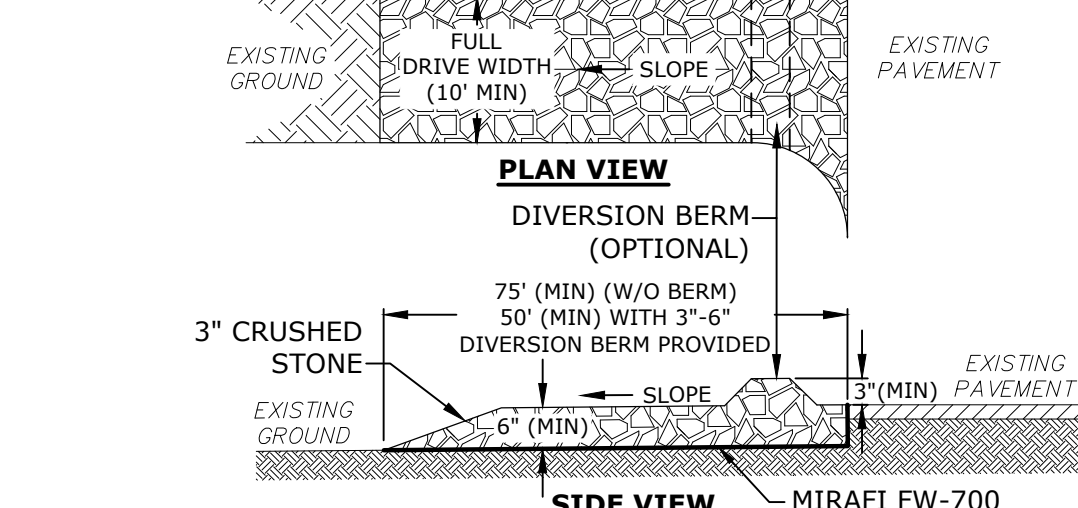


NOTES:
1. SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL.
2. INSTALL SILT SOCK IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

SILT SOCK NO SCALE



NOTES:
1. COIR MAT INLET FILTER SHALL BE STORM WATER INLET FILTER BY BLOCKSOM & CO. OR APPROVED EQUAL.
2. INSTALL AND MAINTAIN INLET PROTECTION IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.



NOTE:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT FROM THE SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS

STABILIZED CONSTRUCTION EXIT NO SCALE

PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

Table with 3 columns: MARK, DATE, DESCRIPTION. The table is currently empty.

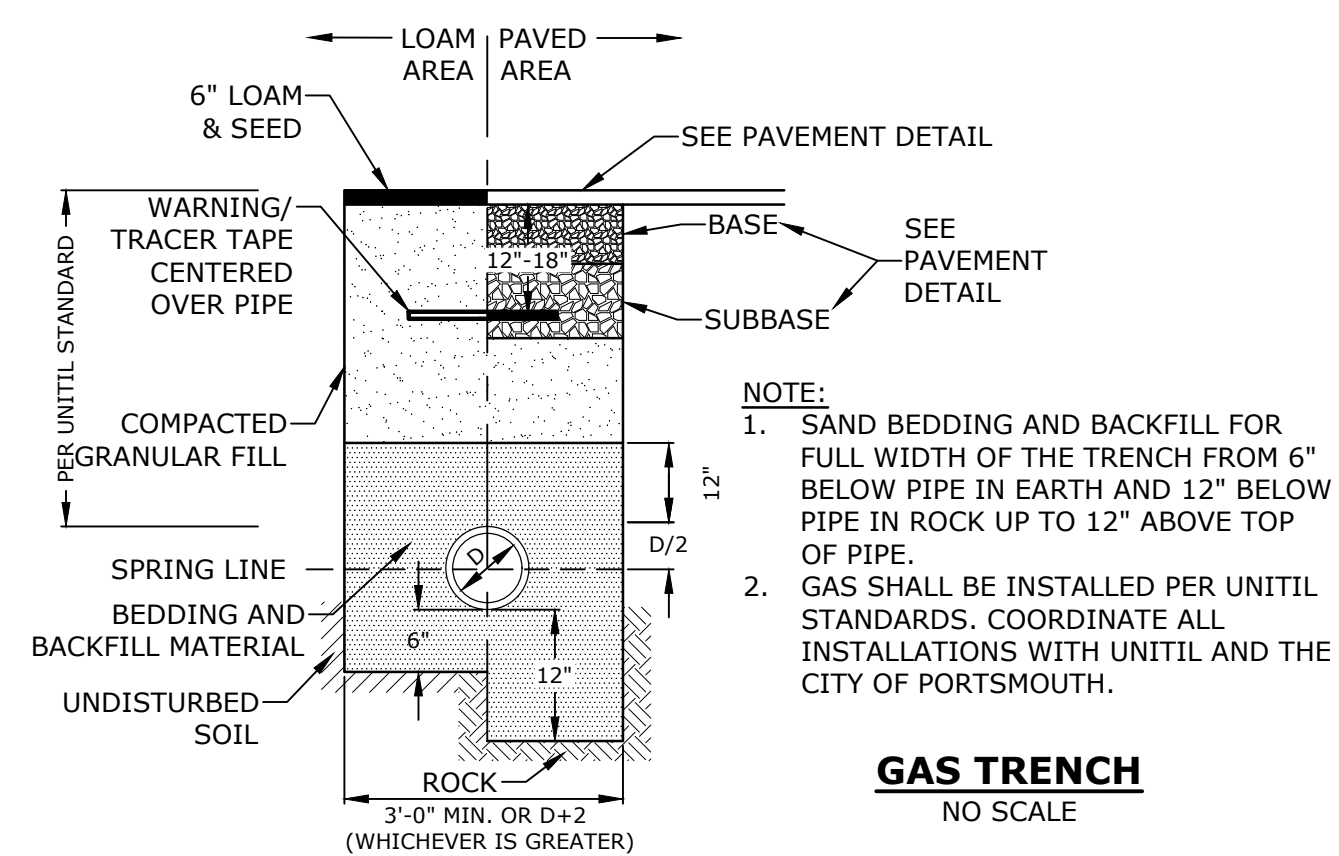
Table with 2 columns: PROJECT NO., DATE. PROJECT NO: CS194-001. DATE: 08/01/2023.

EROSION CONTROL NOTES AND DETAILS SHEET

SCALE: AS SHOWN

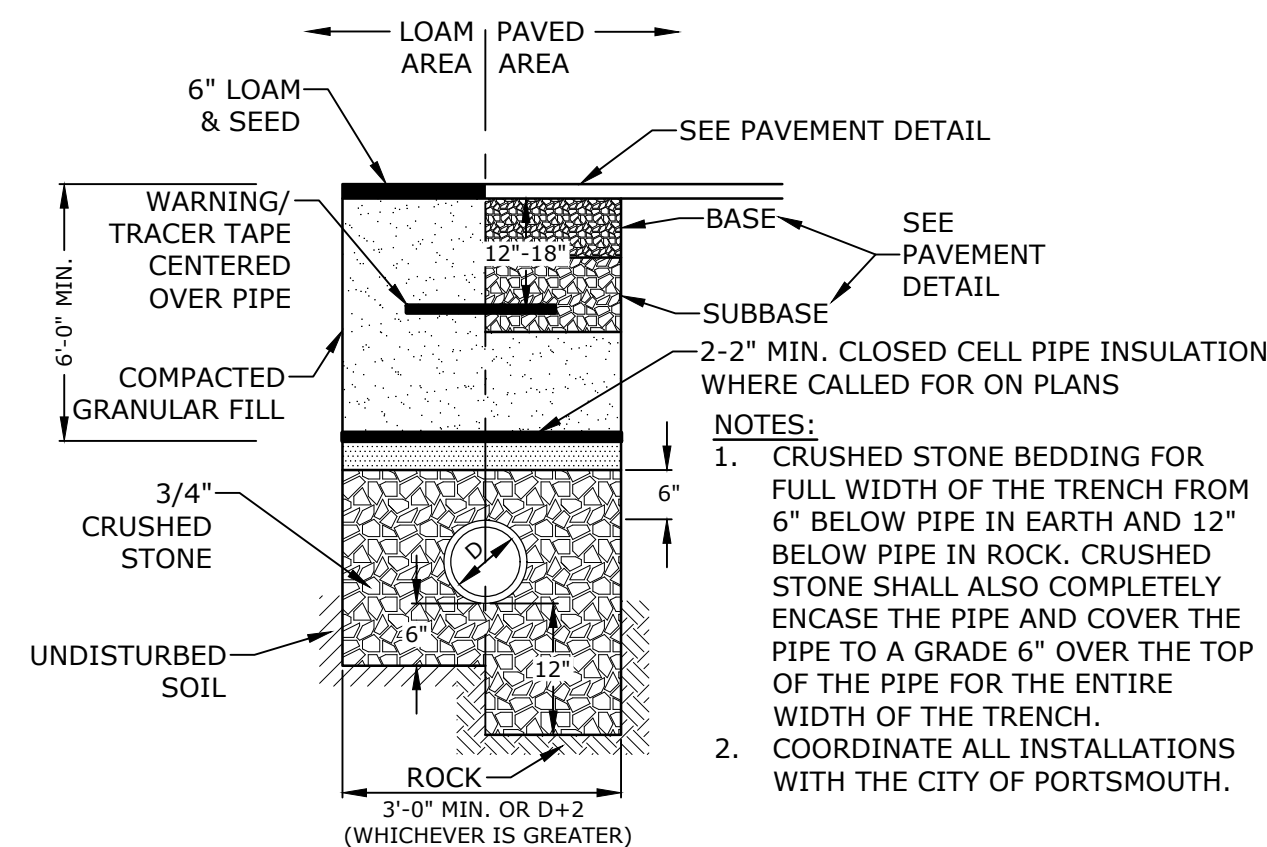






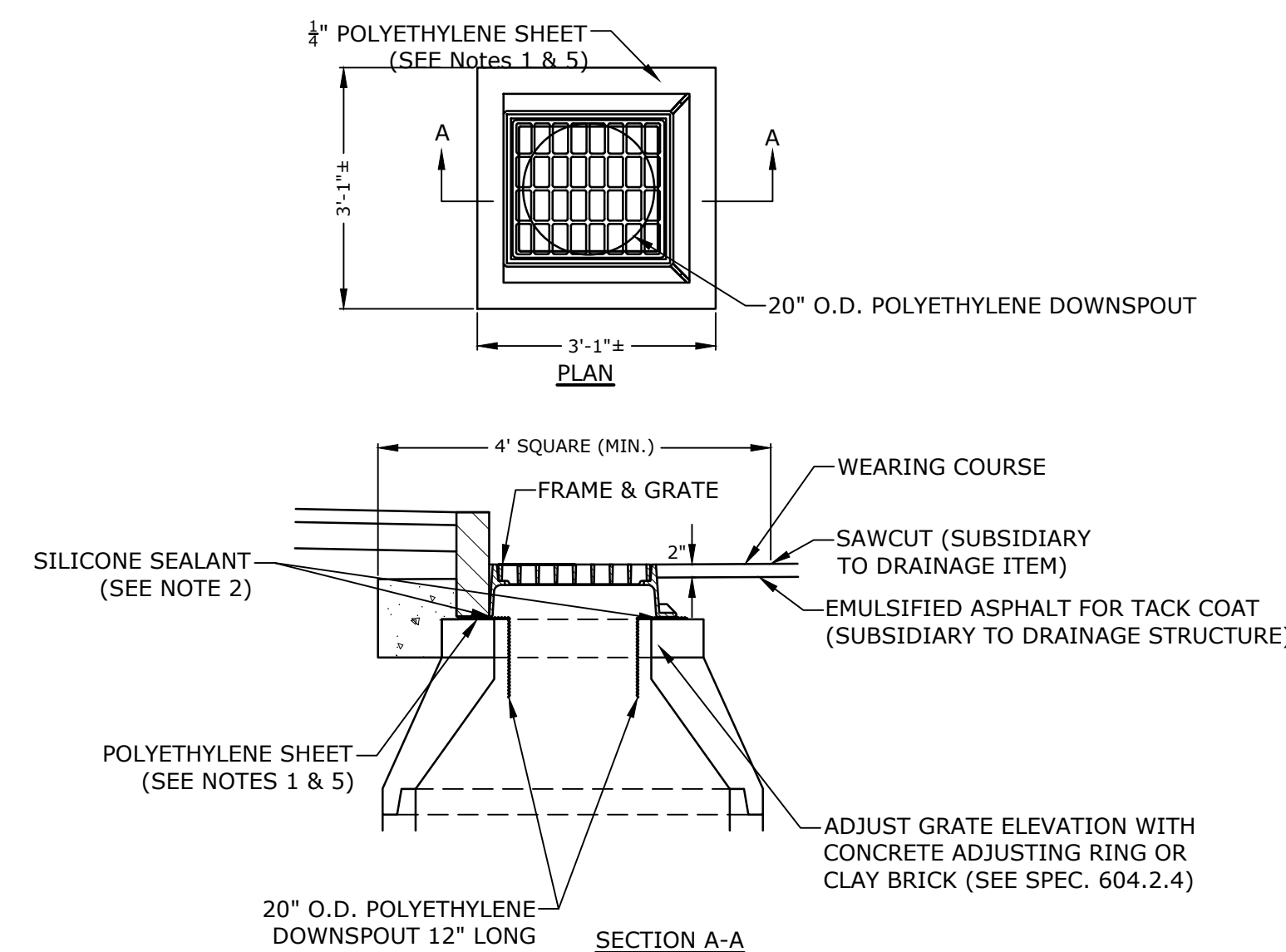
- NOTE:**
- SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
  - GAS SHALL BE INSTALLED PER UNITIL STANDARDS. COORDINATE ALL INSTALLATIONS WITH UNITIL AND THE CITY OF PORTSMOUTH.

**GAS TRENCH**  
NO SCALE



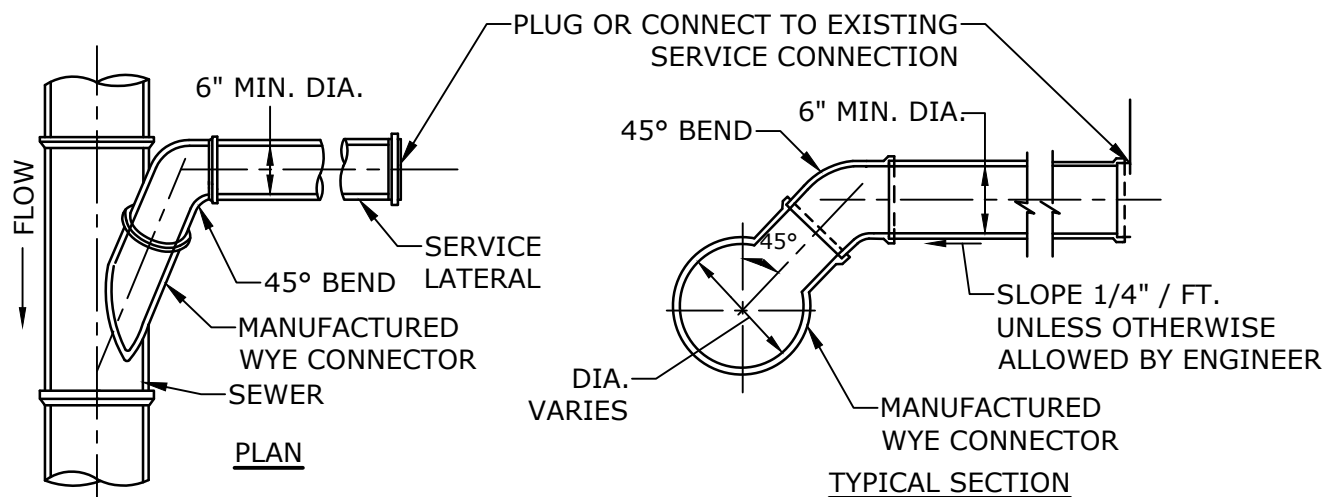
- NOTE:**
- CRUSHED STONE BEDDING FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK. CRUSHED STONE SHALL ALSO COMPLETELY ENCASE THE PIPE AND COVER THE PIPE TO A GRADE 6" OVER THE TOP OF THE PIPE FOR THE ENTIRE WIDTH OF THE TRENCH.
  - COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

**SEWER SERVICE TRENCH**  
NO SCALE

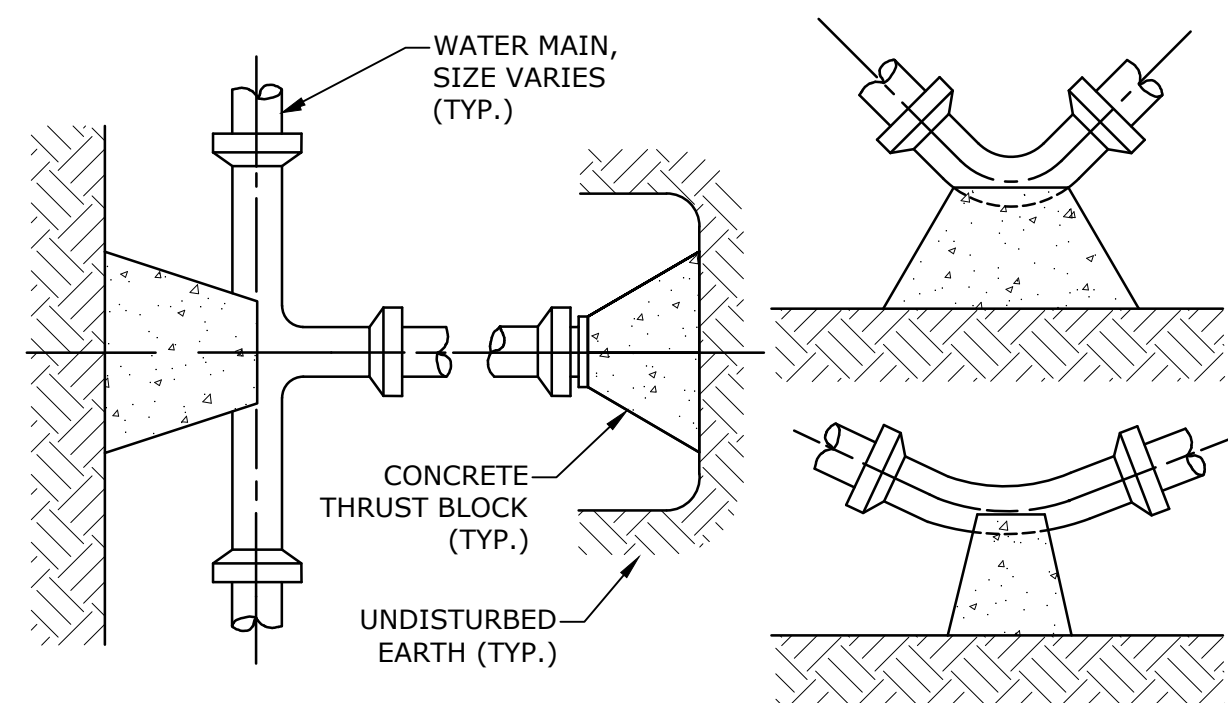


- NOTES:**
- POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
  - PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.
  - PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
  - USE ON DRAINAGE STRUCTURES 4" MIN. DIAMETER ONLY.
  - TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
  - THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
  - PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
  - SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS", FOR ADDITIONAL INFORMATION.
  - CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER

**POLYETHYLENE LINER**  
NO SCALE



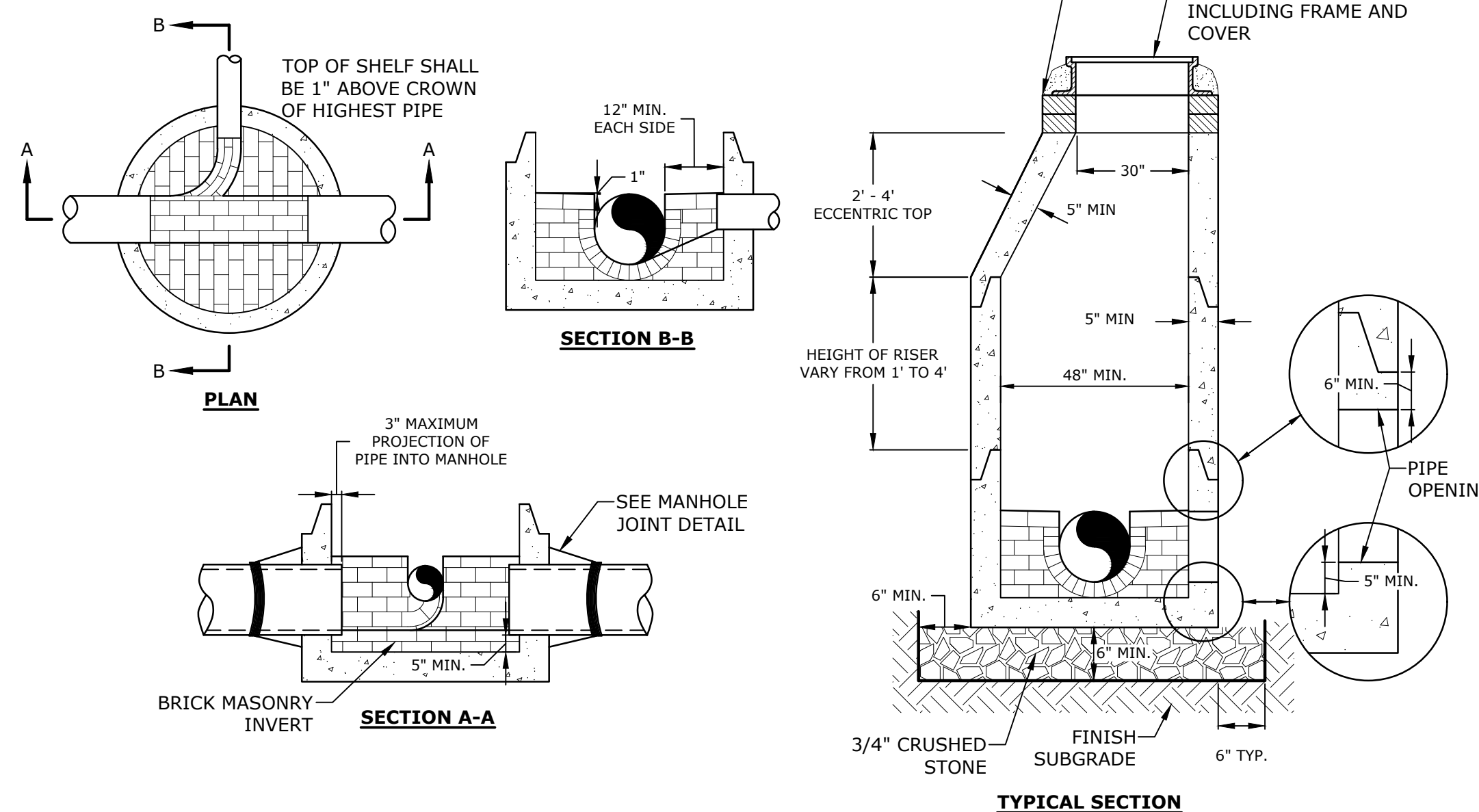
**STANDARD SERVICE LATERAL CONNECTION**  
NO SCALE



REACTION TYPE	PIPE SIZE				
	4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

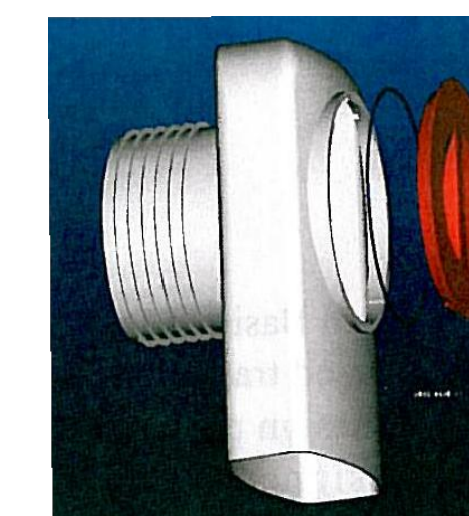
- NOTES:**
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
  - ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
  - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
  - WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
  - INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

**THRUST BLOCKING DETAIL**  
NO SCALE



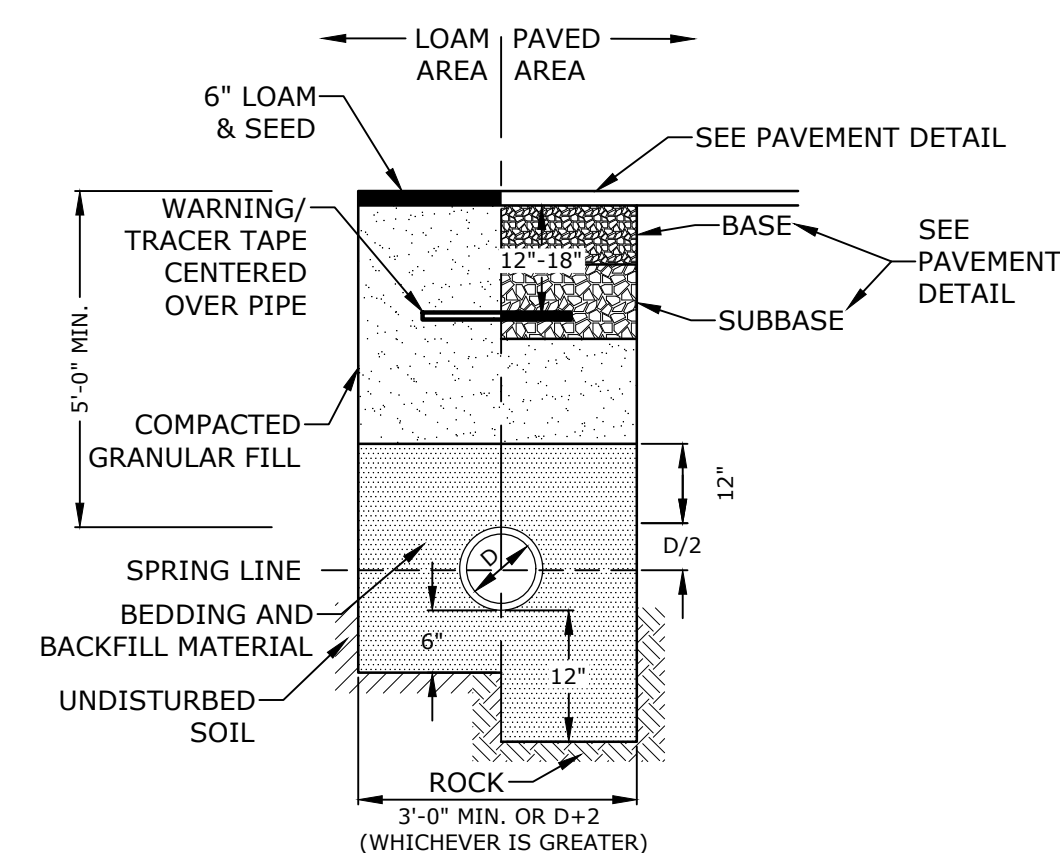
- NOTES:**
- INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
  - CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
  - INVERT BRICKS SHALL BE LAID ON EDGE.
  - TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
  - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY ED. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
  - HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
  - BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H2O LOADING, AND CONFORMING TO ASTM C478-06.

**SEWER MANHOLE**  
NO SCALE



- NOTES:**
- ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
  - INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
  - 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

**"ELIMINATOR" OIL FLOATING DEBRIS TRAP**



- NOTES:**
- SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
  - WATER MAIN SHALL BE INSTALLED PER CITY OF PORTSMOUTH STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

**WATER TRENCH**  
NO SCALE

**PROPOSED SINGLE-FAMILY SUBDIVISION**

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

MARK	DATE	DESCRIPTION
PROJECT NO:	CS194-001	
DATE:	08/01/2023	
FILE:	CS194-001_C-DTLS.dwg	
DRAWN BY:	NHW/CLK	
DESIGNED/CHECKED BY:	NAH	
APPROVED BY:	PMC	

DETAILS SHEET

SCALE: AS SHOWN

C-504

## **Owner's Letter of Authorization**

This letter is to authorize Chinburg Properties (Applicant) to represent the interest of Bantry Bay Assoc LLC (owner) in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

<i>John C. Madden</i>	dotloop verified 07/31/23 8:53 PM ADT T3Q8-ENTB-19XF-SIFG
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Signature

John C. Madden
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Print Name

\_\_\_\_\_

Date

<i>Colton Gove</i>	dotloop verified 07/31/23 8:02 PM EDT PRVL-UPND-TPFR-4TAW
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Witness

Colton Gove
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Print Name

\_\_\_\_\_

Date

## **Agent Letter of Authorization**

I, Eric Chinburg , of Chinburg Properties (Applicant) hereby give Tighe & Bond (site/civil Engineer) permission to be my agent in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

<i>Eric J Chinburg</i> dotloop verified 07/29/23 10:06 AM EDT AUQB-4CWG-43QJ-HBC4
--

Signature

Eric Chinburg
---------------

Print Name

\_\_\_\_\_ Date

<i>Colton Gove</i> dotloop verified 07/29/23 10:08 AM EDT 52J9-58AD-WKTW-5ZDR
--

Witness

Colton Gove
-------------

Print Name

\_\_\_\_\_ Date



## CARBONARA CLASSIC W WING 1027.127 GL

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.



Width 78.00 FT

Depth 31.00 FT

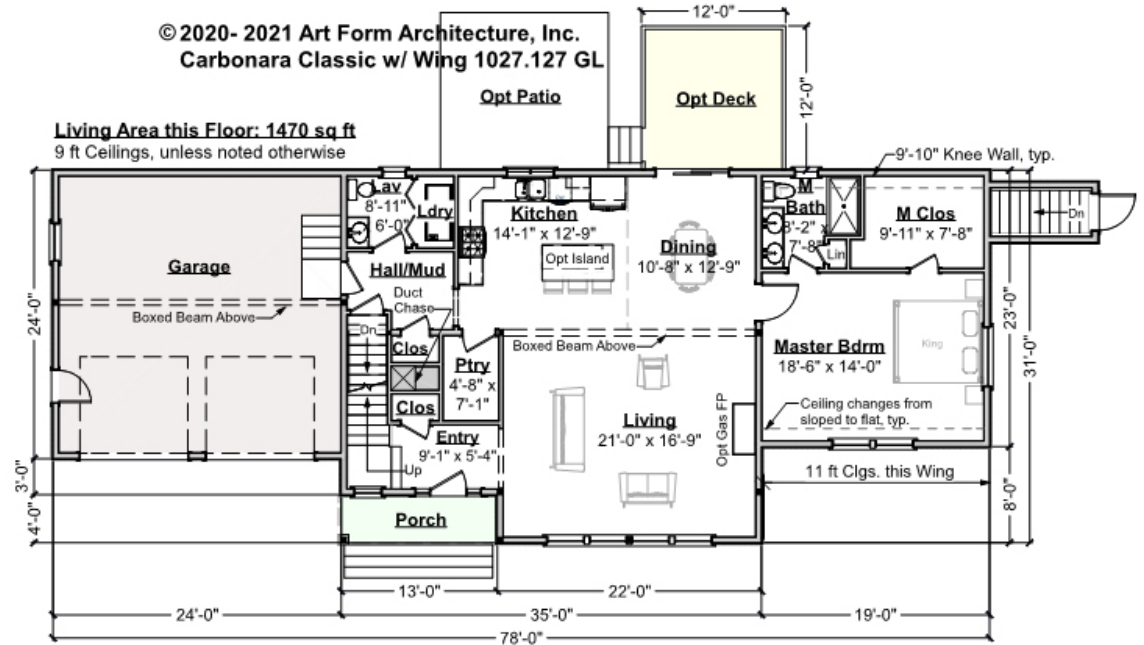
Height 26.83 FT

LIVING AREA		BEDROOMS		BATHROOMS	
	2885 FT		5		3.5
Main	2885 FT	Main	3	Main	3.5
Future	0 FT	Future	2	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



# CARBONARA CLASSIC W WING - 1<sup>ST</sup> FLOOR 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 9'-0"    CLG HT POSSIBLE 8'-0"

\* Major Change Fee, see website plan page for cost

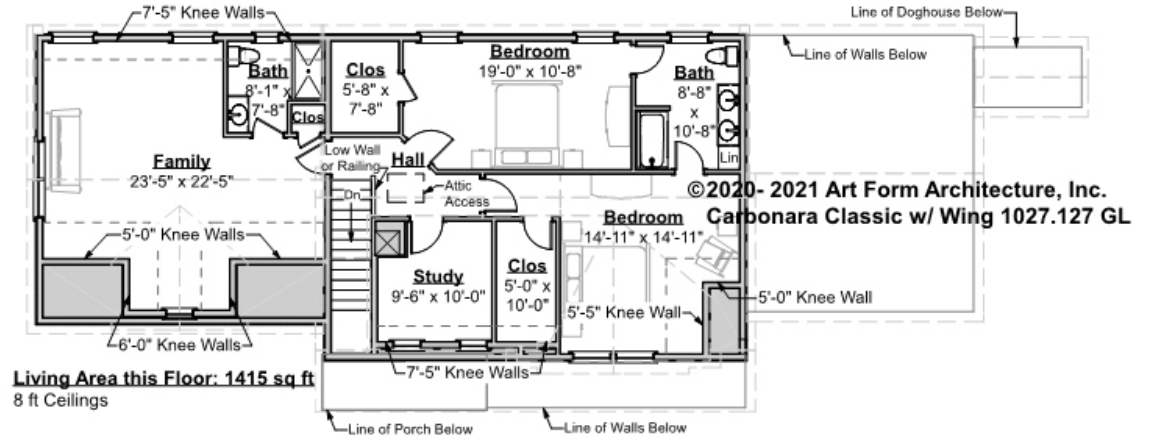
F1 LIVING AREA	1470 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1470.00 <sup>FT</sup>	Main	1.00	Main	1.50
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00





# CARBONARA CLASSIC W WING - 2<sup>ND</sup> FLOOR 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0"      CLG HT POSSIBLE 8'-0"

\* Major Change Fee, see website plan page for cost

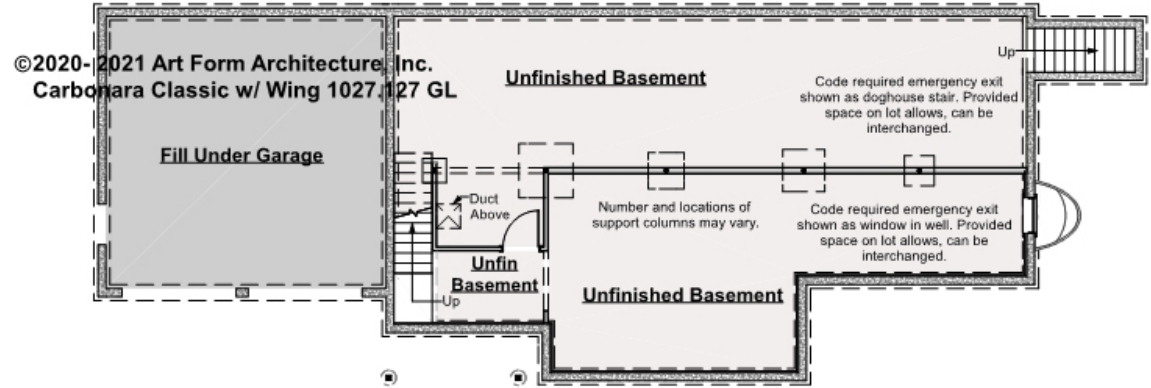
F1 LIVING AREA	1415 <sup>FT</sup>	F1 BEDROOMS	4	F1 BATHROOMS	2
Main	1415.00 <sup>FT</sup>	Main	2.00	Main	2.00
Future	0.00 <sup>FT</sup>	Future	2.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# CARBONARA CLASSIC W WING - BASEMENT

## 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



**CLG HT SHOWN 7'-8"      CLG HT POSSIBLE 9'-0"**

*\* Major Change Fee, see website plan page for cost*

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
0	FT	0		0	
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



Art Form Architecture, Inc.

## CARBONARA CLASSIC W WING - FRONT ELEVATION

1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





Art Form Architecture, Inc.

## CARBONARA CLASSIC W WING - RIGHT ELEVATION 1027.127 GL

—  
Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





Art Form Architecture, Inc.

## CARBONARA CLASSIC W WING - REAR ELEVATION 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





Art Form Architecture, Inc.

## CARBONARA CLASSIC W WING - LEFT ELEVATION

1027.127 GL

—  
Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





# DAMARA

## 861.124 GR

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.



Width 60.00 FT

Depth 27.33 FT

Height 25.08 FT

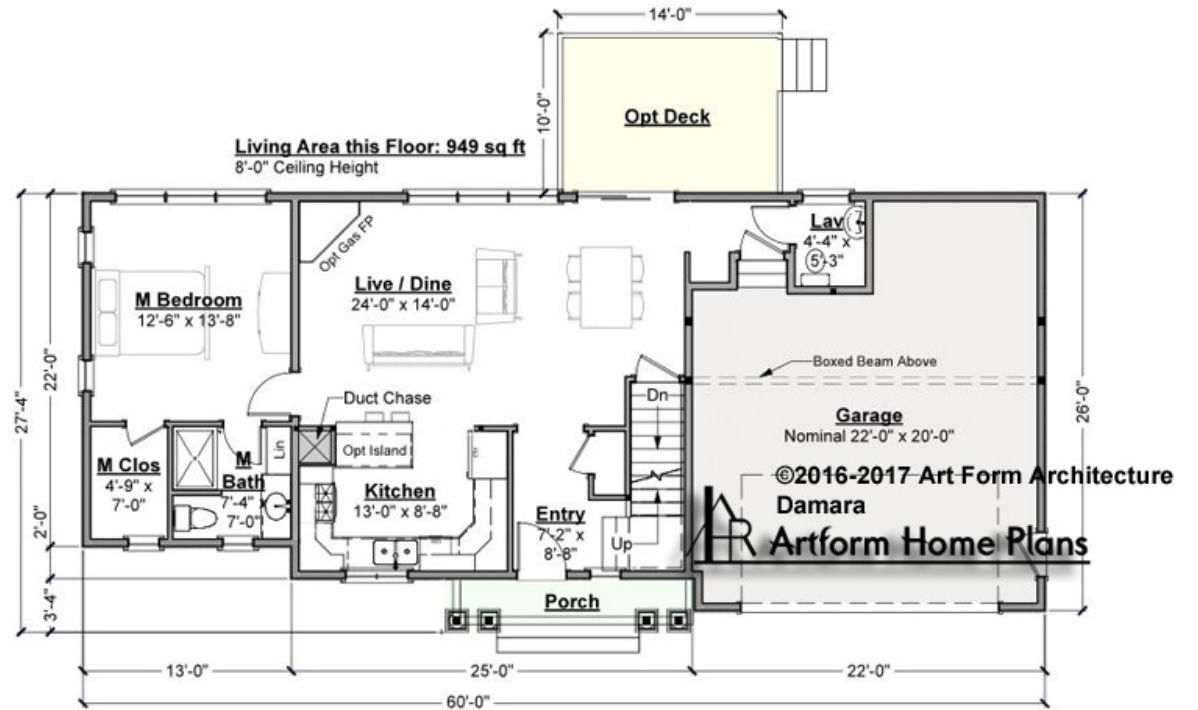
LIVING AREA		BEDROOMS		BATHROOMS	
	2029 FT		4		3.5
Main	2029 FT	Main	4	Main	3.5
Future	0 FT	Future	0	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



# DAMARA - 1<sup>ST</sup> FLOOR

## 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0"    CLG HT POSSIBLE 8'-0"

\* Major Change Fee, see website plan page for cost

F1 LIVING AREA	949 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	949.00 <sup>FT</sup>	Main	1.00	Main	1.50
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00





# DAMARA - 2<sup>ND</sup> FLOOR

## 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0"      CLG HT POSSIBLE 8'-0"

\* Major Change Fee, see website plan page for cost

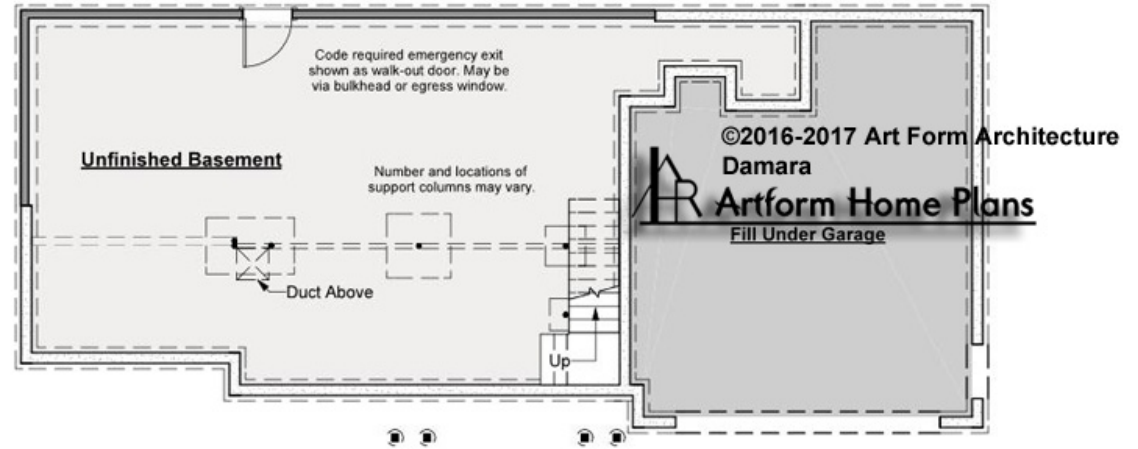
F1 LIVING AREA	1080 <sup>FT</sup>	F1 BEDROOMS	3	F1 BATHROOMS	2
Main	1080.00 <sup>FT</sup>	Main	3.00	Main	2.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# DAMARA - BASEMENT

## 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



**CLG HT SHOWN 7'-8"      CLG HT POSSIBLE 9'-0"**

*\* Major Change Fee, see website plan page for cost*

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	0 FT		0		0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



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## DAMARA - FRONT ELEVATION

### 861.124 GR

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## DAMARA - RIGHT ELEVATION

### 861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

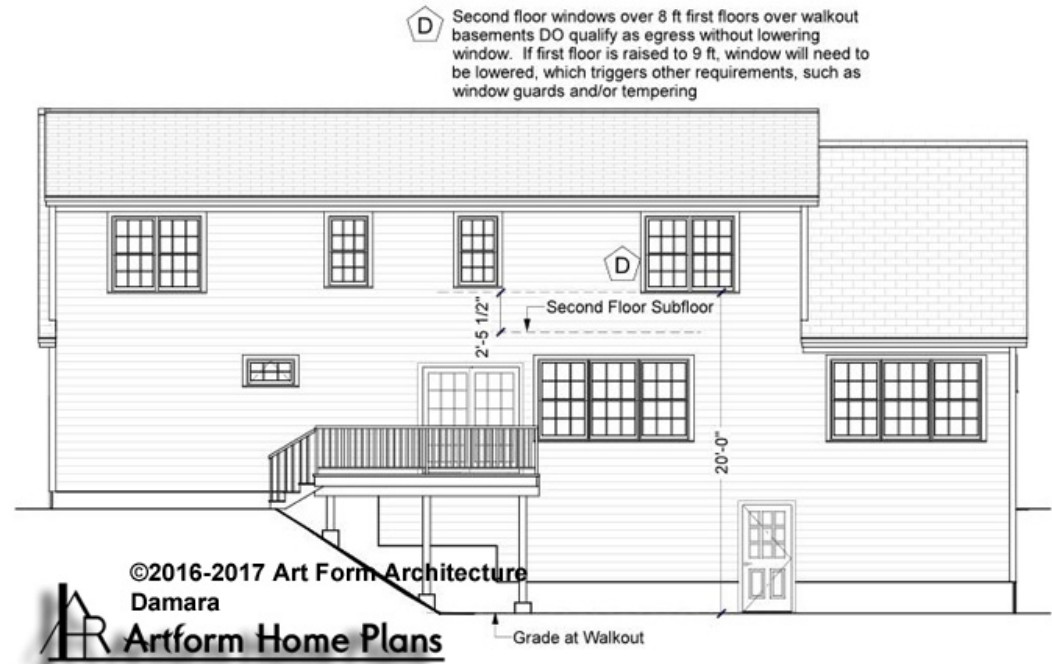




## DAMARA - REAR ELEVATION

861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



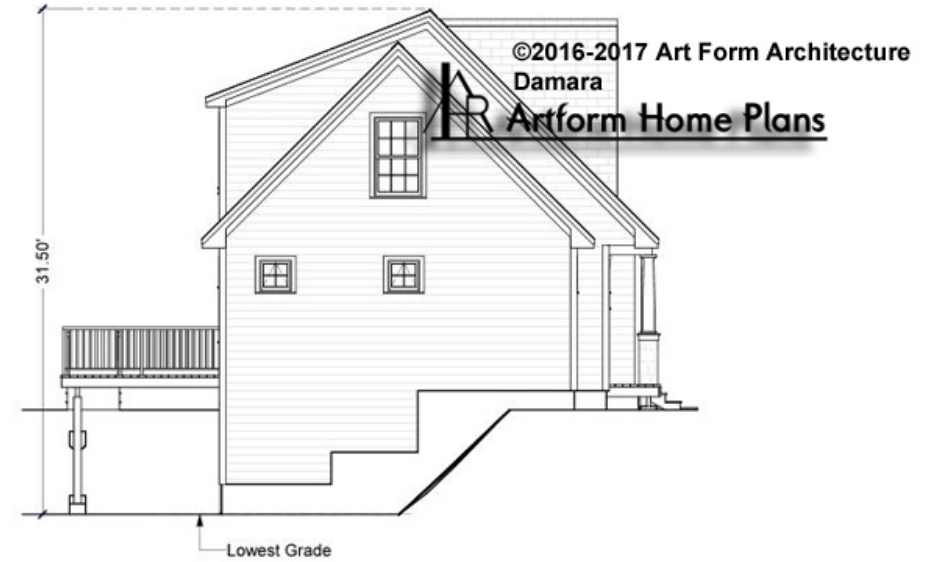


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## DAMARA - LEFT ELEVATION

861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





# FIONA

## 395.124.v5 GR

We have this in reverse as well (Garage on the Left), at no additional charge.

Reverse plan available.

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.



Width 68.00 FT

Depth 32.00 FT

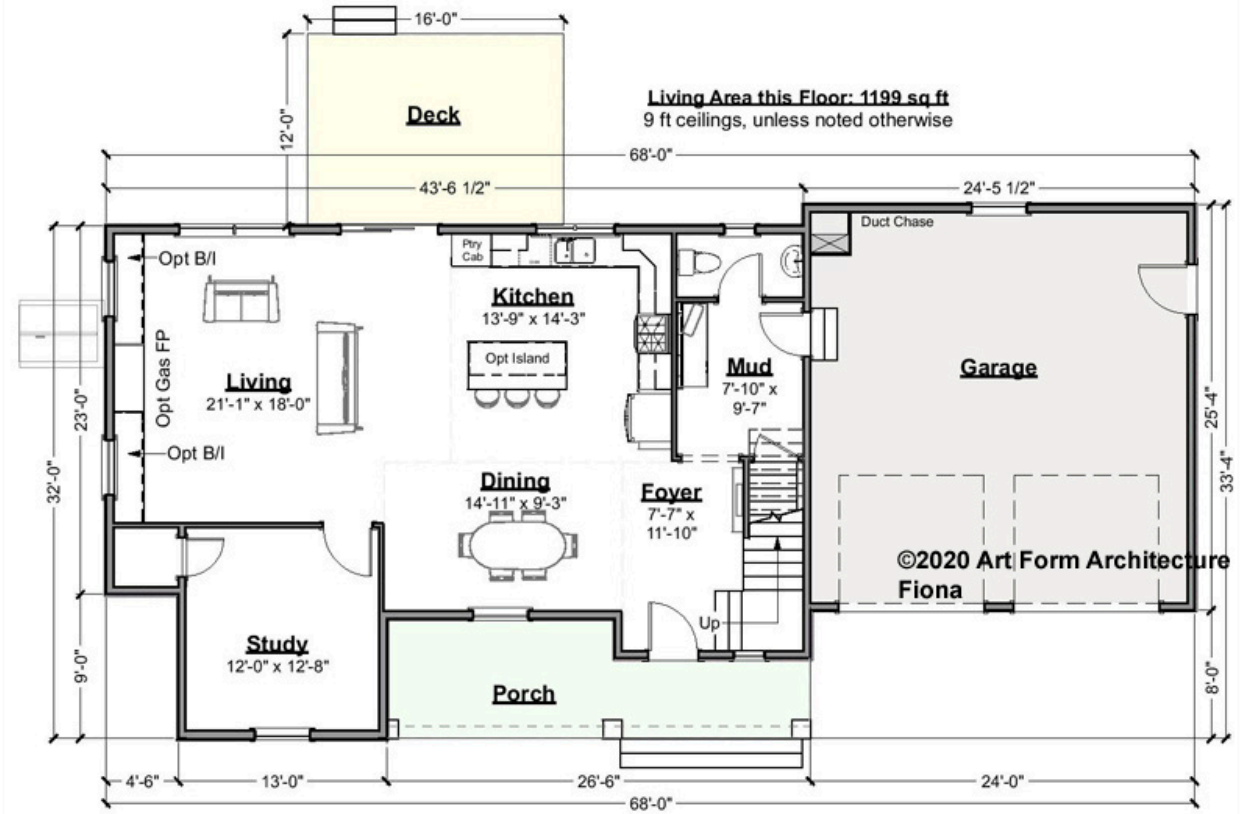
Height 26.16 FT

LIVING AREA		BEDROOMS		BATHROOMS	
	2804 FT		4		2.5
Main	2804 FT	Main	3	Main	2.5
Future	0 FT	Future	1	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



**FIONA - 1<sup>ST</sup> FLOOR**  
**395.124.v5 GR**

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CRS 395.124.v5 GR Fiona - Lot 2

**CLG HT SHOWN 9'-0"    CLG HT POSSIBLE 8'-0"**

*\* Major Change Fee, see website plan page for cost*

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1199 <sup>FT</sup>		1		0.5
Main	1199.00 <sup>FT</sup>	Main	0.00	Main	0.50
Future	0.00 <sup>FT</sup>	Future	1.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00

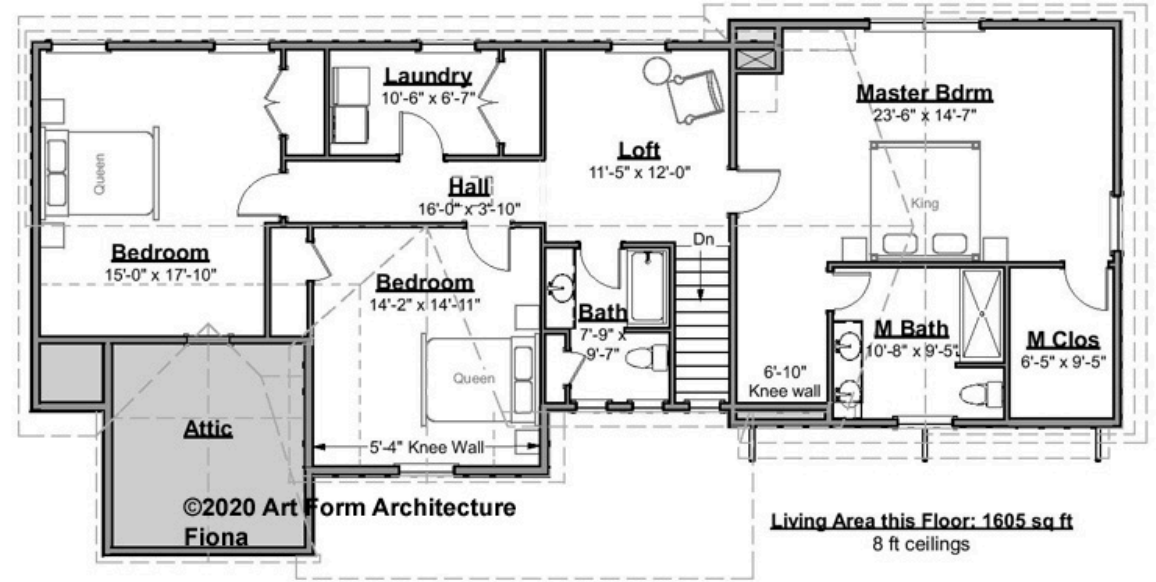




# FIONA - 2<sup>ND</sup> FLOOR

## 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CRS 395.124.v5 GR Fiona - Lot 2

**CLG HT SHOWN 8'-0"      CLG HT POSSIBLE 8'-0"**

*\* Major Change Fee, see website plan page for cost*

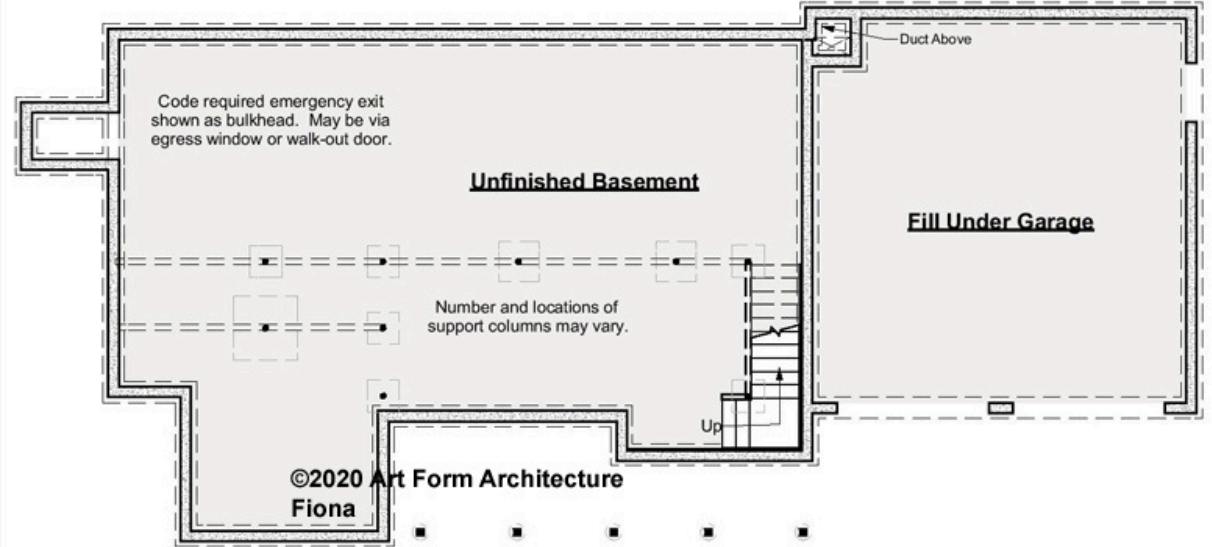
F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1605 <sup>FT</sup>		3		2
Main	1605.00 <sup>FT</sup>	Main	3.00	Main	2.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# FIONA - BASEMENT

## 395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CRS 395.124.v5 GR Fiona - Lot 2

**CLG HT SHOWN 7'-8"      CLG HT POSSIBLE 9'-0"**

*\* Major Change Fee, see website plan page for cost*

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	0 <sup>FT</sup>		0		0
Main	0.00 <sup>FT</sup>	Main	0.00	Main	0.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



## FIONA - FRONT ELEVATION

395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CRS 395.124.v5 GR Fiona - Lot 2



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## FIONA - RIGHT ELEVATION

395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CRS 395.124.v5 GR Fiona - Lot 2



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## FIONA - REAR ELEVATION

395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CRS 395.124.v5 GR Fiona - Lot 2

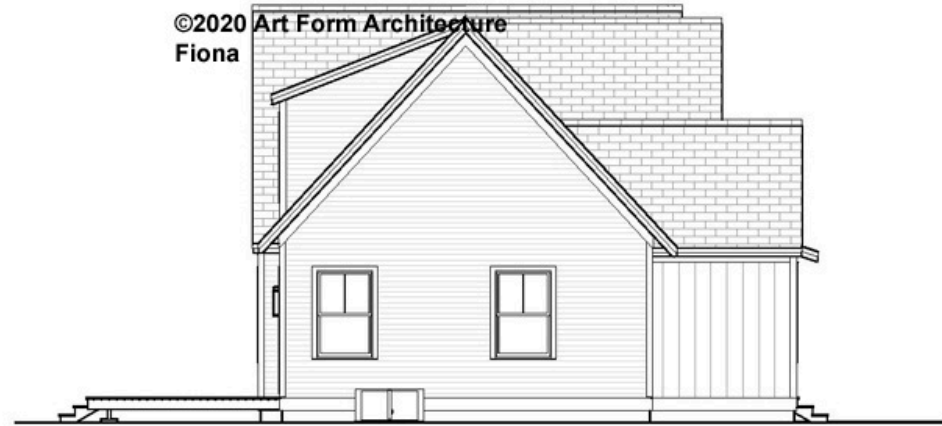


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## FIONA - LEFT ELEVATION

395.124.v5 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CRS 395.124.v5 GR Fiona - Lot 2



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## FIONA - REAR RENDER

395.124.v5 GR

—

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.







5/5/2022

# Garnet Premier

384.129.v27 GR (5/5/2022)

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603-431-9559



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Garnet Premier 384.129.v27 GR

## Dear Builders and Home Buyers,

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

This design may not yet have Construction Drawings (as defined in the Terms), and is, therefore, only available as a Design Drawing (as defined in the Terms and together with Construction Drawings, "Drawings"). It is possible that during the conversion of a Design Drawing to a final Construction Drawing, changes may be necessary including, but not limited to, dimensional changes. Please see Plan Data Explained on [www.artform.us](http://www.artform.us) to understand room sizes, dimensions and other data provided. We are not responsible for typographical errors.

Art Form Architecture ("Art Form") requires that our Drawings be built substantially as designed. Art Form will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Art Form. It is recommended that you have your Drawing updated by Art Form prior to attaching any Drawing to any builder agreement. Art Form shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

### Facade Changes:

- To maintain design integrity, we pay particular attention to features on the front facade, including but not limited to door surrounds, window casings, finished porch column sizes, and roof friezes. While we may allow builders to add their own flare to aesthetic elements, we don't allow our designs to be stripped of critical details. Any such alterations require the express written consent of Art Form.
- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

### Floor plan layout and/or Structural Changes:

- Structural changes always require the express written consent of Art Form
- If you wish to move or remove walls or structural elements (such as removal of posts, increases in house size, ceiling height changes, addition of dormers, etc), please do not assume it can be done without other additional changes (even if the builder or lumber yard says you can).

5/5/2022

# Garnet Premier

384.129.v27 GR (5/5/2022)

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# Garnet Premier

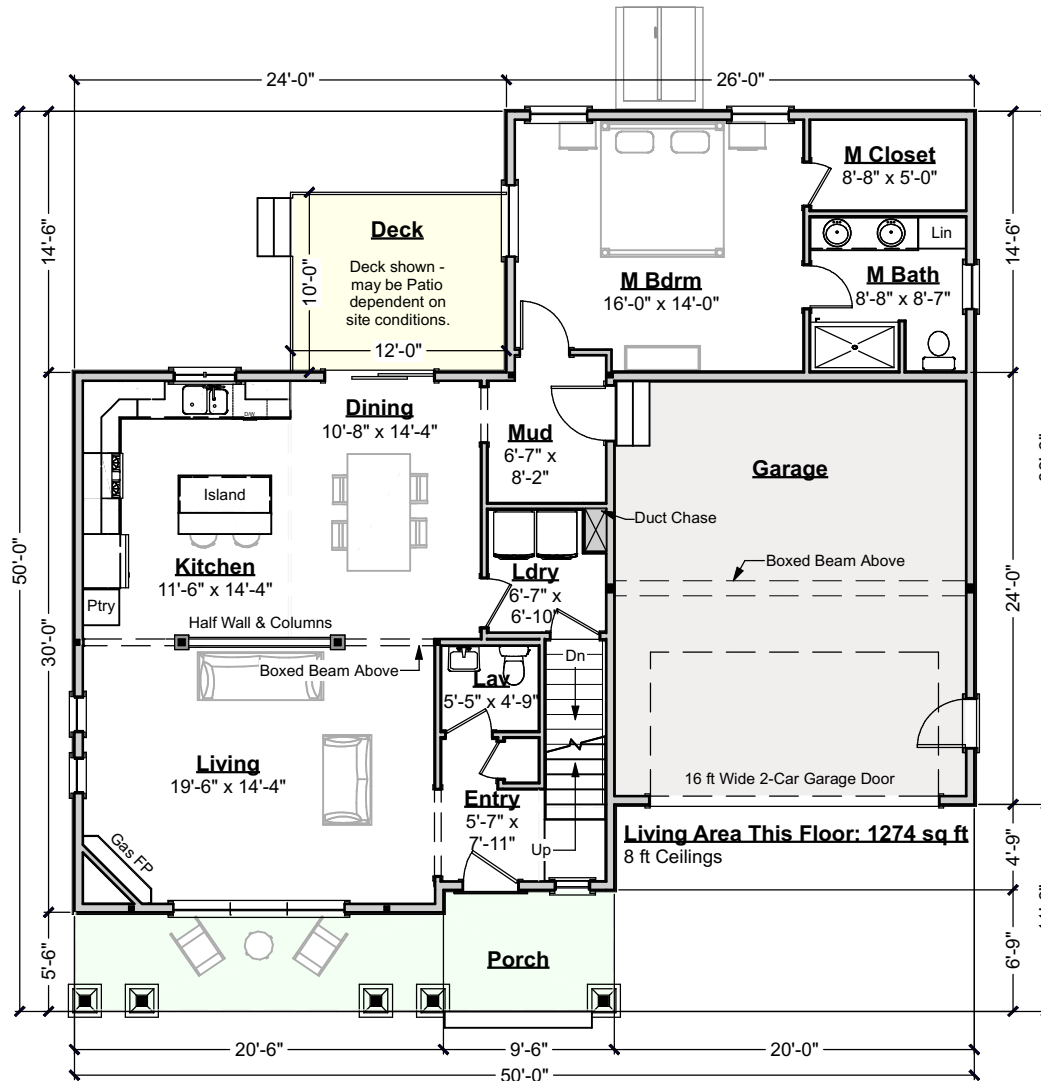
384.129.v27 GR (5/5/2022)

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## First Floor Plan

Scale: 3/32" = 1'-0"

5/5/2022

# Garnet Premier

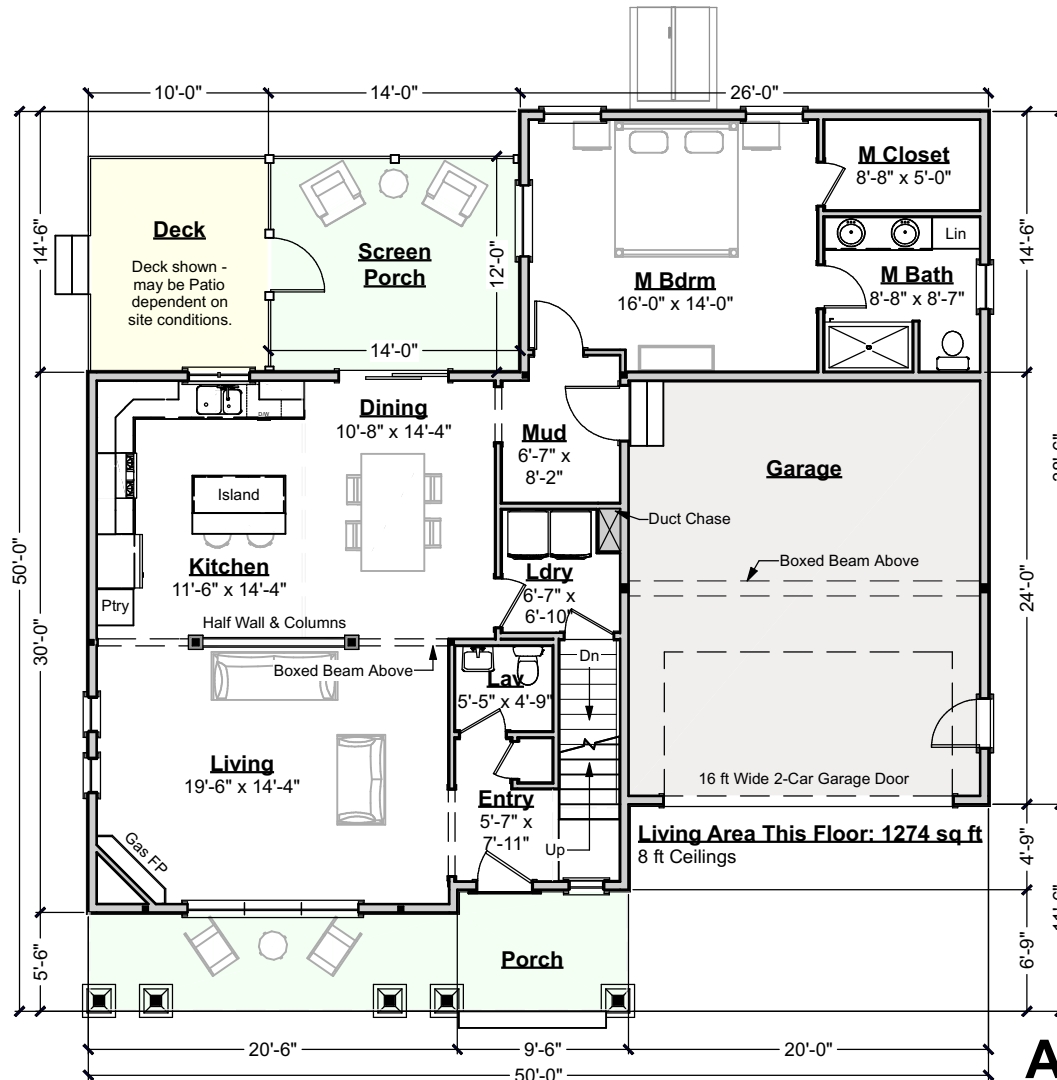
554.126.v64 GR (5/5/2022)

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## Alternate First Floor Plan - Screen Porch

Scale: 3/32" = 1'-0"

5/5/2022

# Garnet Premier

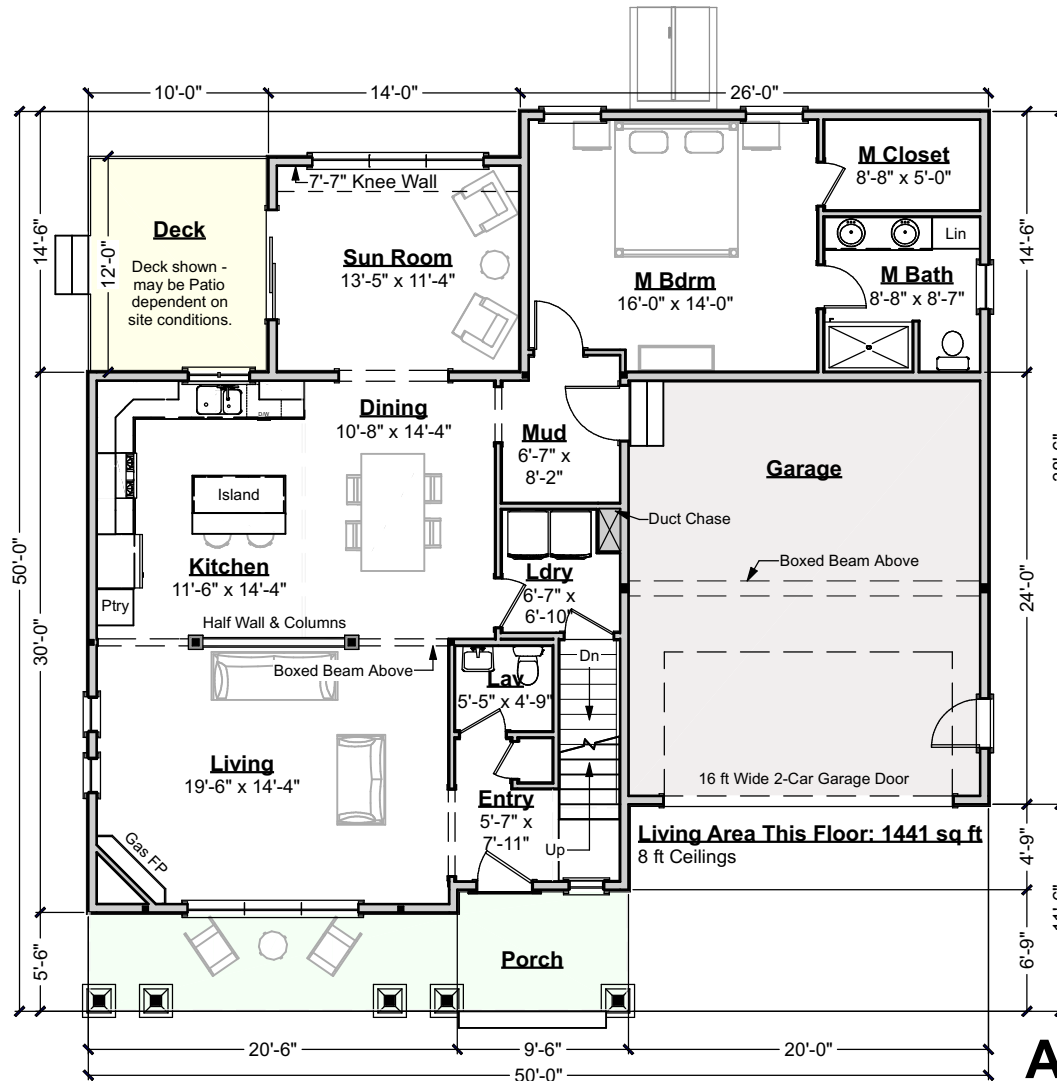
554.126.v65 GR (5/5/2022)

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## Alternate First Floor Plan - Sun Room

Scale: 3/32" = 1'-0"

5/5/2022

# Garnet Premier

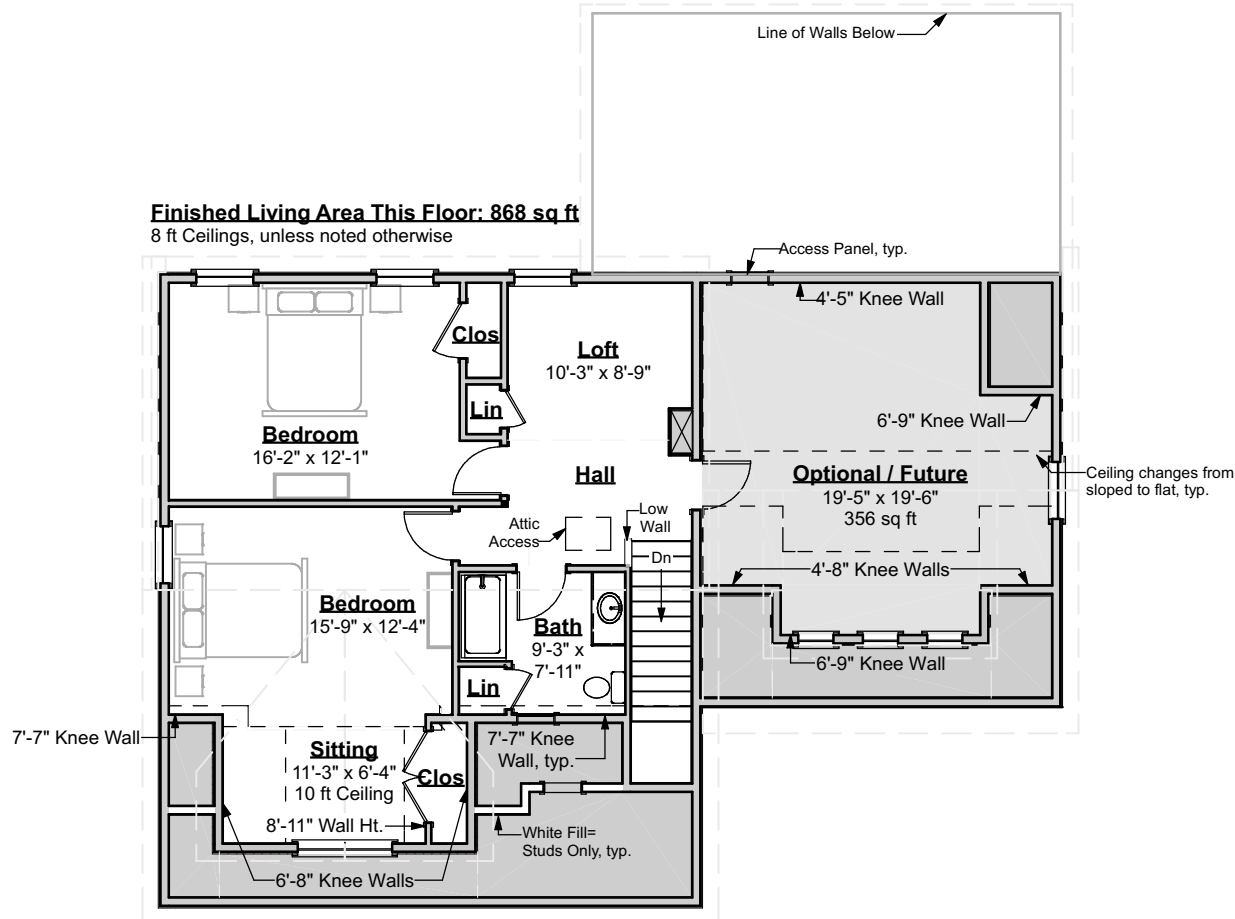
384.129.v27 GR (5/5/2022)

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**Second Floor Plan**  
Scale: 3/32" = 1'-0"

5/5/2022

# Garnet Premier

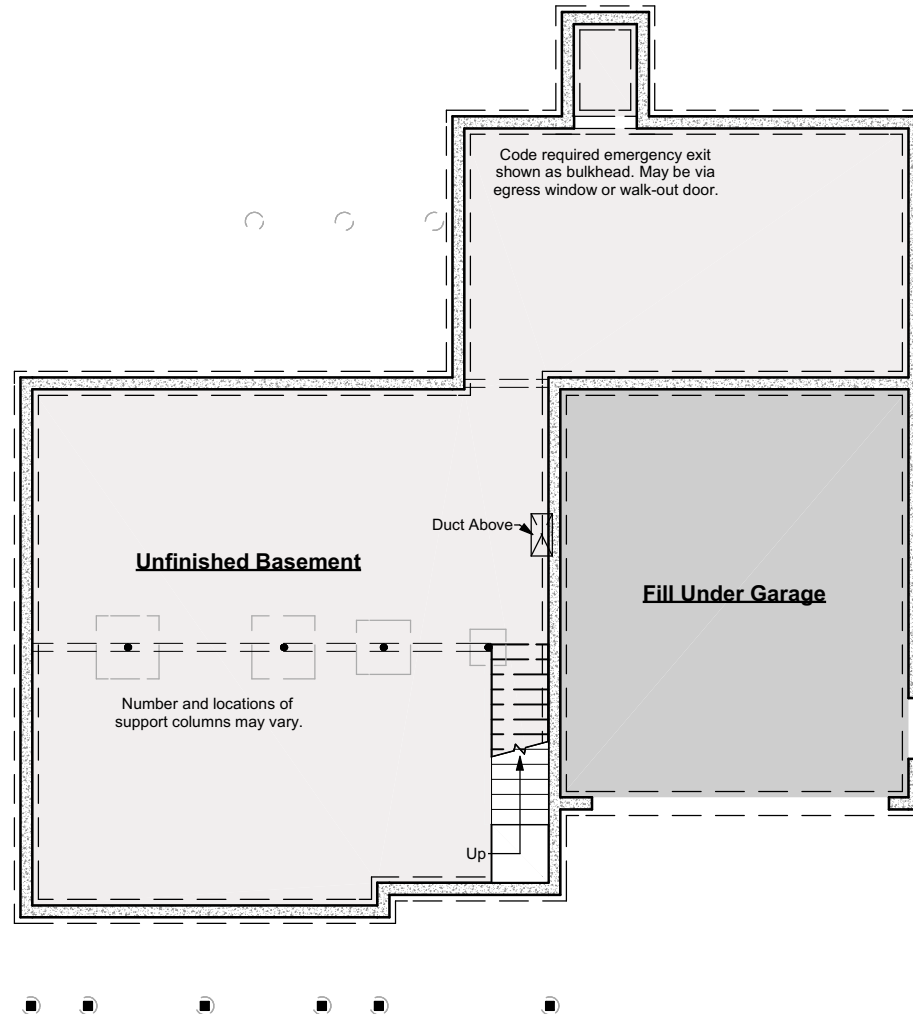
384.129.v27 GR (5/5/2022)

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**Foundation Plan**  
Scale: 3/32" = 1'-0"

5/5/2022

# Garnet Premier

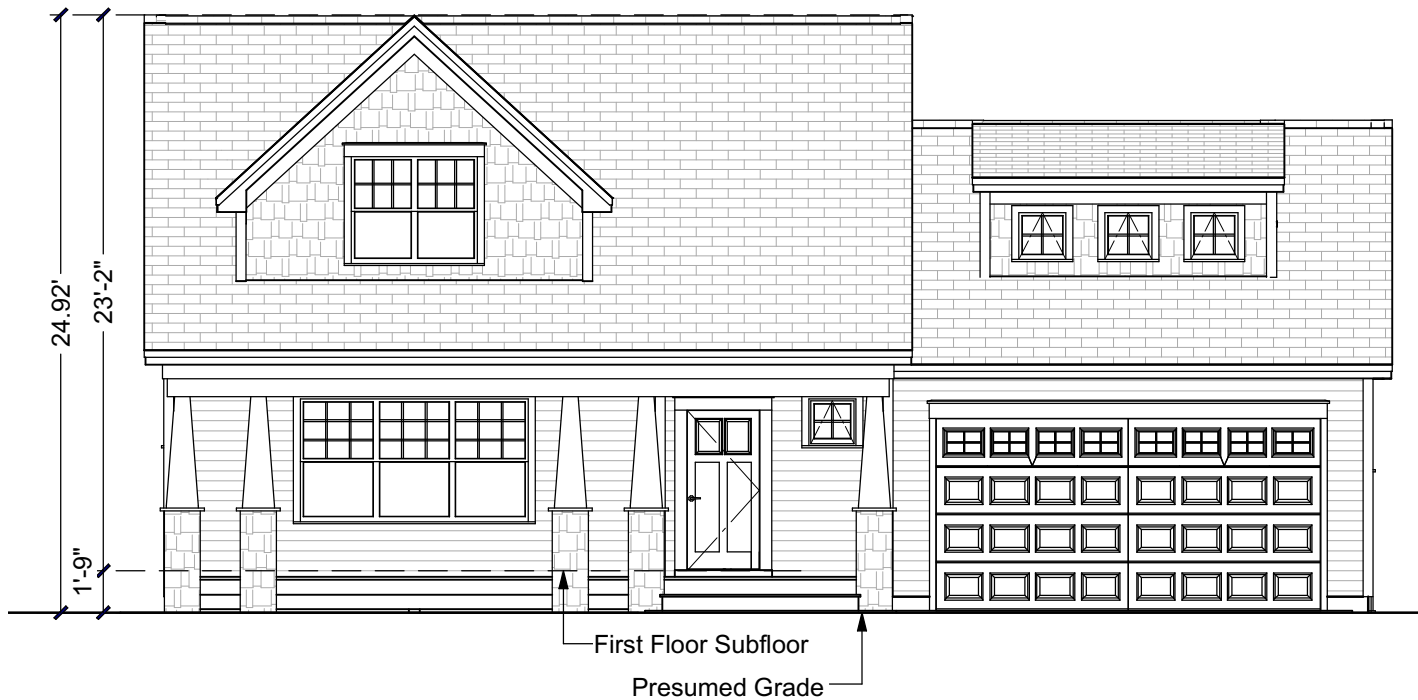
384.129.v27 GR (5/5/2022)

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## Front Elevation

Scale: 1/8" = 1'-0"



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**Right Elevation**

Scale: 1/8" = 1'-0"

5/5/2022

# Garnet Premier

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**Rear Elevation**

Scale: 1/8" = 1'-0"

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**Left Elevation**  
Scale: 1/8" = 1'-0"





# OPAL MARQUISE CLASSIC, 30X28

## 370.124.v19 GL

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Width 54.00 FT

Depth 30.31 FT

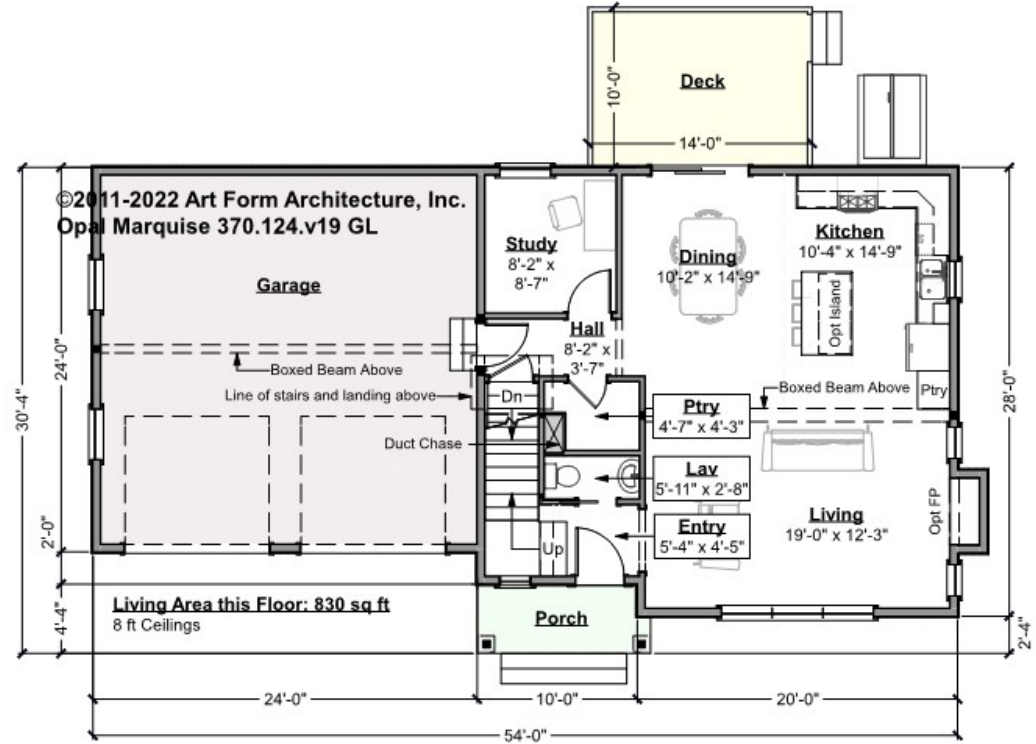
Height 26.33 FT

LIVING AREA		BEDROOMS		BATHROOMS	
	2104 FT <sup>2</sup>		5		3.5
Main	2104 FT <sup>2</sup>	Main	3	Main	2.5
Future	0 FT <sup>2</sup>	Future	2	Future	1
2 <sup>nd</sup> Unit	0 FT <sup>2</sup>	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



**OPAL MARQUISE CLASSIC, 30X28 - 1<sup>ST</sup> FLOOR**  
**370.124.v19 GL**

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



**CLG HT SHOWN 8'-0"      CLG HT POSSIBLE 8'-0"**

*\* Major Change Fee, see website plan page for cost*

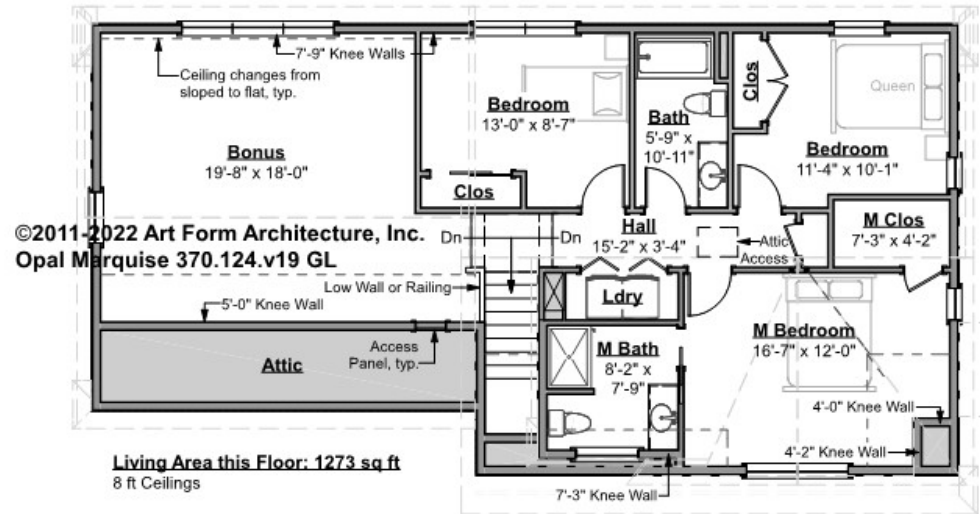
F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	830 <sup>FT</sup>		1		0.5
Main	830.00 <sup>FT</sup>	Main	0.00	Main	0.50
Future	0.00 <sup>FT</sup>	Future	1.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



**OPAL MARQUISE CLASSIC, 30X28 -  
2<sup>ND</sup> FLOOR  
370.124.v19 GL**

We're listing a future bath for this floor because there's enough head height and floor space in the "bonus" to add one.

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0"

CLG HT POSSIBLE 8'-0"

\* Major Change Fee, see website plan page for cost

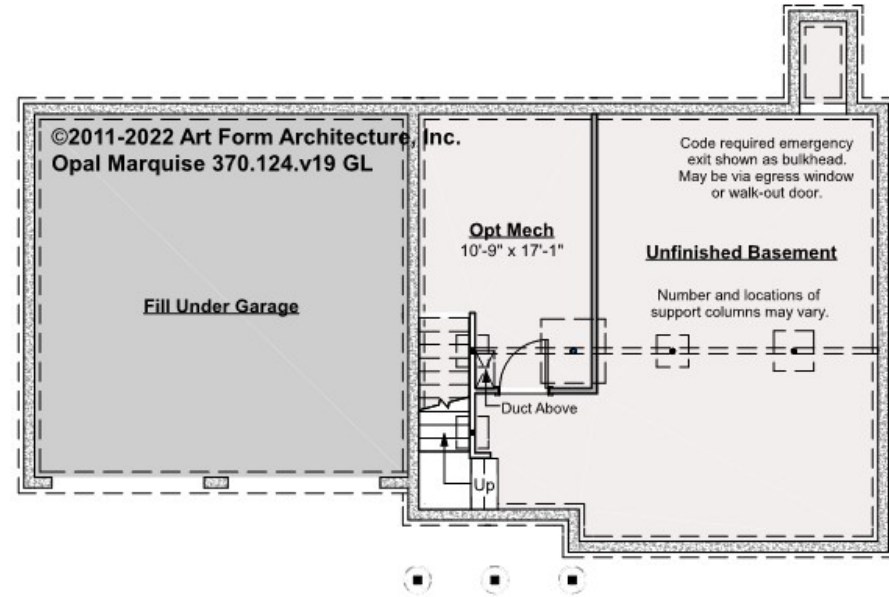
F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1274 <sup>FT</sup>		4		3
Main	1274.00 <sup>FT</sup>	Main	3.00	Main	2.00
Future	0.00 <sup>FT</sup>	Future	1.00	Future	1.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



# OPAL MARQUISE CLASSIC, 30X28 - BASEMENT

370.124.v19 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 7'-8"      CLG HT POSSIBLE 9'-0"

\* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
0	FT	0		0	
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



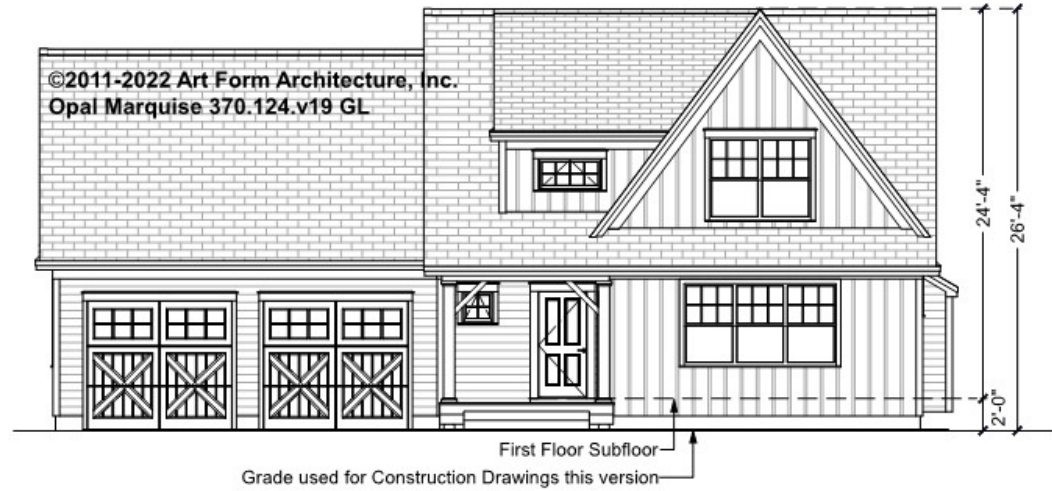


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## OPAL MARQUISE CLASSIC, 30X28 - FRONT ELEVATION

370.124.v19 GL

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## OPAL MARQUISE CLASSIC, 30X28 - RIGHT ELEVATION

370.124.v19 GL

—  
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## OPAL MARQUISE CLASSIC, 30X28 - REAR ELEVATION

370.124.v19 GL

—  
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## OPAL MARQUISE CLASSIC, 30X28 - LEFT ELEVATION

370.124.v19 GL

—  
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**OPAL MARQUISE CLASSIC, 30X28 -  
REAR RENDER  
370.124.v19 GL**

—  
Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.







## PEPPERCORN CLASSIC WITH WING 975.127.v3 GL

This plan is Tier 2 because original was for Portland Maine that doesn't allow us to give you the choices we normally give. Tier 2 gives us the time to add that back in.

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.



Width 67.00 FT

Depth 30.60 FT

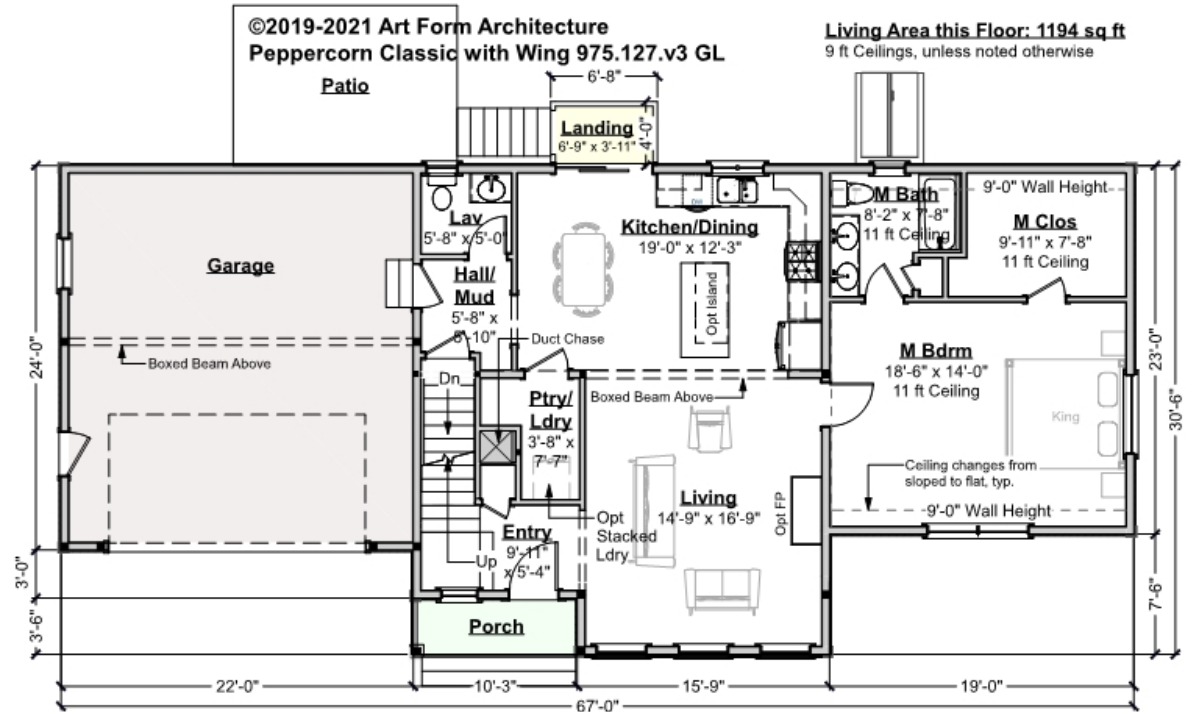
Height 25.66 FT

LIVING AREA		BEDROOMS		BATHROOMS	
	2294 FT		3		2.5
Main	2294 FT	Main	3	Main	2.5
Future	0 FT	Future	0	Future	0
2 <sup>nd</sup> Unit	0 FT	2 <sup>nd</sup> Unit	0	2 <sup>nd</sup> Unit	0



**PEPPERCORN CLASSIC WITH WING -  
1<sup>ST</sup> FLOOR  
975.127.v3 GL**

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



**CLG HT SHOWN 9'-0"      CLG HT POSSIBLE 9'-0"**

*\* Major Change Fee, see website plan page for cost*

F1 LIVING AREA	1194 <sup>FT</sup>	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1194.00 <sup>FT</sup>	Main	1.00	Main	1.50
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00

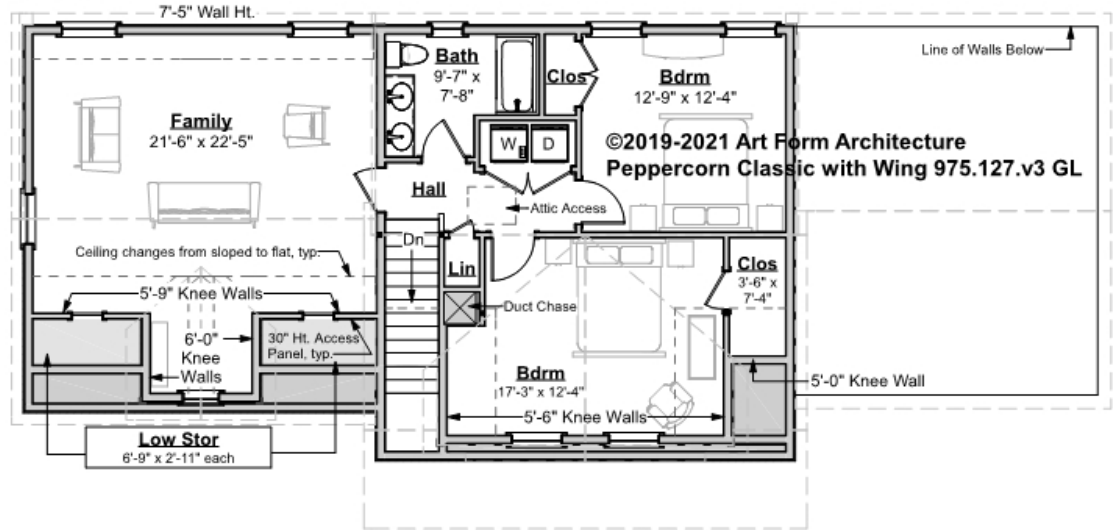




**PEPPERCORN CLASSIC WITH WING -  
2<sup>ND</sup> FLOOR  
975.127.v3 GL**

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.

**Living Area this Floor: 1100 sq ft**  
8 ft Ceilings



**CLG HT SHOWN 8'-0"      CLG HT POSSIBLE 9'-0"**

*\* Major Change Fee, see website plan page for cost*

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
Main	1100.00 <sup>FT</sup>	Main	2.00	Main	1.00
Future	0.00 <sup>FT</sup>	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 <sup>FT</sup>	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00

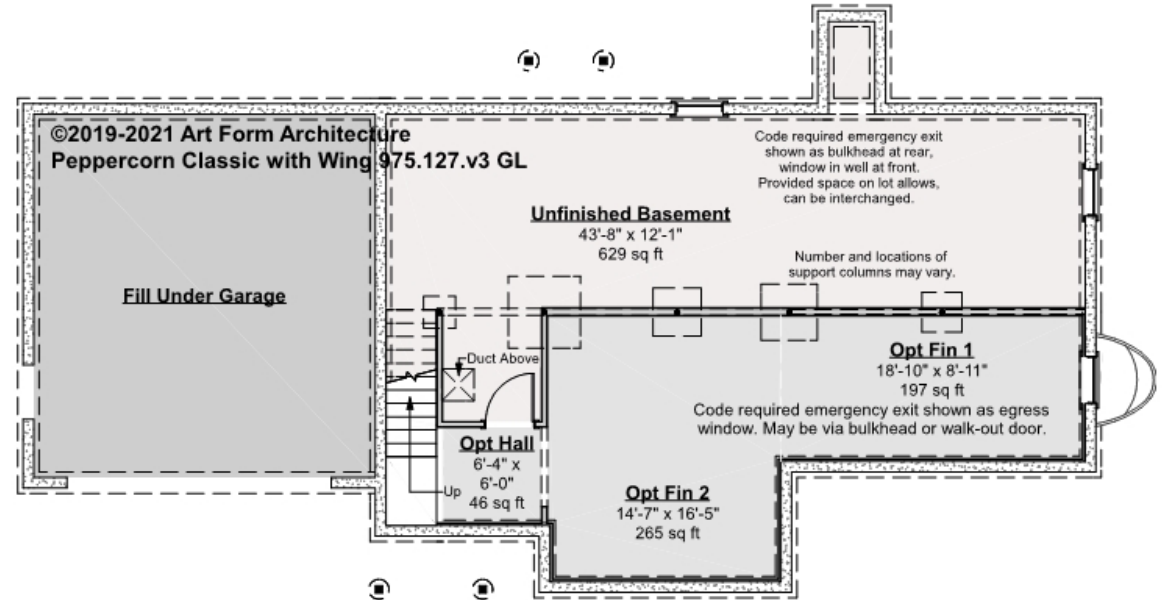


# PEPPERCORN CLASSIC WITH WING - BASEMENT

975.127.v3 GL

The construction drawings show this lower level as finished. We don't include that in our data chart so Search isn't misleading. Everybody knows you can finish a basement!

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 7'-8"      CLG HT POSSIBLE 9'-0"

\* Major Change Fee, see website plan page for cost

F1 LIVING AREA	0 FT	F1 BEDROOMS	0	F1 BATHROOMS	0
Main	0.00 FT	Main	0.00	Main	0.00
Future	FT	Future	0.00	Future	0.00
2 <sup>nd</sup> Unit	0.00 FT	2 <sup>nd</sup> Unit	0.00	2 <sup>nd</sup> Unit	0.00



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## PEPPERCORN CLASSIC WITH WING - FRONT ELEVATION

975.127.v3 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



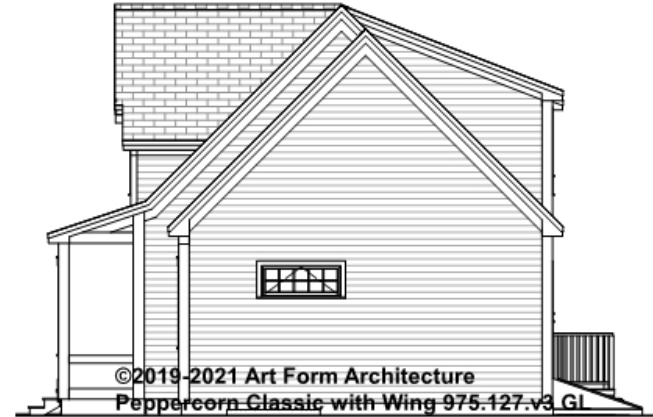


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## PEPPERCORN CLASSIC WITH WING - RIGHT ELEVATION

975.127.v3 GL

—  
Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





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## PEPPERCORN CLASSIC WITH WING - REAR ELEVATION

975.127.v3 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





Art Form Architecture, Inc.

## PEPPERCORN CLASSIC WITH WING - LEFT ELEVATION

975.127.v3 GL

—  
Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



6/7/2023

# Shelley with Sun

874.125.v3 GR

(6/7/2023)

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Art Form Architecture, Inc.

603-431-9559



## Dear Builders and Home Buyers,

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

This design may not yet have Construction Drawings (as defined in the Terms), and is, therefore, only available as a Design Drawing (as defined in the Terms and together with Construction Drawings, "Drawings"). It is possible that during the conversion of a Design Drawing to a final Construction Drawing, changes may be necessary including, but not limited to, dimensional changes. Please see Plan Data Explained on [www.artform.us](http://www.artform.us) to understand room sizes, dimensions and other data provided. We are not responsible for typographical errors.

Art Form Architecture ("Art Form") requires that our home designs be built substantially as designed. Art Form will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Art Form. It is recommended that you have your Drawing updated by Art Form prior to attaching any Drawing to any builder agreement. Art Form shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

### Facade Changes:

- To maintain design integrity, we pay particular attention to features on the front facade, including but not limited to door surrounds, window casings, finished porch column sizes, and roof friezes. While we may allow builders to add their own flare to aesthetic elements, we don't allow our designs to be stripped of critical details. Any such alterations require the express written consent of Art Form.
- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

### Floor plan layout and/or Structural Changes:

- Structural changes always require the express written consent of Art Form
- If you wish to move or remove walls or structural elements (such as removal of posts, increases in house size, ceiling height changes, addition of dormers, etc), please do not assume it can be done without other additional changes (even if the builder or lumber yard says you can).

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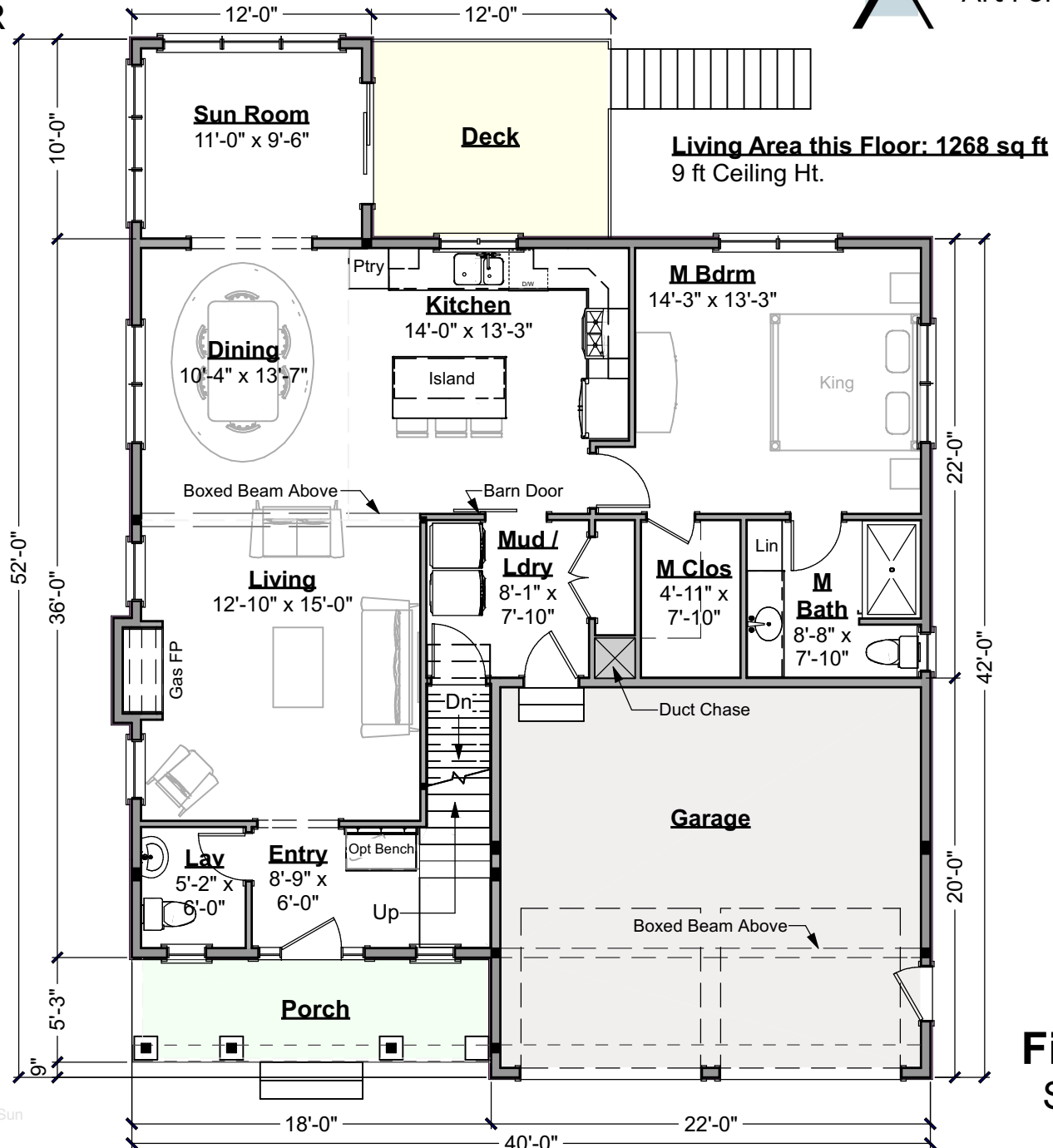
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**First Floor Plan**  
Scale: 1/8" = 1'-0"

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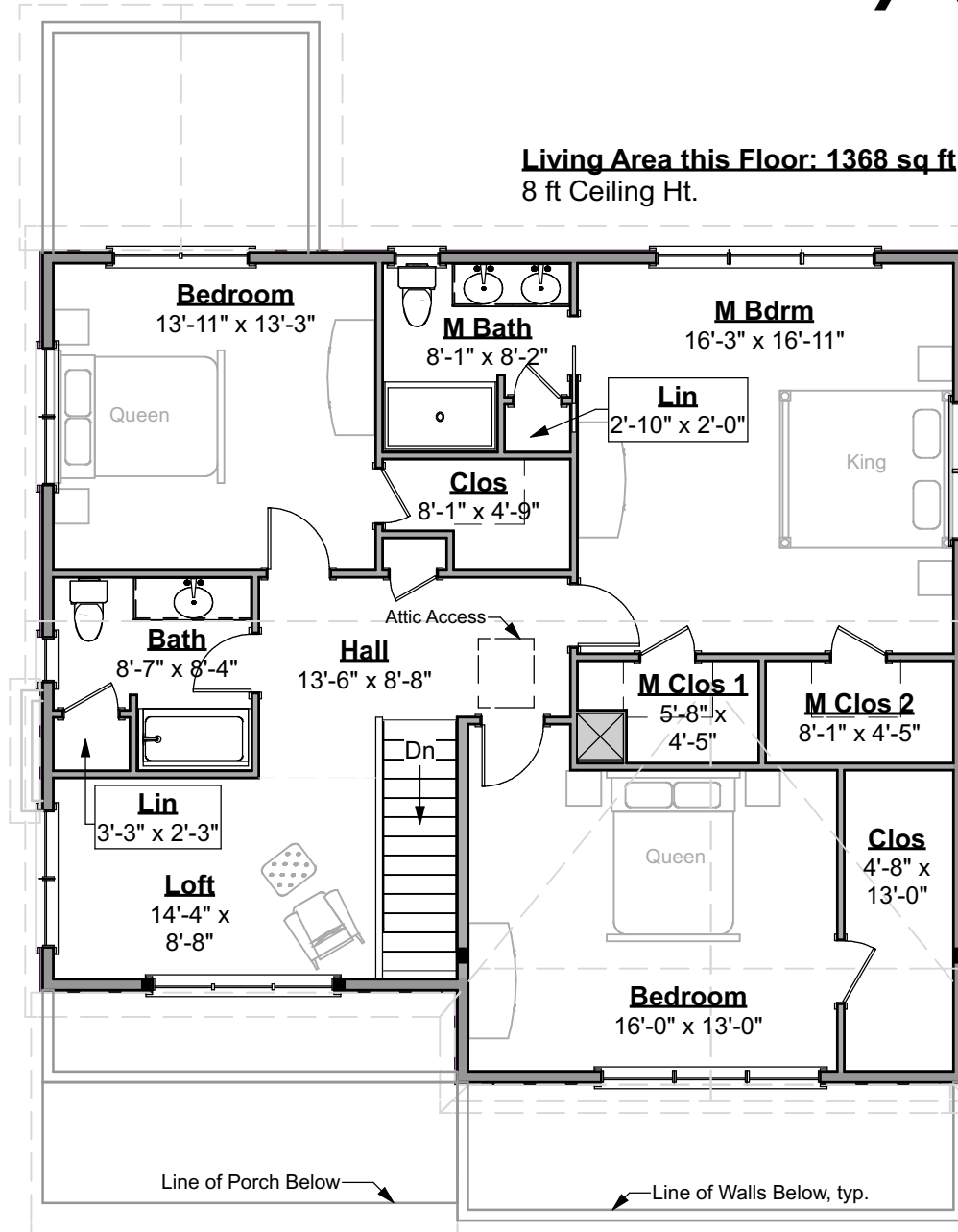
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**Living Area this Floor: 1368 sq ft**  
8 ft Ceiling Ht.



## Second Floor Plan

Scale: 1/8" = 1'-0"

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# Shelley with Sun

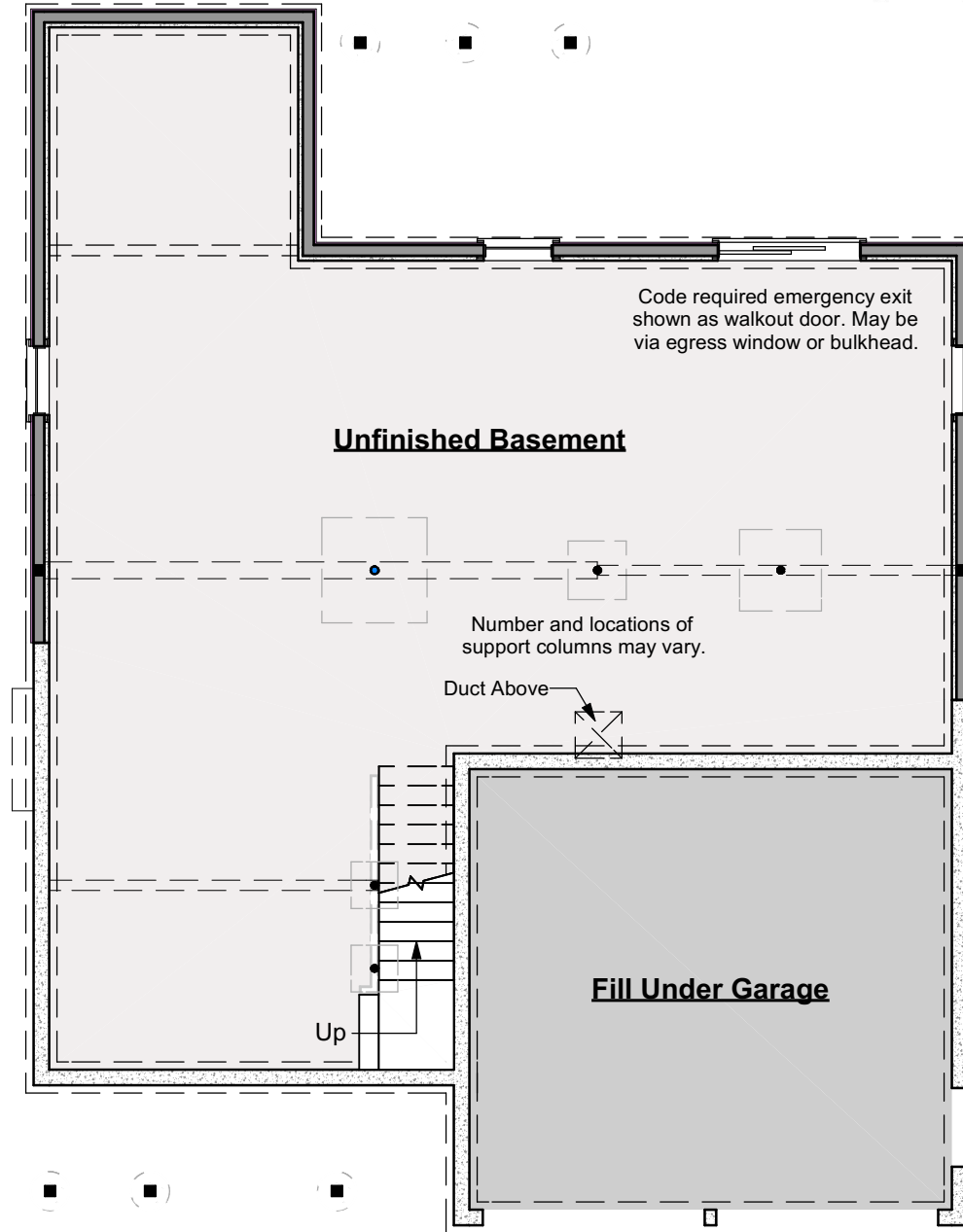
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## Foundation Plan

Scale: 1/8" = 1'-0"

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## Front Elevation

Scale: 1/8" = 1'-0"

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# Shelley with Sun

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**Right Elevation**

Scale: 1/8" = 1'-0"

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# Shelley with Sun

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**Rear Elevation**

Scale: 1/8" = 1'-0"

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# Shelley with Sun

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**Left Elevation**  
Scale: 1/8" = 1'-0"





7/25/2022

# Sweet Cherry Peekaboo

1020.124.v2 GR (7/25/2022)

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Sweet Cherry Peekaboo 1020.124.v2 GR

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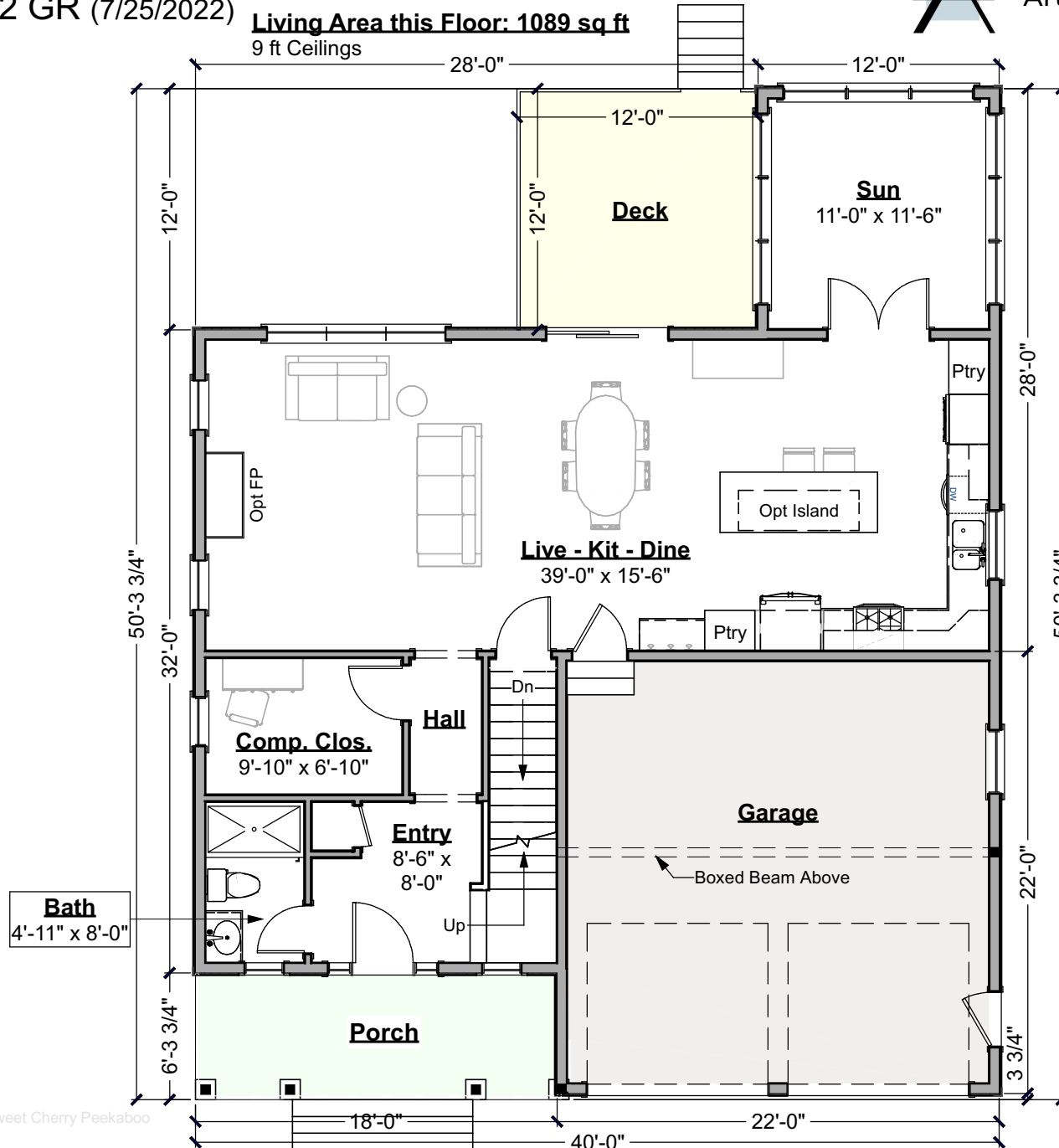
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**First Floor Plan**  
Scale: 1/8" = 1'-0"

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# Sweet Cherry Peekaboo

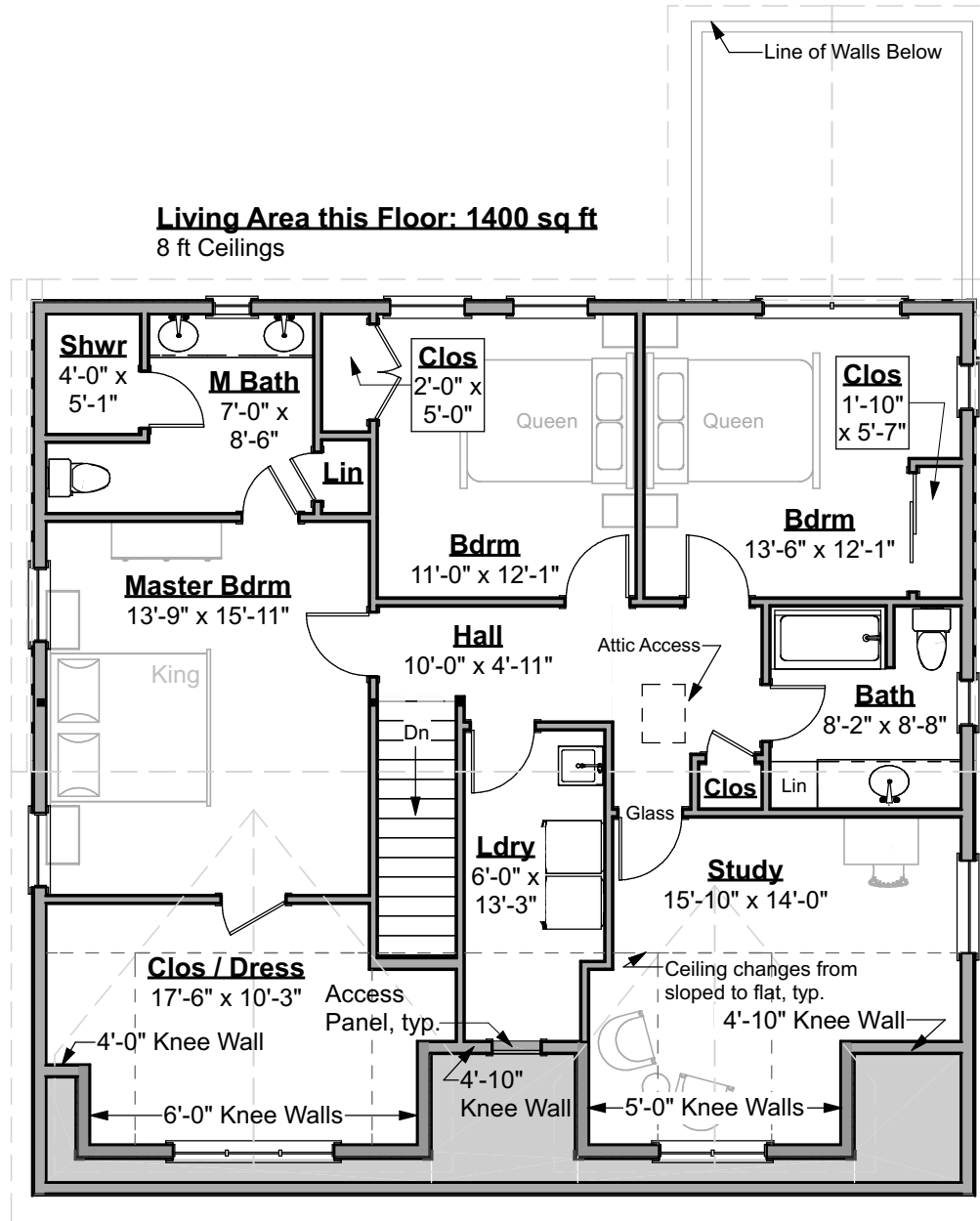
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**Second Floor Plan**  
Scale: 1/8" = 1'-0"

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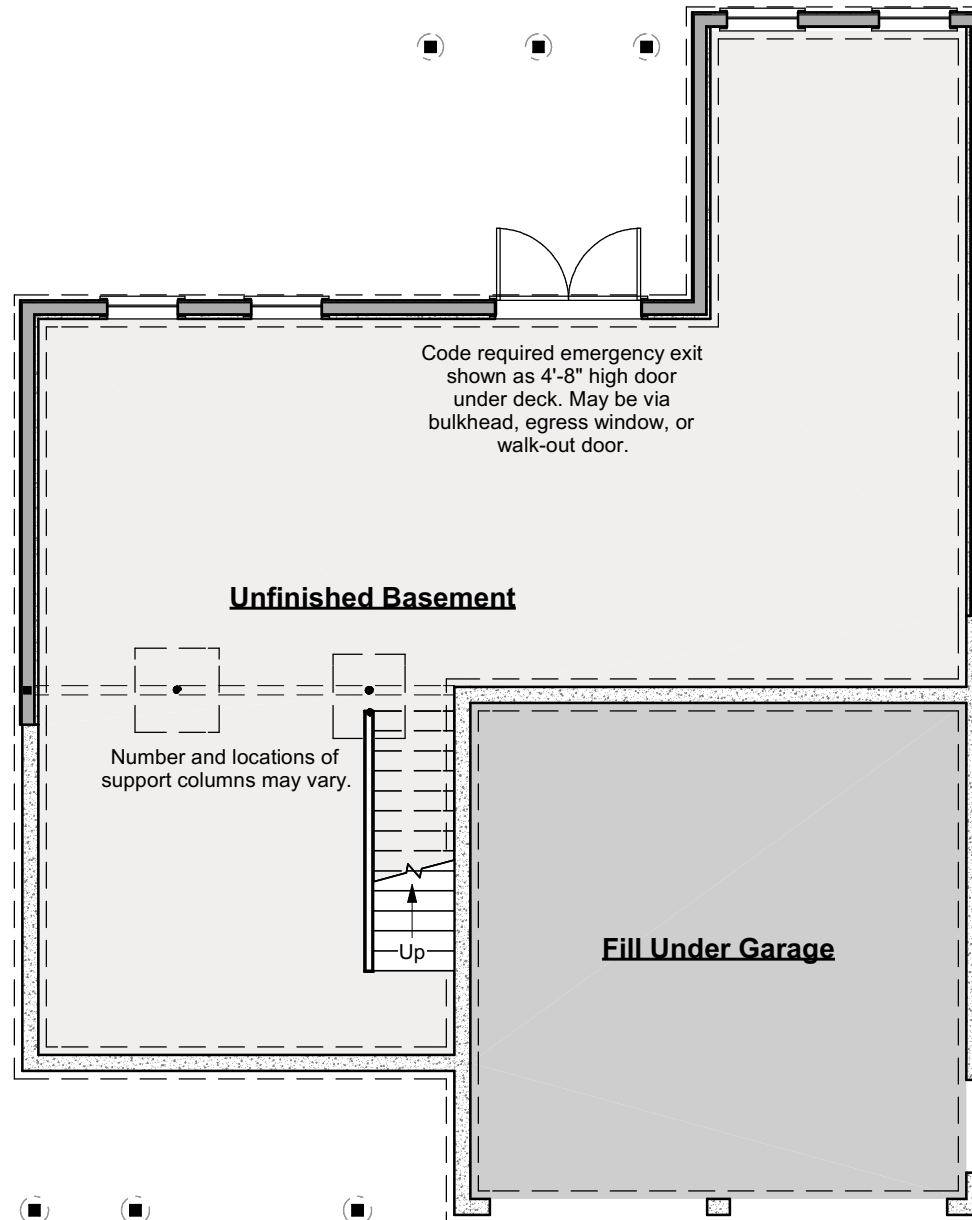
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## IMPORTANT BASEMENT

### NOTES:

- Unless an area is specifically designed as "no posts", additional posts may be required.
- Unless specifically noted otherwise, basement beams will be framed below the floor joists.
- Basement spaces accommodate utilities, mechanical equipment and the horizontal movement of plumbing pipes, electrical wires and heating ducts. Both as part of any Construction Drawings produced based on this design and as future decisions made by the builder, changes to accommodate these items must be expected.
- Basement window locations are dependent on site conditions and utility locations. Clarify number and location with your builder.



**Foundation Plan**  
Scale: 1/8" = 1'-0"

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**Front Elevation**  
Scale: 1/8" = 1'-0"

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**Right Elevation**  
Scale: 1/8" = 1'-0"

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**Rear Elevation**  
Scale: 1/8" = 1'-0"



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**Left Elevation**  
Scale: 1/8" = 1'-0"

