

C5194-001
August 21, 2023

Mr. Peter Britz, Director of Planning & Sustainability
City of Portsmouth Planning & Sustainability Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Site Review & Subdivision Applications
Proposed Single-Family Subdivision, Shearwater Drive, Portsmouth, NH**

Dear Peter,

On behalf of Chinburg Properties (applicant), we are pleased to submit one (1) set of hard copies and one electronic file (.pdf) of the following information to support a request for a Site Review Permit and Subdivision Permit for the above referenced project:

- One (1) full size & one (1) half size copy of the Site Plan Set, dated August 21, 2023;
- Owner Authorization Letter, dated August 1, 2023;
- Applicant Authorization Letter, dated August 1, 2023;
- Site Review Checklist, dated August 21, 2023;
- Subdivision Checklist, dated August 21, 2023;
- Application Fee Calculation Form;
- Unitil Will Service Letter, dated August 14, 2023;
- Prototypical Architectural Plans, dated August 21, 2023:

The proposed project is located along Shearwater Drive on a parcel of land identified as Map 217 Block 2 Lot 1900 on the City of Portsmouth Tax Maps. The existing parcel had seven (7) existing buildings consisting of (5) duplexes, (1) 4-unit, and (1) 6-unit buildings that were previously demolished earlier this year. The project includes the subdivision of the 2.23 acre lot into nine (9) Single-Family lots and the construction of the associated residential buildings, stormwater management, landscaping, and utilities. All proposed buildings and lots have been designed to meet or exceed the current zoning and site review requirements.

The enclosed Site Plan Set includes nine (9) prototypical building layouts and designs. The final building location, size, and styles are to be determined prior to the issuance of a building permit. The applicant's intent is to provide the prospective buyer with the option of choosing any building layout that fits within the building setbacks and all applicable City of Portsmouth Site Plan and Zoning requirements.

Under separate cover, a Site Plan Review application fee in the amount of \$3,073.14, a Subdivision application fee in the amount of \$2,400.00 will be delivered to the Planning Department. A copy of the application fee calculation form is enclosed.

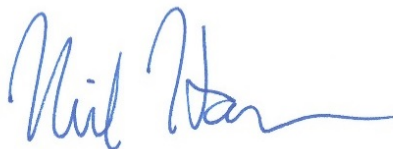


We respectfully request to be placed on the TAC meeting agenda for September 5, 2023. If you have any questions or need any additional information, please contact Neil Hansen by phone at (603) 294-9213 or by email at nahansen@tighebond.com.

Sincerely,
TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Vice President



Neil A. Hansen, PE
Project Manager

Copy: Chinburg Properties (via email)

PROPOSED SINGLE-FAMILY SUBDIVISION

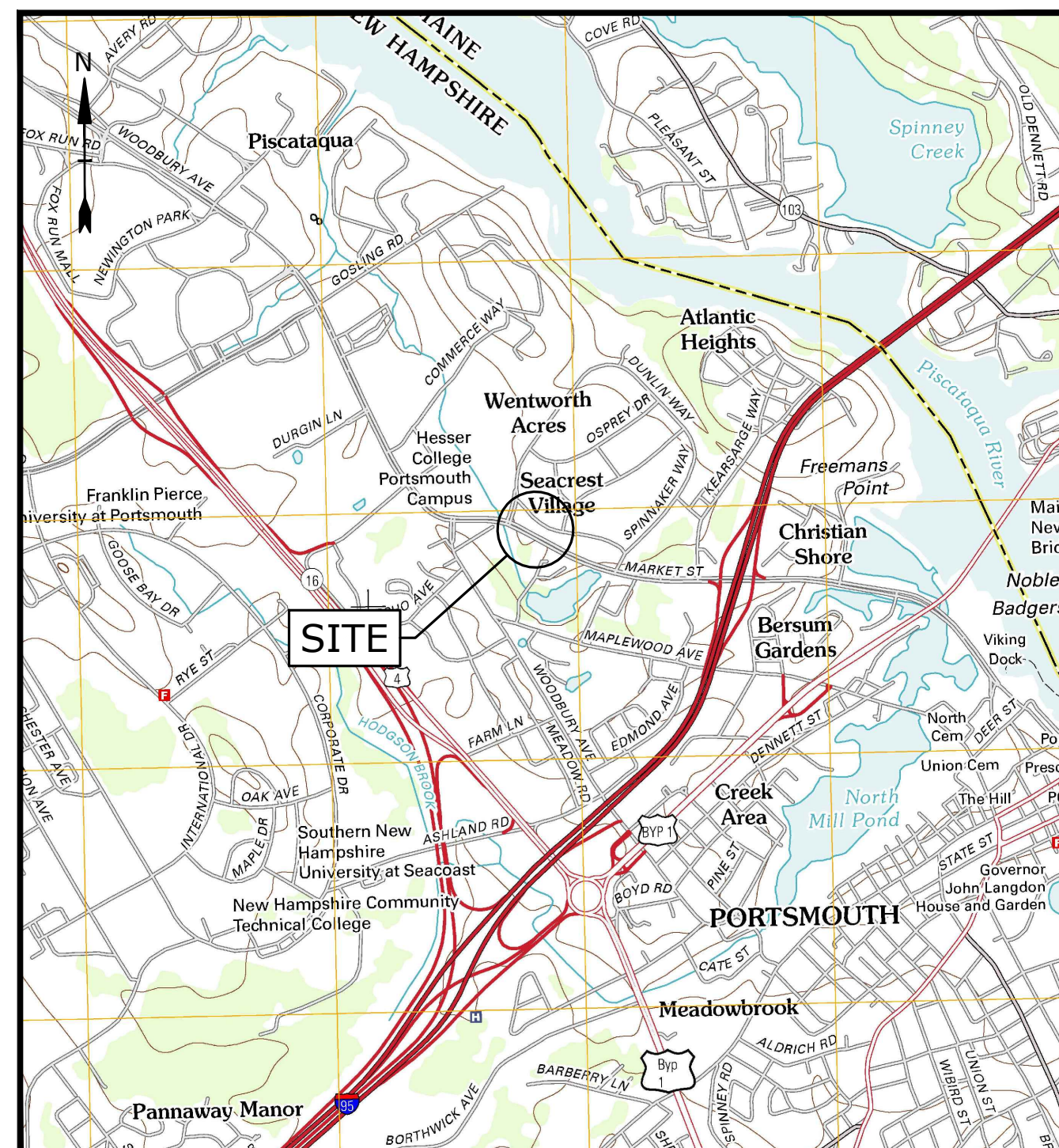
SHEARWATER DRIVE

PORTSMOUTH, NEW HAMPSHIRE

AUGUST 1, 2023

LAST REVISED: AUGUST 21, 2023

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	8/21/2023
1 OF 1	SUBDIVISION PLAN	8/17/2023
1 OF 1	EXISTING CONDITIONS PLAN	8/17/2023
G-100	GENERAL NOTES AND LEGEND	8/21/2023
C-101	EXISTING CONDITIONS & DEMOLITION PLAN	8/21/2023
C-102	SITE PLAN	8/21/2023
C-103	GRADING, DRAINAGE, & EROSION CONTROL PLAN	8/21/2023
C-104	UTILITIES PLAN	8/21/2023
C-105	LANDSCAPE PLAN	8/21/2023
C-201	DRAINAGE EASEMENT LPAN	8/21/2023
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	8/21/2023
C-502	DETAILS SHEET	8/21/2023
C-503	DETAILS SHEET	8/21/2023
C-504	DETAILS SHEET	8/21/2023
C-505	DETAILS SHEET	8/21/2023



LOCATION MAP
SCALE: 1" = 2,000'

PREPARED BY:

Tighe & Bond

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

OWNER:

BANTRY BAY ASSOCIATION LLC
540 NORTH COMMERCIAL ST
MANCHESTER, NH 03101

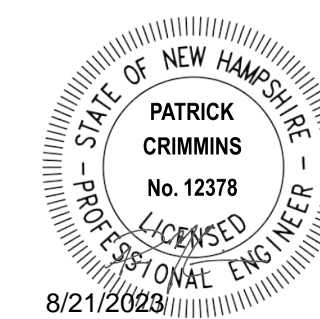
APPLICANT:

CHINBURG PROPERTIES
3 PENSTOCK WAY
NEWMARKET, NH 03857

SURVEYOR:

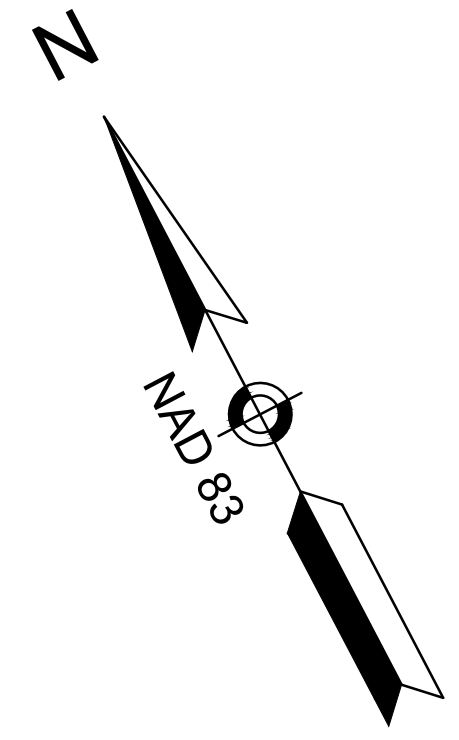
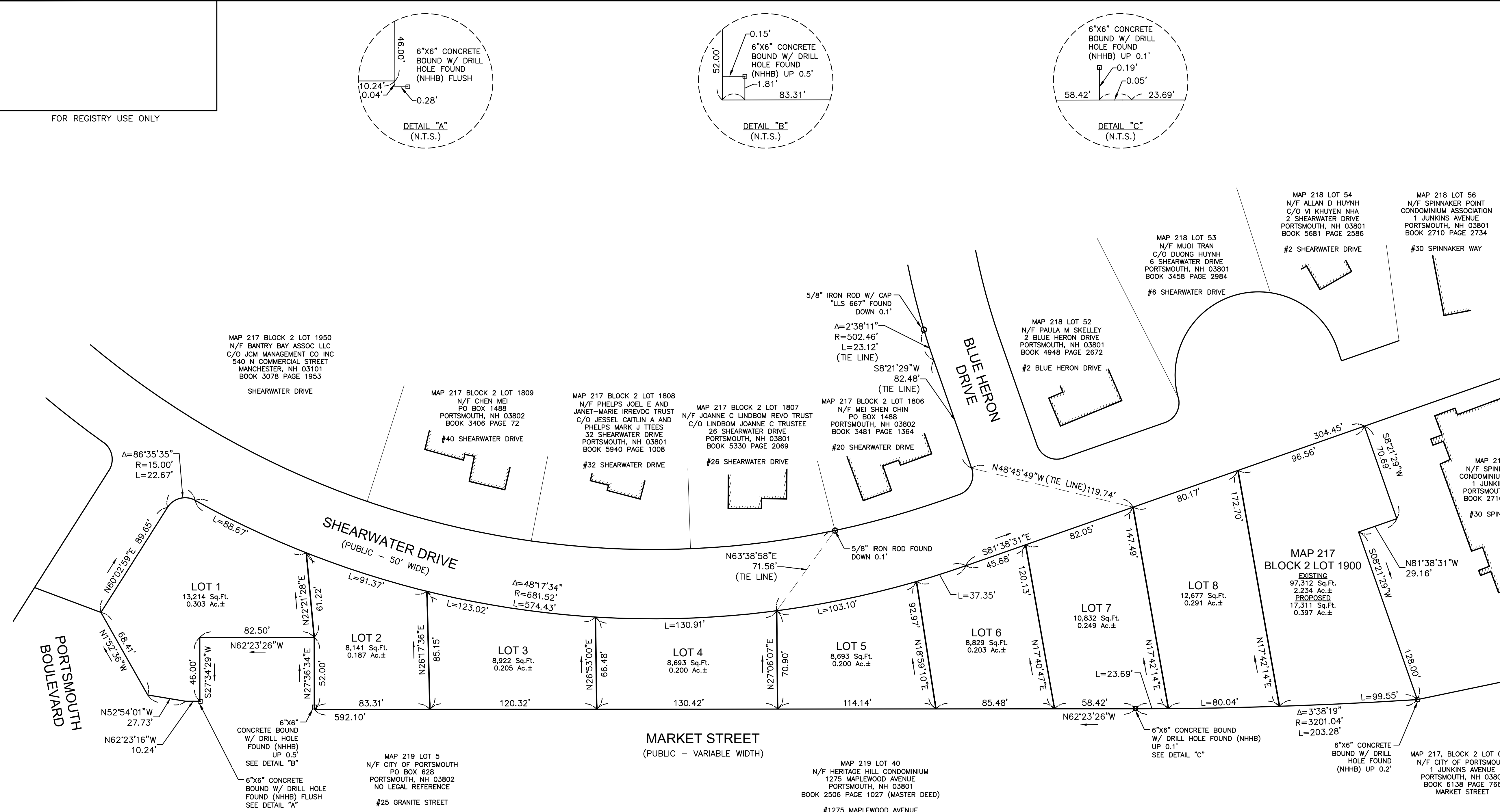
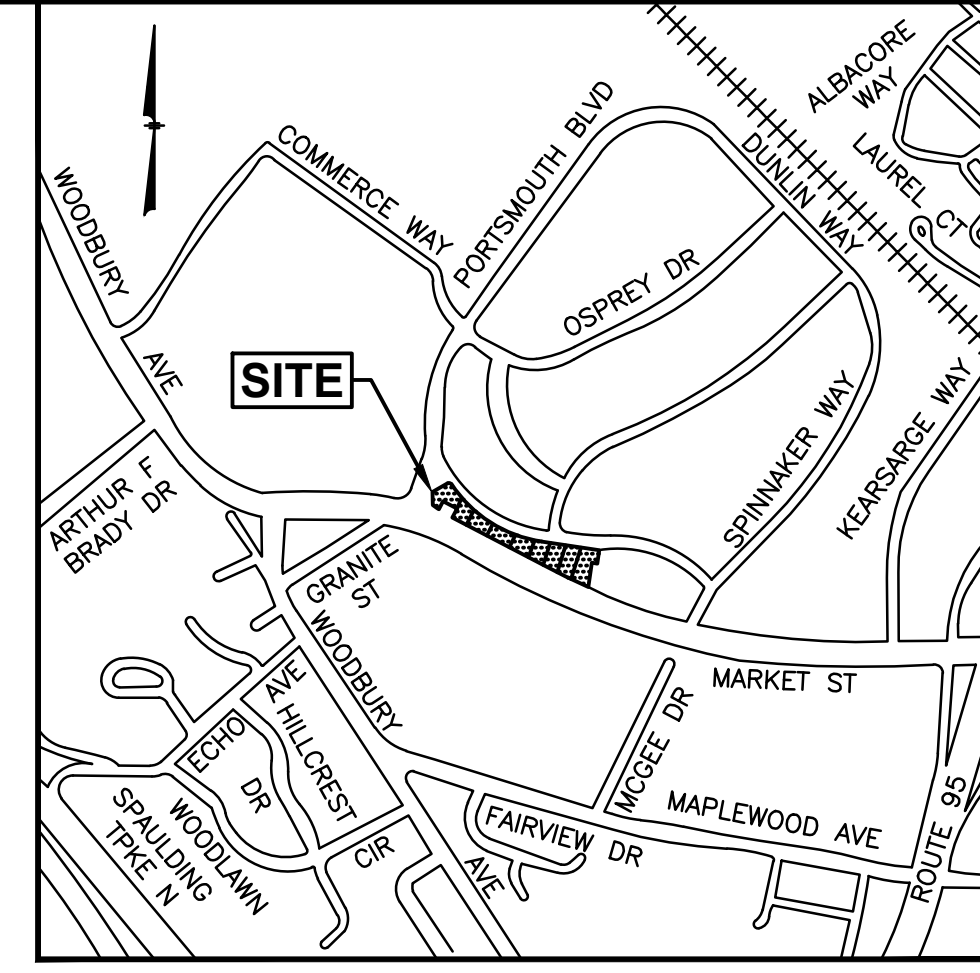
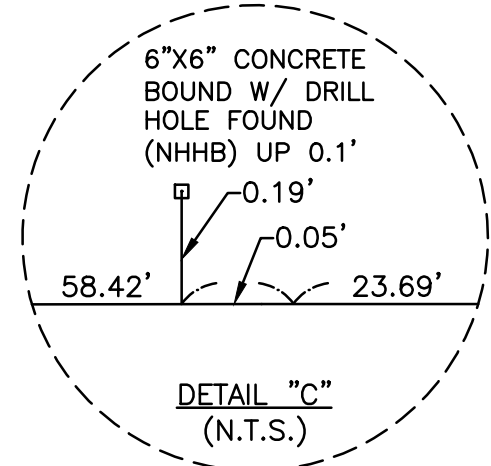
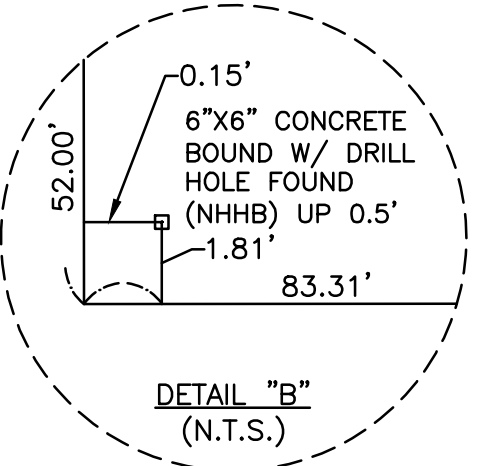
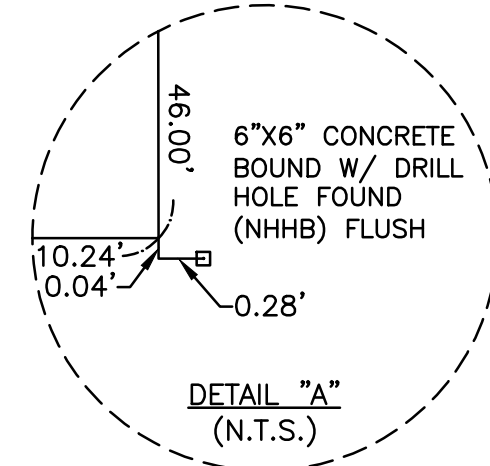
GREENMAN-PEDERSEN, INC.
44 STILES ROAD, SUITE ONE
SALEM, NH 03079

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT	NOT SUBMITTED	
SUBDIVISION PERMIT	NOT SUBMITTED	
FEDERAL		
EPA - NPDES CGP (SWPPP)	NOT SUBMITTED	



TAC SUBMISSION
COMPLETE SET 15 SHEETS

FOR REGISTRY USE ONLY



NOTES:

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE ASSESSORS MAP 217, BLOCK 2, LOT 19 INTO THE LOTS SHOWN HEREON.
- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE 28 AND JULY 5, 2023.
- BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JUNE 30, 2023.
- ZONE: GENERAL RESIDENCE B DISTRICT (GRB)

MIN. LOT SIZE: 5,000 Sq.Ft.
 MIN. LOT FRONTAGE: 80 Ft.
 SETBACKS:
 FRONT 5 Ft.
 SIDE 10 Ft.
 REAR 25 Ft.

REFER TO THE CITY OF PORTSMOUTH ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE PORTSMOUTH ZONING ORDINANCE.

LEGEND

— PROPERTY LINE
 - - - ABUTTER PROPERTY LINE
 - - - PROPOSED LOT LINE

PLAN REFERENCES:
 ROCKINGHAM COUNTY REGISTRY OF DEEDS

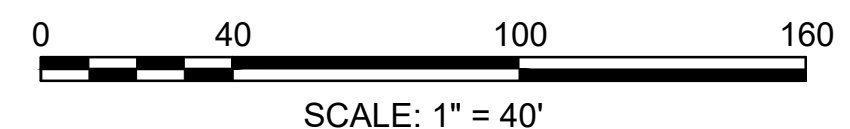
- PLAN D-23202
- PLAN D-26384
- PLAN D-23854

CERTIFICATION:
 I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND BETWEEN JUNE 28, 2023 AND JULY 5, 2023 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

SCOTT M. L'ITALIEN, LLS #1019
 DATE: 8/17/2023

OWNER OF RECORD:
 MAP 217 BLOCK 2 LOT 1900
 BANTRY BAY ASSOC LLC
 C/O JCM MANAGEMENT CO INC
 540 N COMMERCIAL STREET
 MANCHESTER, NH 03101
 BOOK 3078 PAGE 1953

NO.	DESCRIPTION	BY	DATE
REVISIONS			
SUBDIVISION PLAN			
ASSESSORS MAP 217 BLOCK 2 LOT 19 SHEARWATER DRIVE PORTSMOUTH, NEW HAMPSHIRE			
OWNED BY: BANTRY BAY ASSOC LLC C/O JCM MANAGEMENT CO INC 540 N COMMERCIAL ST, MANCHESTER, NH 03101 BOOK 3078 PAGE 1953			
GPI 603.893.0720		Engineering Design Planning Construction Management GPINET.COM	Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079
SCALE: 1"=40'	DATE: AUGUST 17, 2023	DRAWING NO. 2200150.19_SV_SUBD.dwg	
DRAWN BY: KAC	CHECKED BY: SML	PROJECT NO. 2200150.19	SHEET NO. 1 OF 1



SITE DATA:
 LOCATION: SHEARWATER DRIVE
 PORTSMOUTH, NEW HAMPSHIRE

ZONING DISTRICT: GENERAL RESIDENTIAL B (GRB)
 ALLOWED USE: SINGLE FAMILY DWELLINGS

DIMENSIONAL REQUIREMENTS:

MINIMUM LOT AREA:	REQUIRED 5,000 SF	PROPOSED >8,693 SF
MINIMUM STREET FRONTAGE:	80 FT	>80 FT
MINIMUM LOT DEPTH:	60 FT	>60 FT
MINIMUM SETBACKS:		
• FRONT:	5 FT	>5 FT
• SIDE:	10 FT	>10 FT
• REAR:	25 FT	>25 FT
MAXIMUM BUILDING HEIGHT:		
• SLOPED ROOF:	35 FT	<35FT
• FLAT ROOF:	30 FT	N/A
MAXIMUM BUILDING COVERAGE:	30%	<30%
MINIMUM OPEN SPACE:	25%	>25%

OFF-STREET PARKING REQUIREMENTS
PARKING SPACES REQUIRED:

DWELLING UNITS:
 OVER 750 SF, 1.3 SPACES PER UNIT 9 UNITS 12 SPACES

TOTAL PARKING SPACES PROVIDED:

2 GARAGE SPACES PER UNIT	9 UNITS	18 SPACES
2 DRIVEWAY SPACES PER UNIT	9 UNITS	18 SPACES
TOTAL SPACES PROVIDED		36 SPACES

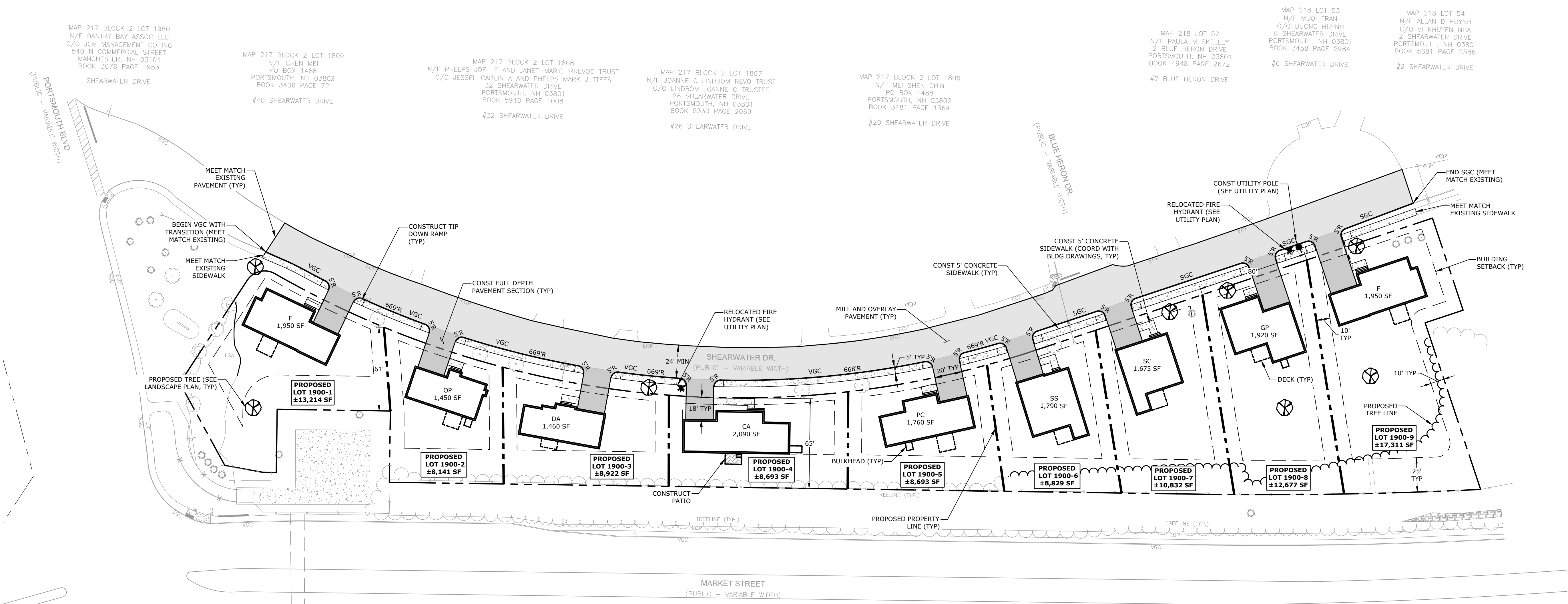
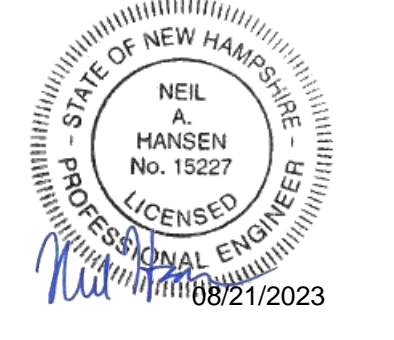
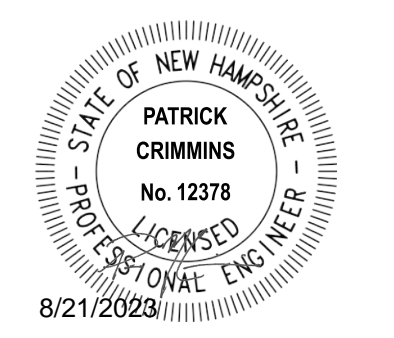
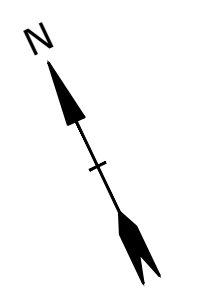
SITE RECORDING NOTES:

- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.

BUILDING LEGEND

ABBREVIATION	DESCRIPTION
CA	CARBONARA
DA	DAMARA
F	FIONA
GP	GARNET PREMIER
OP	OPAL MARQUISE
PC	PEPPERCON CLASSIC W/ WING
SS	SHELLY W/ SUN
SC	SWEET CHERRY PEEKABOO

BUILDING SIZE, STYLE, AND LOCATION SHOWN ARE APPROXIMATE AND FOR DEMONSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATION, SIZE, AND STYLES TO BE DETERMINED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL MEET ALL APPLICABLE CITY AND STATE REGULATIONS.



PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

MARK	DATE	DESCRIPTION
1	8/21/2023	TAC Submission

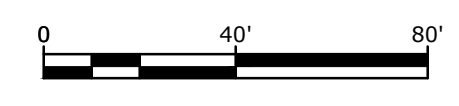
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 DATE: 08/01/2023
 FILE: CS194-001_C-DSGN.dwg
 DRAWN BY: NHW/CJK
 DESIGNED/CHECKED BY: NAH
 APPROVED BY: PMC

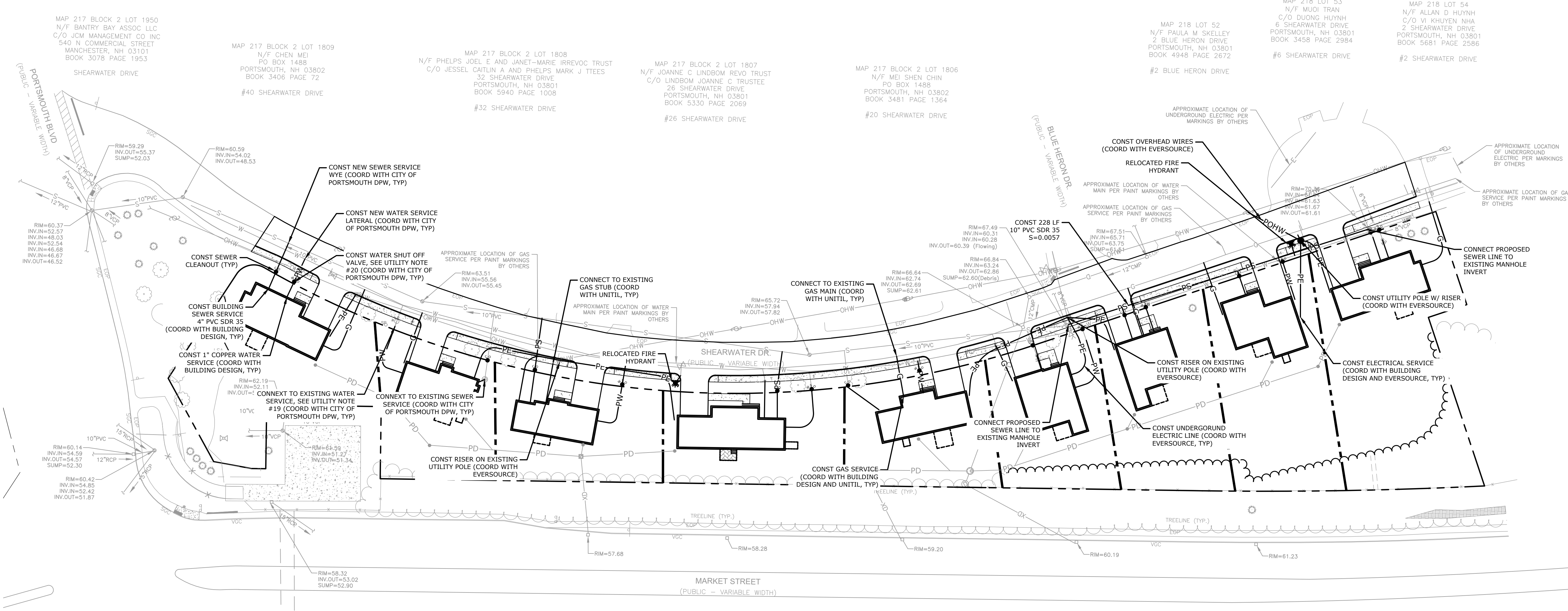
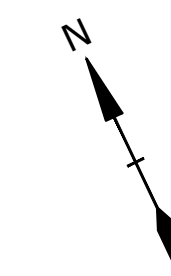
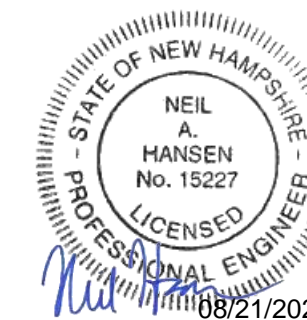
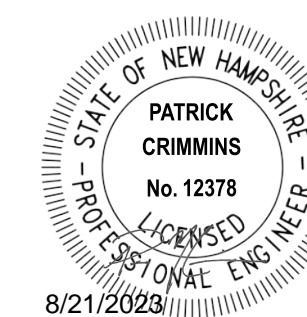
SITE PLAN

SCALE: AS SHOWN

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 Plotted On: Aug 21, 2023 9:51am By: CKC/CLK
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SEE SHEET G-100 FOR SITE PLAN NOTES AND LEGEND





MAP 217 BLOCK 2 LOT 1950
N/F BANTRY BAY ASSOC LLC
C/O JCM MANAGEMENT CO INC
540 N COMMERCIAL STREET
MANCHESTER, NH 03101
BOOK 3078 PAGE 1953

MAP 217 BLOCK 2 LOT 1809
N/F CHEN MEI
PO BOX 1488
PORTSMOUTH, NH 03802
BOOK 3406 PAGE 72

MAP 217 BLOCK 2 LOT 1808
N/F PHELPS JOEL E AND JANET-MARIE IRREVOIC TRUST
C/O JESSEL CAITLIN A AND PHELPS MARK J TTEES
32 SHEARWATER DRIVE
PORTSMOUTH, NH 03801
BOOK 5940 PAGE 1008

MAP 217 BLOCK 2 LOT 1807
N/F JOANNE C LINDBOM REVO TRUST
C/O LINDBOM JOANNE C TRUSTEE
26 SHEARWATER DRIVE
PORTSMOUTH, NH 03801
BOOK 5330 PAGE 2069

MAP 217 BLOCK 2 LOT 1806
N/F MEI SHEN CHIN
PO BOX 1488
PORTSMOUTH, NH 03802
BOOK 3481 PAGE 1364

MAP 218 LOT 52
N/F PAULA M SKELLEY
2 BLUE HERON DRIVE
PORTSMOUTH, NH 03801
BOOK 4948 PAGE 2672

MAP 218 LOT 53
N/F MUOI TRAN
C/O DUONG HUYNH
6 SHEARWATER DRIVE
PORTSMOUTH, NH 03801
BOOK 3458 PAGE 2984

MAP 218 LOT 54
N/F ALLAN D HUYNH
C/O VI KHUYEN NHA
2 SHEARWATER DRIVE
PORTSMOUTH, NH 03801
BOOK 5681 PAGE 2586

PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

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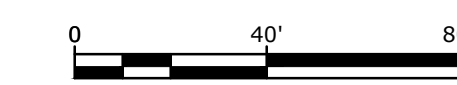
UTILITY PLAN

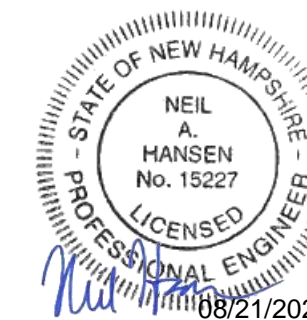
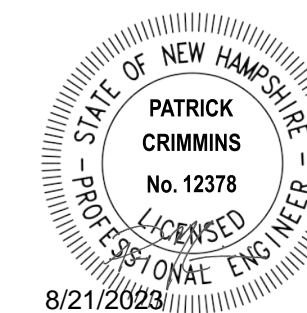
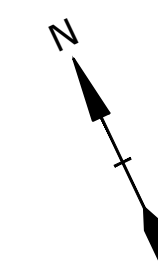
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C-104

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SEE SHEET G-100 FOR UTILITY NOTES AND LEGEND





LEGEND

- (1) DRAINAGE EASEMENT ON LOT 1900-2 TO BENEFIT LOT 1900-1
- (2) DRAINAGE EASEMENT ON LOT 1900-3 TO BENEFIT LOT 1900-1 & LOT 1900-2
- (3) DRAINAGE EASEMENT ON LOT 1900-3 TO BENEFIT LOT 1900-4
- (4) DRAINAGE EASEMENT ON LOT 1900-5 TO BENEFIT THE CITY OF PORTSMOUTH
- (5) DRAINAGE EASEMENT ON LOT 1900-5 TO BENEFIT LOT 1900-6, LOT 1900-7, LOT 1900-8, & LOT 1900-9
- (6) DRAINAGE EASEMENT ON LOT 1900-6 TO BENEFIT THE CITY OF PORTSMOUTH
- (7) DRAINAGE EASEMENT ON LOT 1900-6 TO BENEFIT LOT 1900-7, LOT 1900-8, & LOT 1900-9
- (8) DRAINAGE EASEMENT ON LOT 1900-7 TO BENEFIT LOT 1900-8 & LOT 1900-9
- (9) DRAINAGE EASEMENT ON LOT 1900-8 TO BENEFIT LOT 1900-9

MAP 217 BLOCK 2 LOT 1808
N/F PHELPS JOEL E AND JANET-MARIE IRREVOC TRUST
C/O JESSEL CAITLIN A AND PHELPS MARK J TTEES
32 SHEARWATER DRIVE
PORTSMOUTH, NH 03801
BOOK 5940 PAGE 1008
#32 SHEARWATER DRIVE

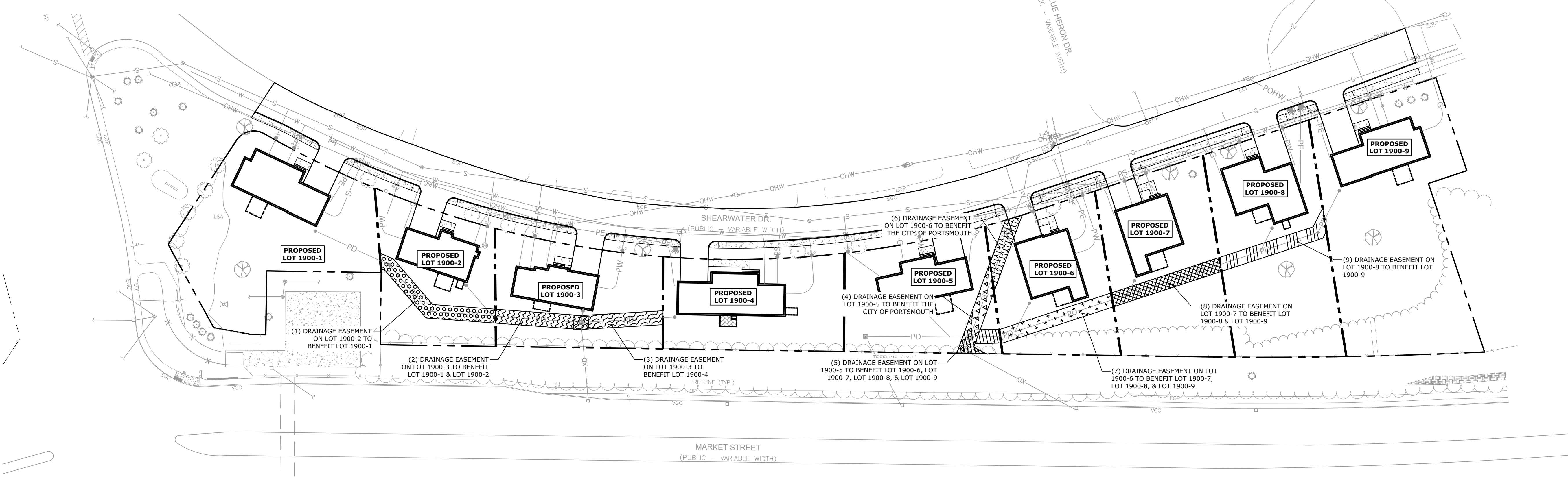
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CHINBURG PROPERTIES

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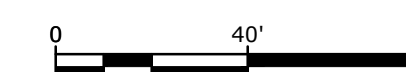
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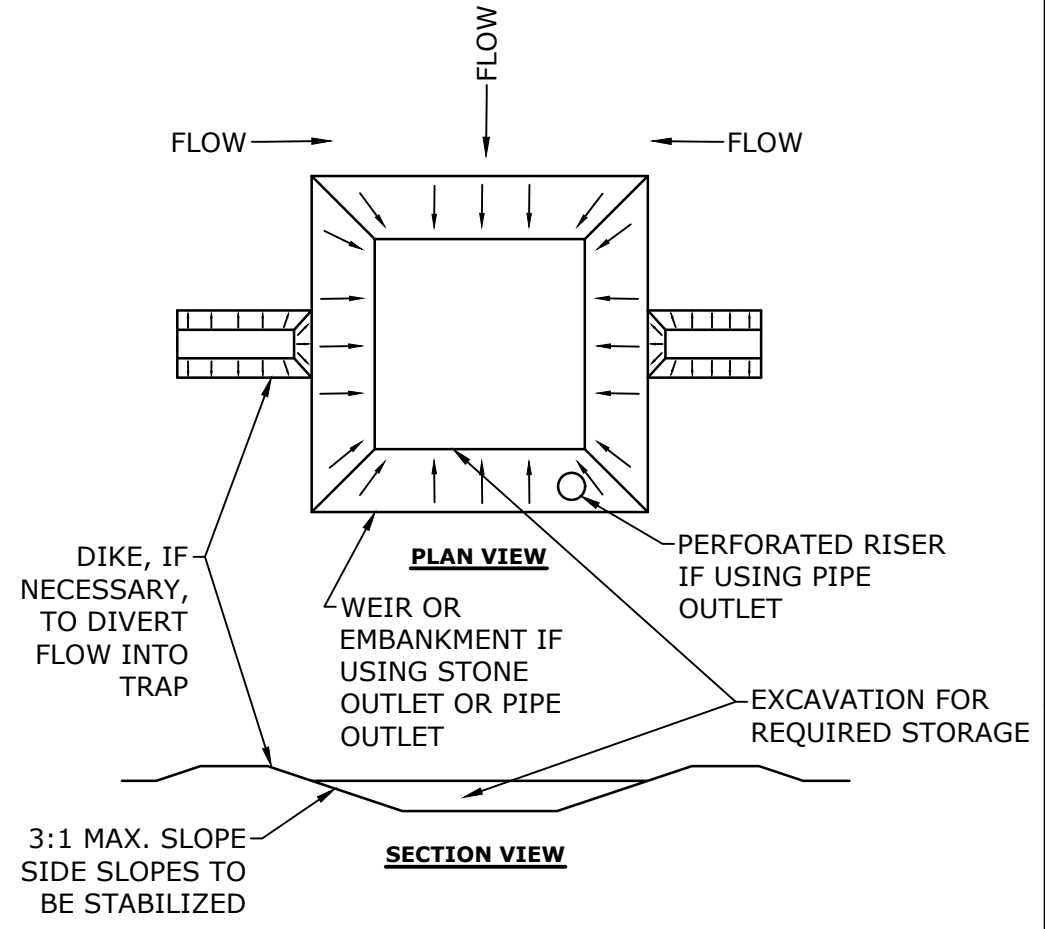
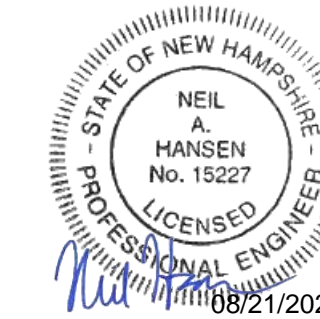
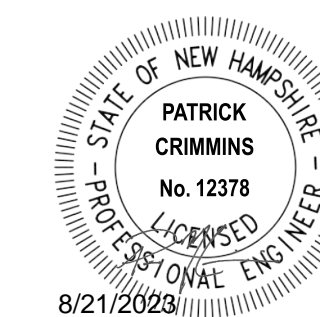
DRAINAGE EASEMENT PLAN

SCALE: AS SHOWN

C-201

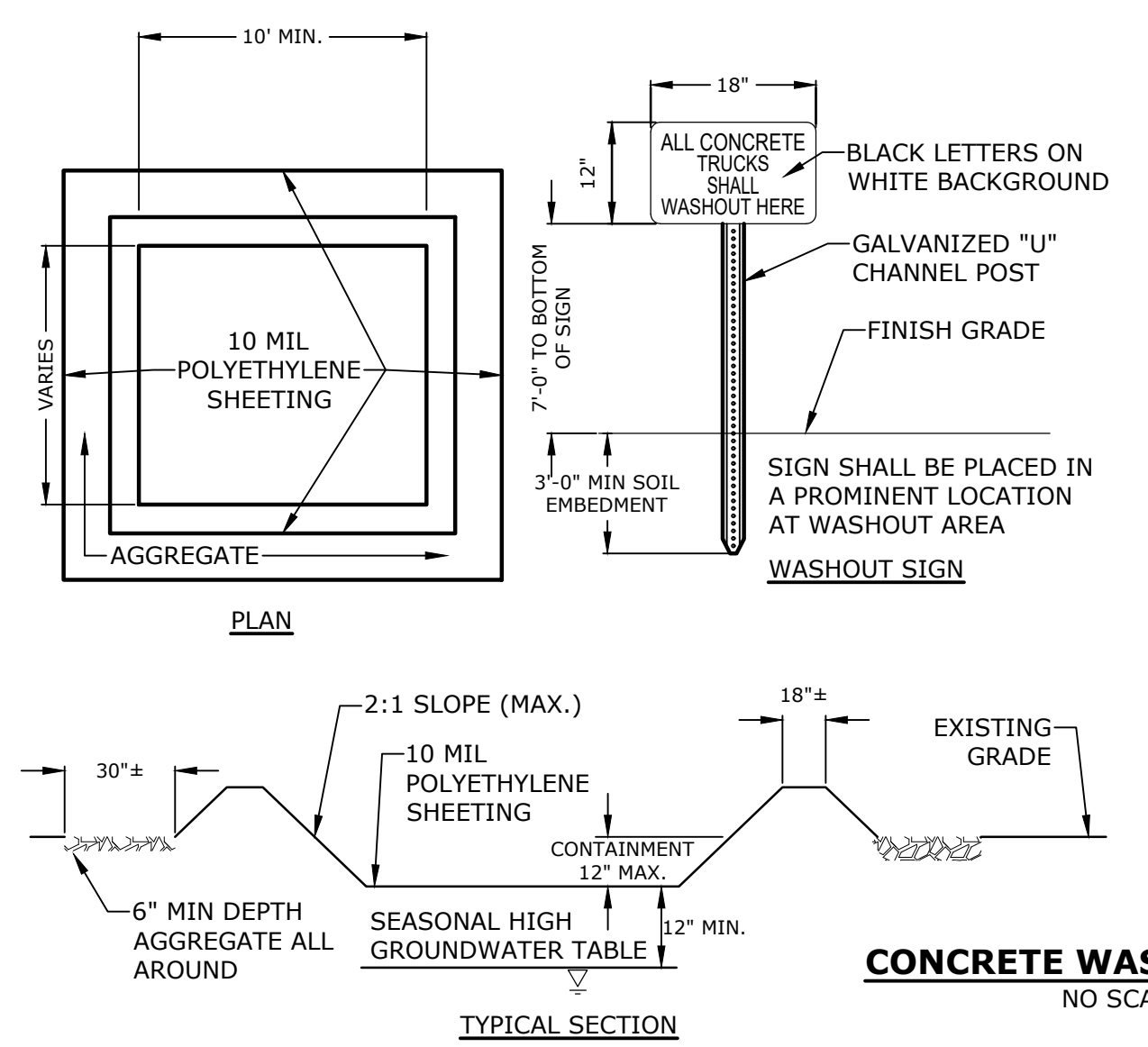
EASEMENTS SHOWN HEREIN ARE FOR PERMITTING PURPOSES ONLY. FINAL EASEMENT PLAN SHALL BE PREPARED BY THE PROJECT SURVEYOR AND RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEED PRIOR TO ISSUING BUILDING PERMITS.





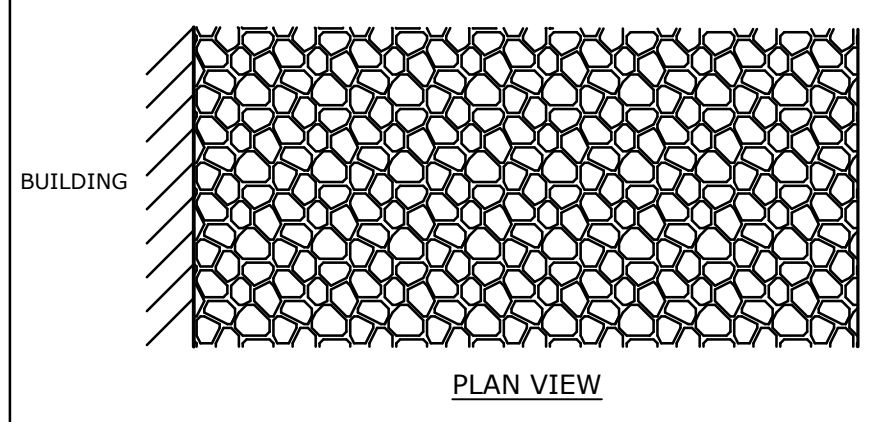
- NOTES:**
1. THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE.
 2. THE MAXIMUM CONTRIBUTING AREA TO A SINGLE TRAP SHALL BE LESS THAN 5 ACRES.
 3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
 4. TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP.
 5. TRAP SHALL DISCHARGE TO A STABILIZED AREA.
 6. TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED.
 7. MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
 8. SEDIMENT TRAPS MUST BE USED AS NEEDED TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.

SEDIMENT TRAP
NO SCALE

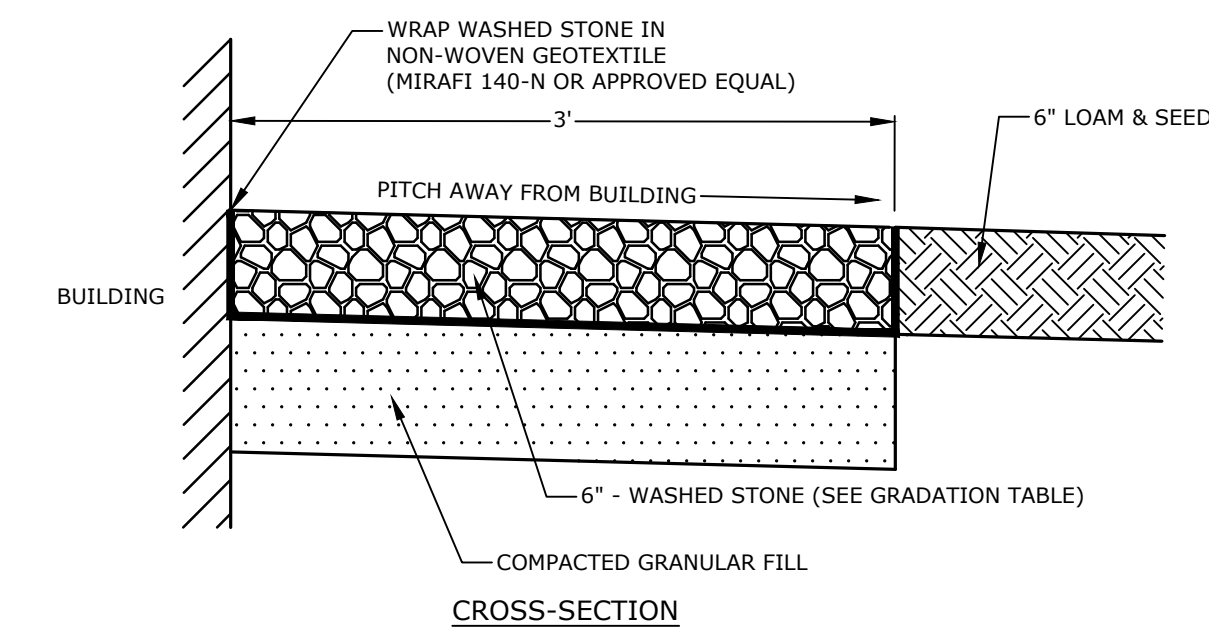


- NOTES:**
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

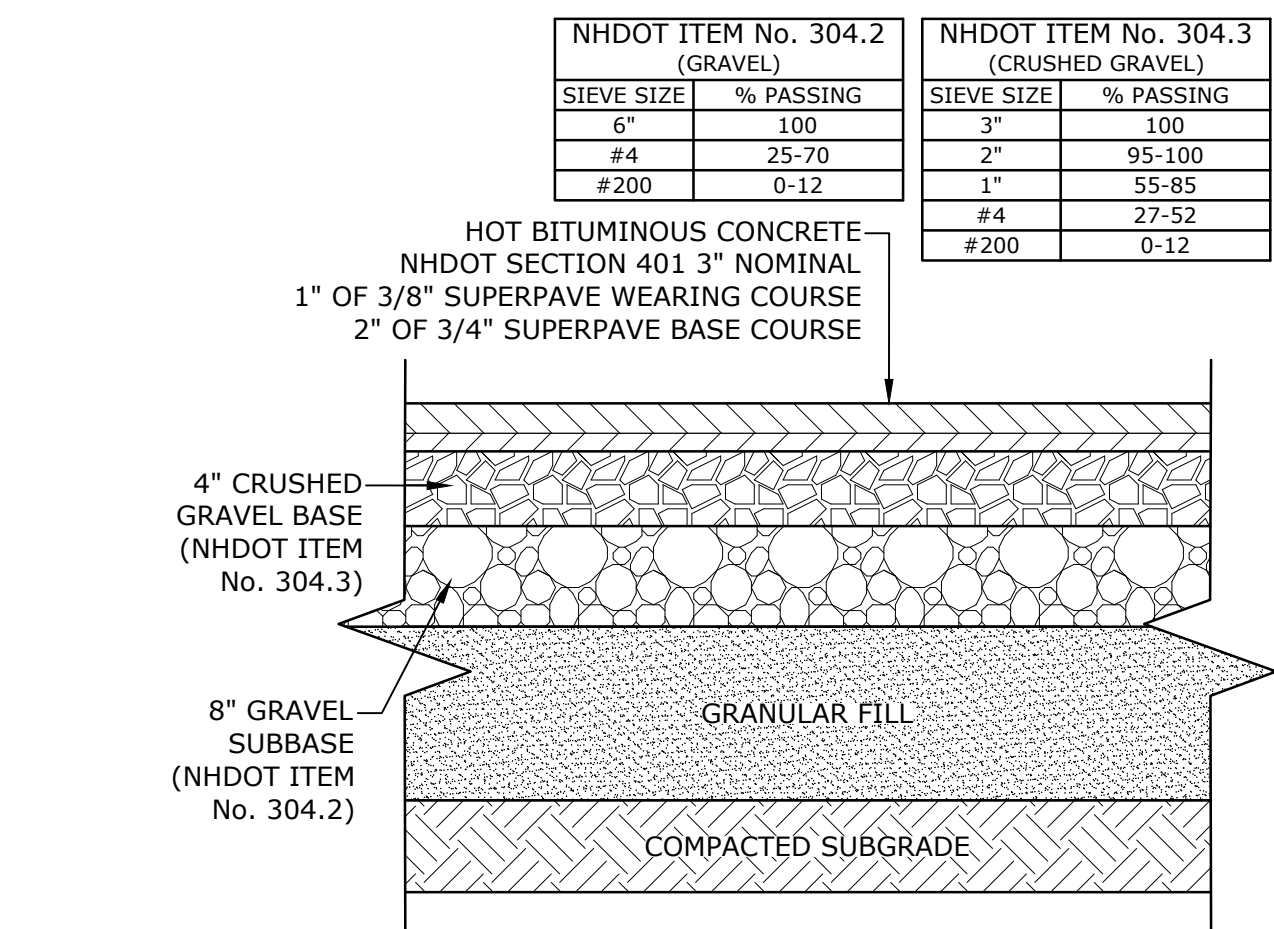
CONCRETE WASHOUT AREA
NO SCALE



WASHED STONE	
SIEVE SIZE	% FINER BY WEIGHT
1"	100
3/4"	90-100
3/8"	20-55
#4	0

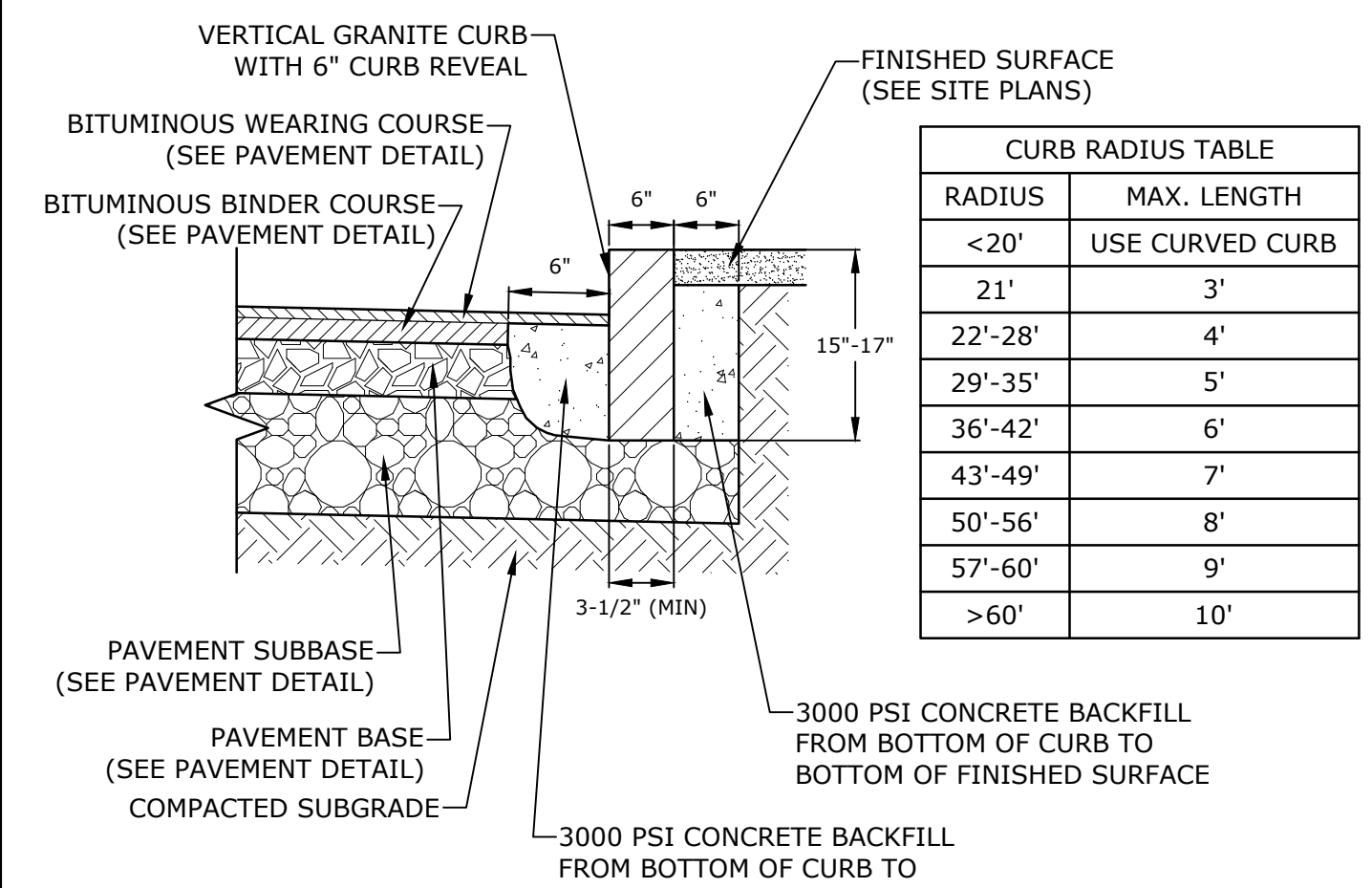


DRIP STRIP
NO SCALE



- NOTES:**
1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

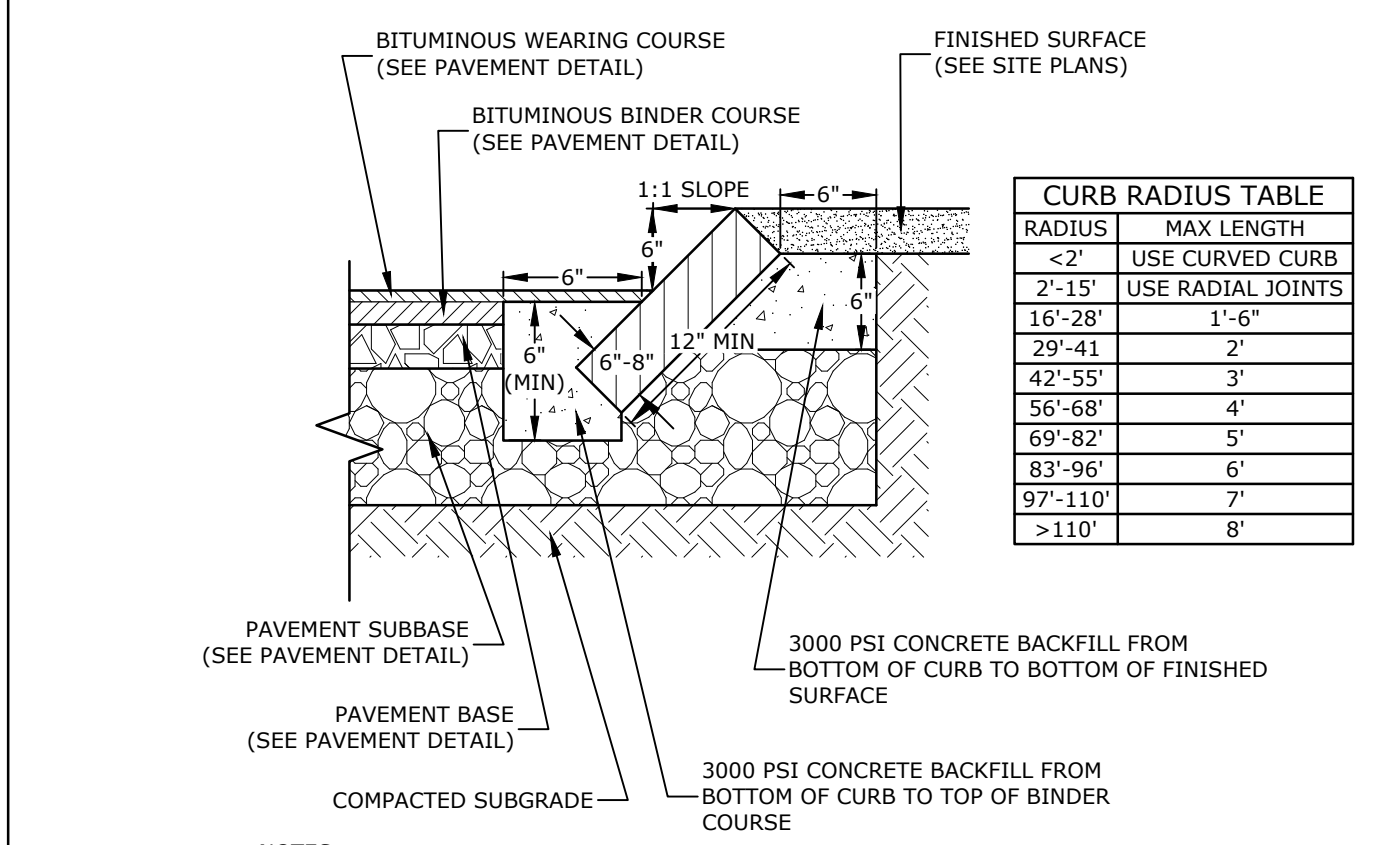
PAVEMENT SECTION
NO SCALE



CURB RADIUS TABLE	
RADIUS	MAX. LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
>60'	10'

- NOTES:**
1. SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 6. ALL RADII 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
 7. JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

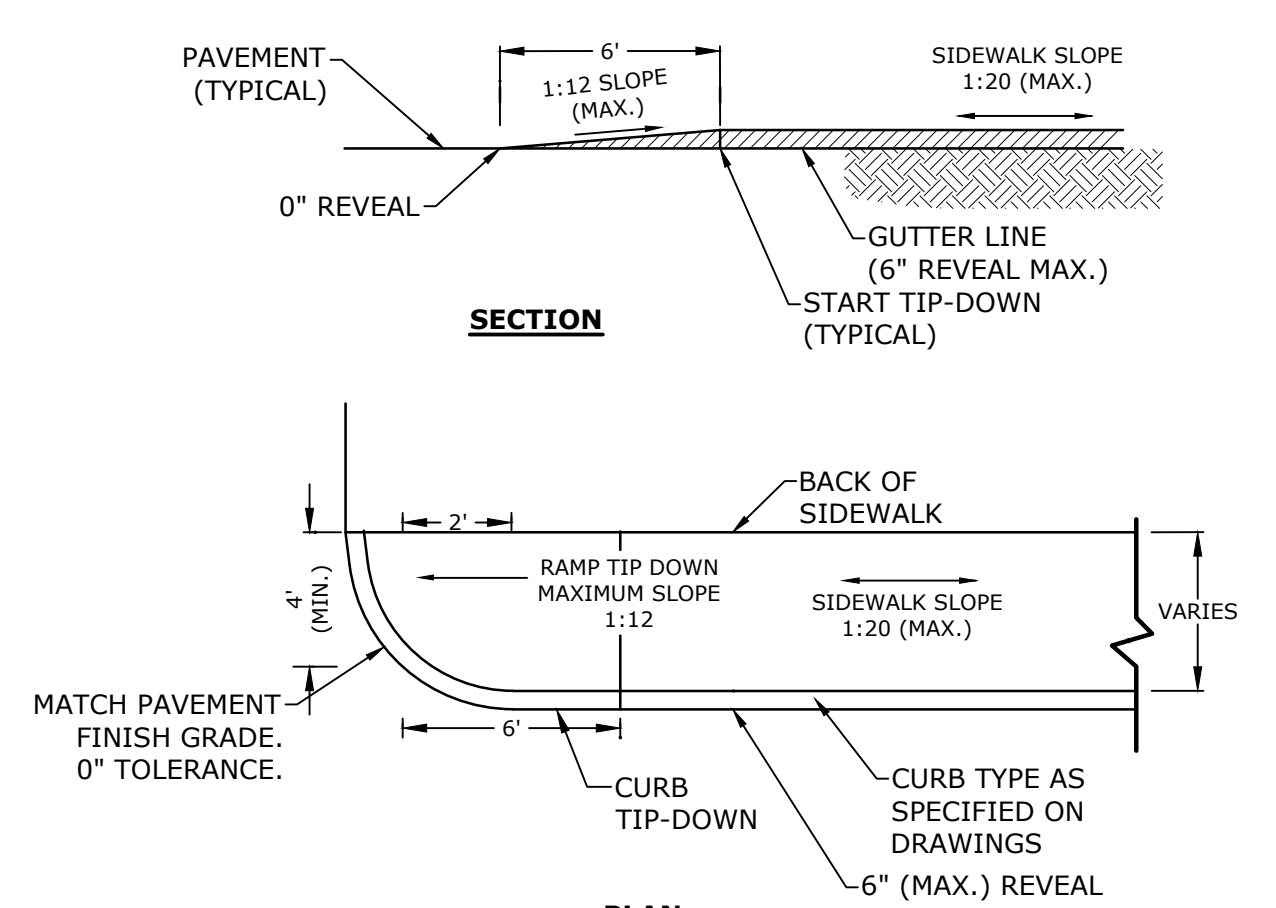
VERTICAL GRANITE CURB
NO SCALE



CURB RADIUS TABLE	
RADIUS	MAX LENGTH
<2'	USE CURVED CURB
2'-15'	USE RADIAL JOINTS
16'-28'	1'-6"
29'-41'	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
>110'	8'

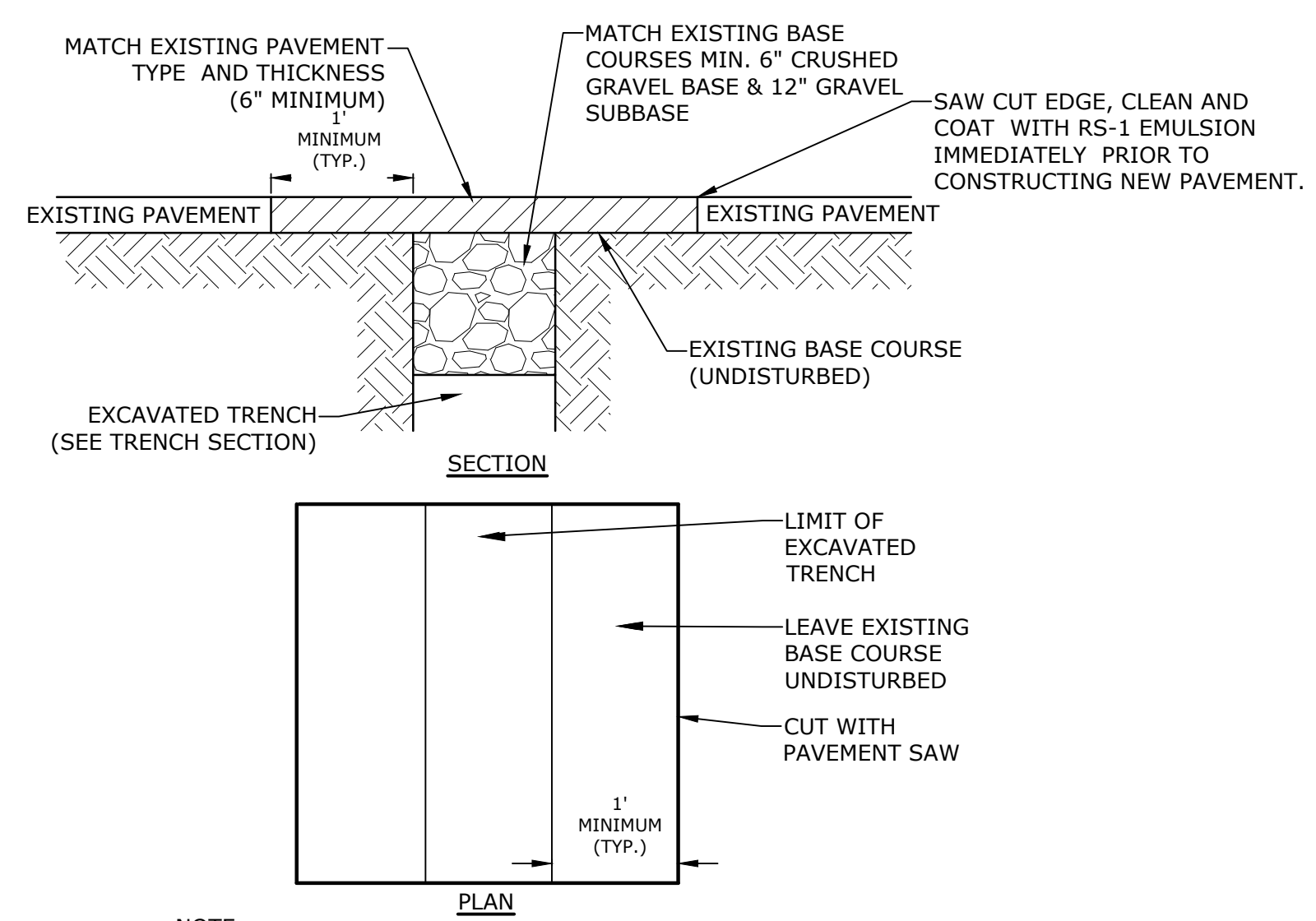
- NOTES:**
1. SEE SITE PLAN(S) FOR LIMITS OF SLOPED GRANITE CURB (SGC).
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 18"
 4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 6. JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

SLOPED GRANITE CURB
NO SCALE



- NOTES:**
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
 2. PROVIDE 8" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMPS.
 3. DETECTABLE WARNING STRIP SHALL BE ADA SOLUTIONS, INC. CAST IN PLACE RAMP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

CONCRETE SIDEWALK TIP-DOWN RAMP
NO SCALE



- NOTE:**
1. COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT OF WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

ROADWAY TRENCH PATCH
NO SCALE

PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

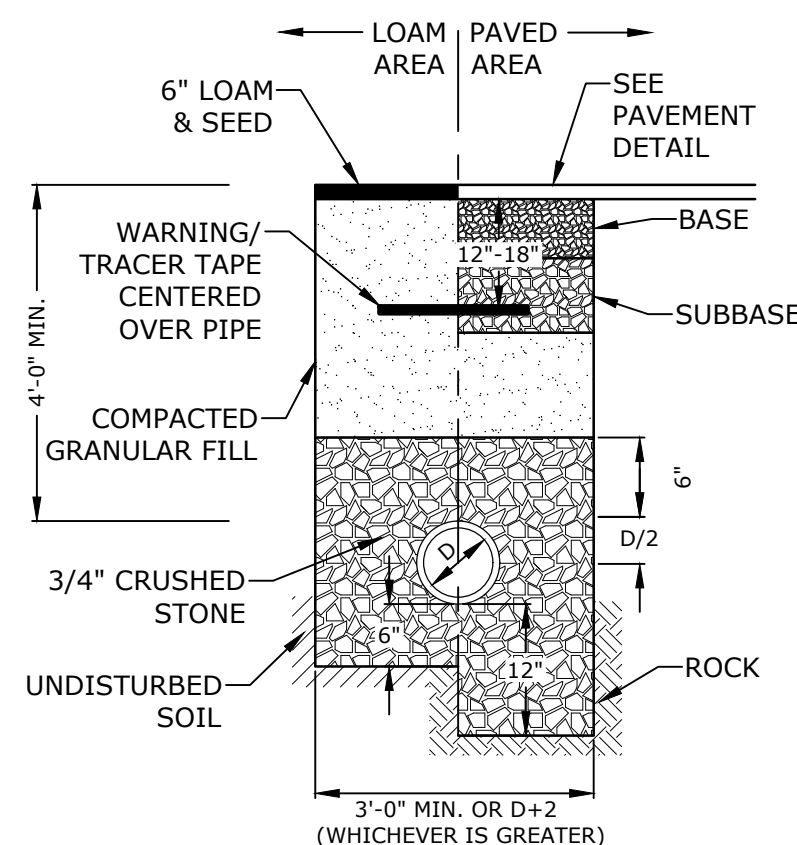
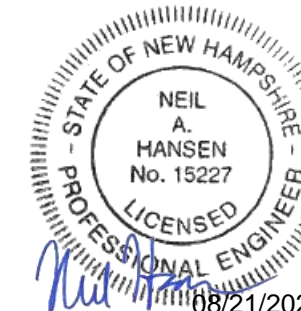
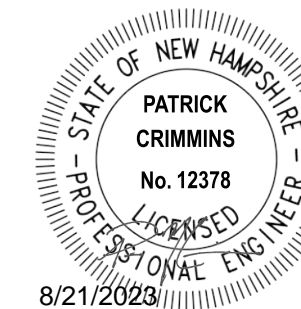
MARK	DATE	DESCRIPTION
1	8/21/2023	TAC Submission

PROJECT NO: C5194-001
DATE: 08/01/2023
FILE: C5194-001_C-DTLS.dwg
DRAWN BY: NHW/CJK
DESIGNED/CHECKED BY: NAH
APPROVED BY: PMC

DETAILS SHEET

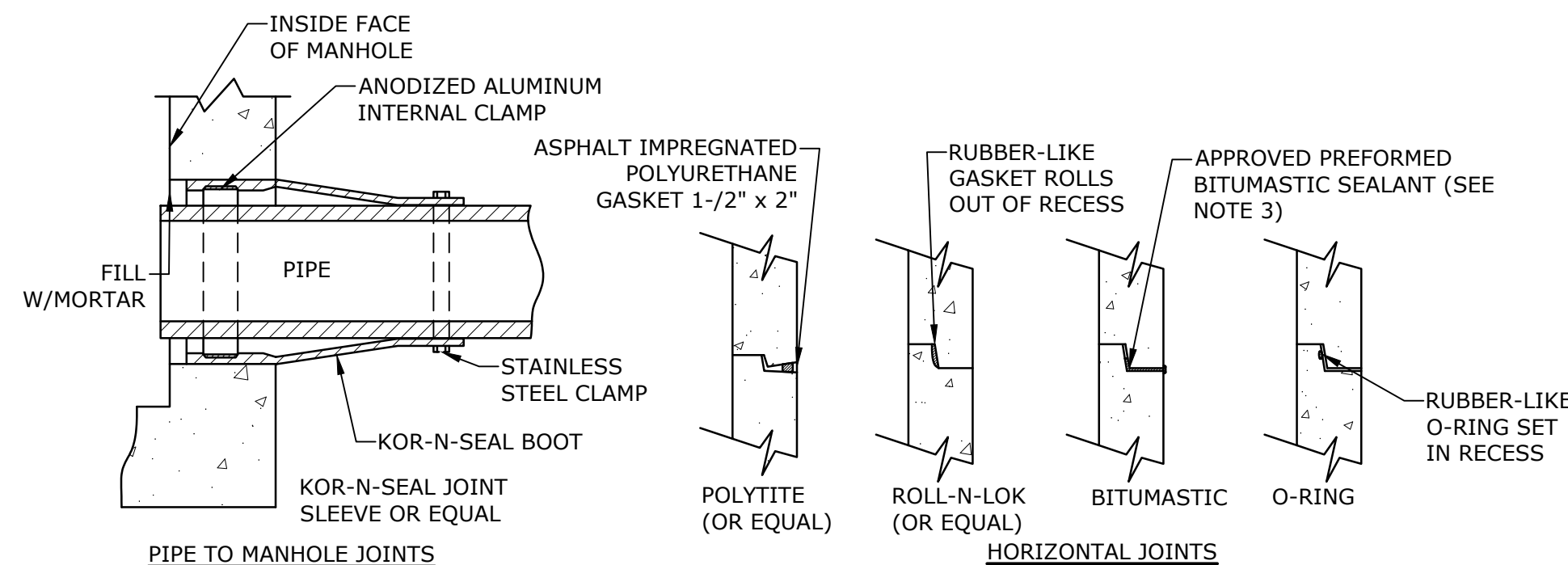
SCALE: AS SHOWN

Last Saved: 8/21/2023 10:00am By: Chrzeulik
Plotted On: Aug 21, 2023 10:00am
Tighe & Bond 315 C5194 Chinburg 001 Drawings AutoCAD/Sheet C5194-001_C-DTLS.dwg



- NOTES:**
- CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
 - ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

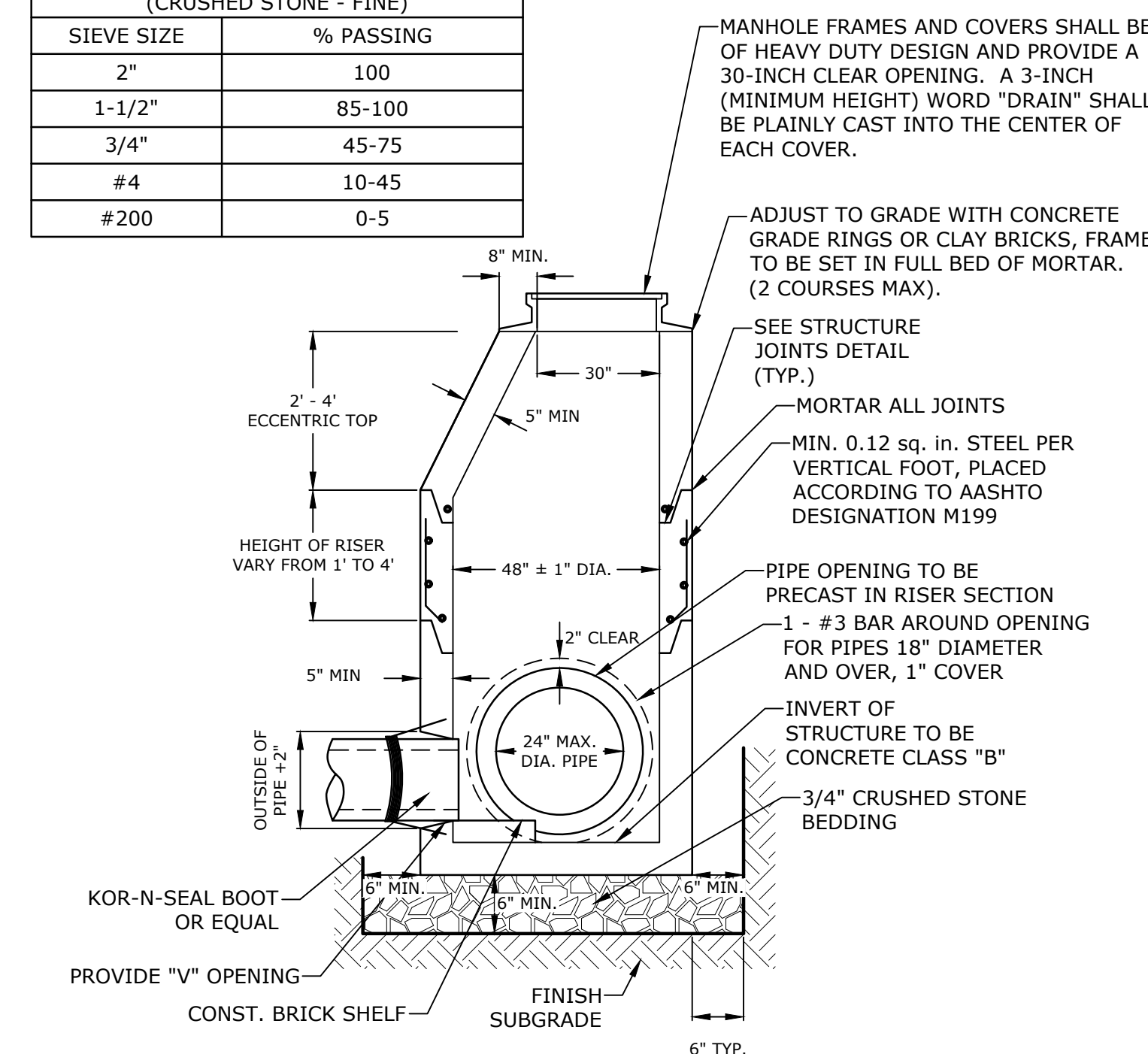
STORM DRAIN TRENCH
NO SCALE



- NOTES:**
- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
 - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

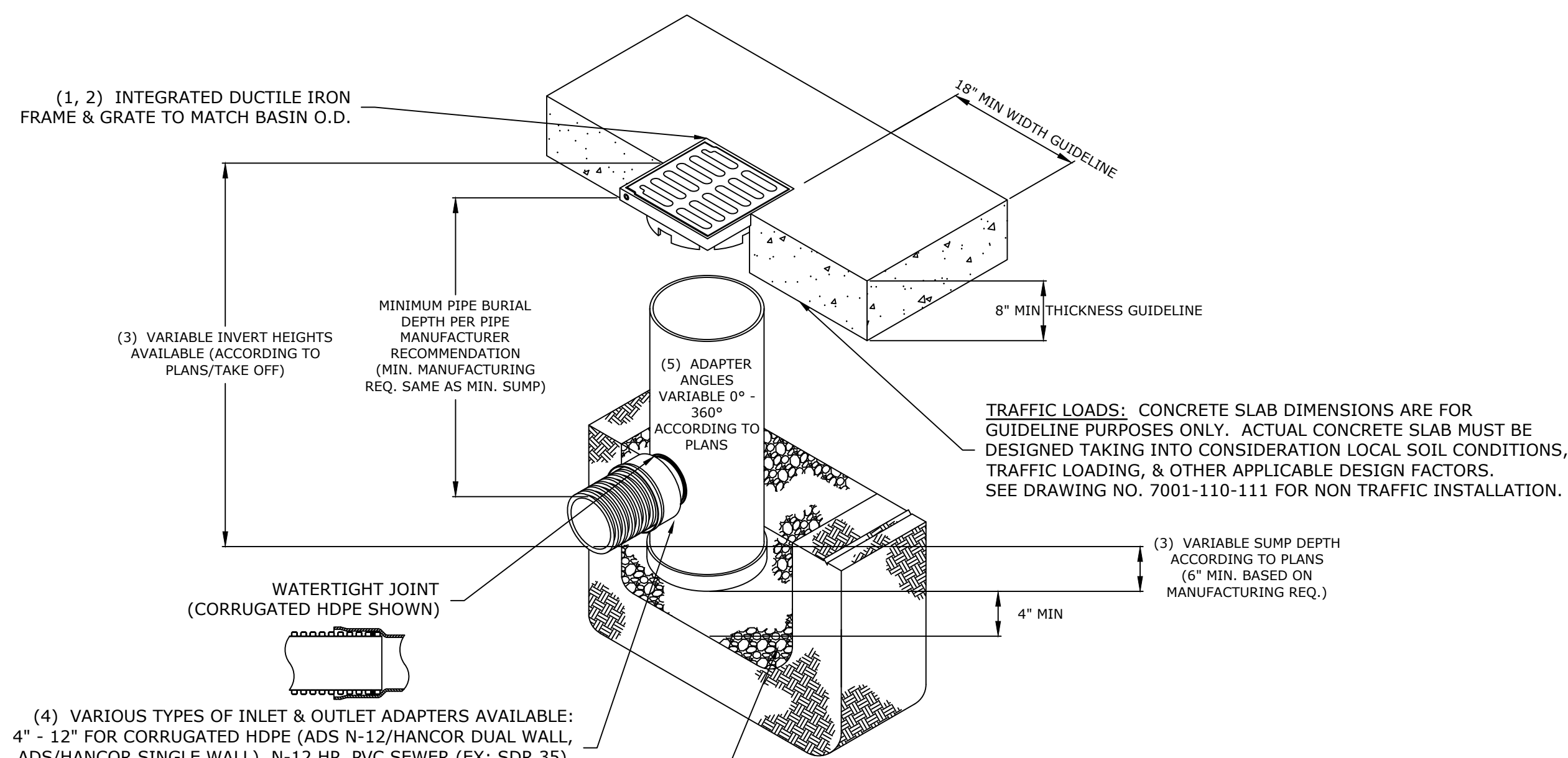
MANHOLE JOINTS
NO SCALE

NHDOT ITEM No. 304.4 (CRUSHED STONE - FINE)	
SIEVE SIZE	% PASSING
2"	100
1-1/2"	85-100
3/4"	45-75
#4	10-45
#200	0-5



- NOTES:**
- ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 - THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
 - THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
 - CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
 - THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 - PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 - ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

4' DIAMETER DRAIN MANHOLE
NO SCALE

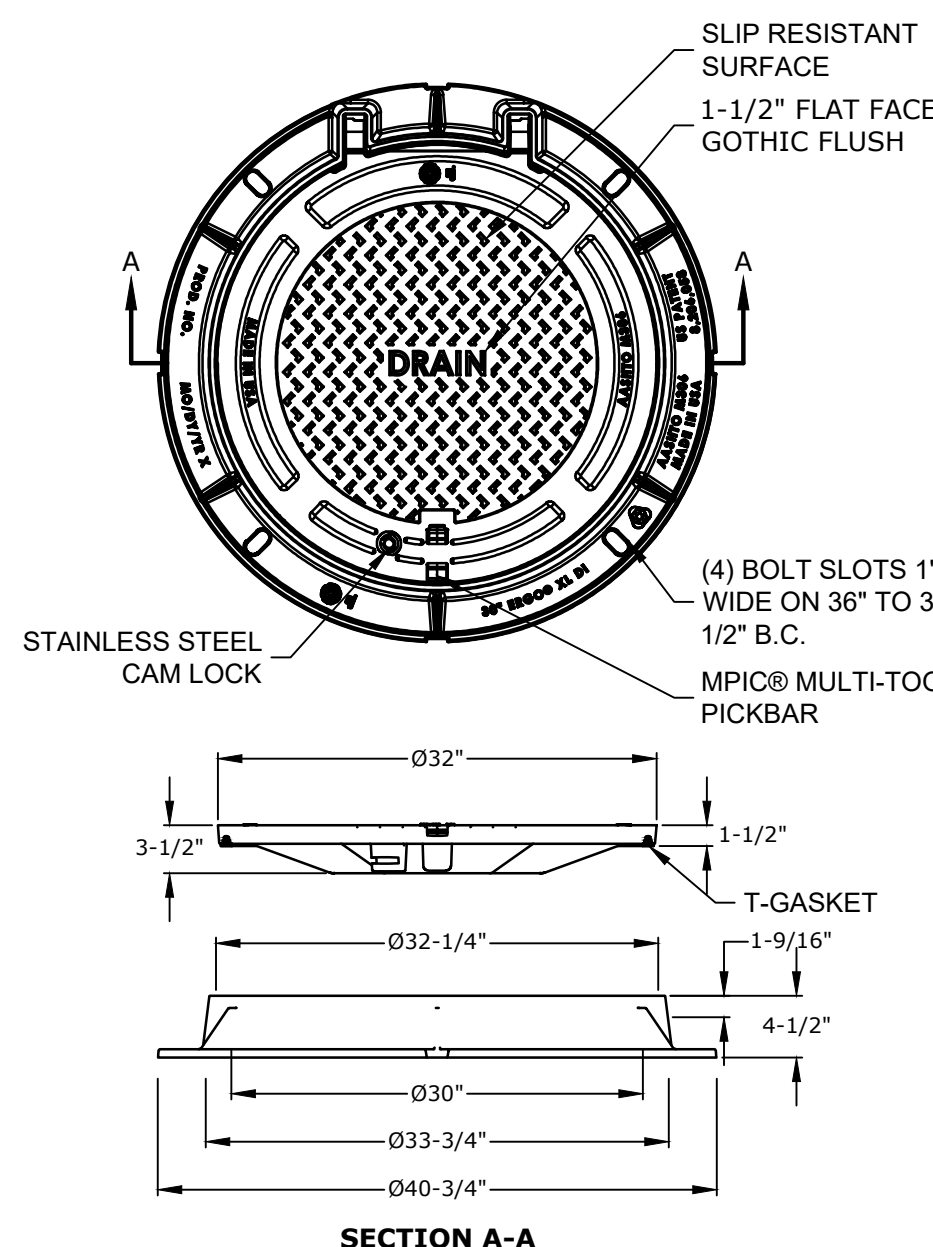


GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1299CGP	7001-110-202
STANDARD	MEETS H-20	1299CGS	7001-110-203
SOLID COVER	MEETS H-20	1299CGC	7001-110-204
PEDESTRIAN BRONZE	N/A	1299CGPB	7001-110-205
DOME	N/A	1299CGD	7001-110-206
DROP IN GRATE	LIGHT DUTY	1231DI	7001-110-021

TYPICAL SECTION

- NOTES:**
- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

YARD DRAIN
NO SCALE



DRAIN MANHOLE FRAME & COVER
NO SCALE

- NOTES:**
- MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL BY EJ CO.
 - ALL DIMENSIONS ARE NOMINAL.
 - FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
 - THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
 - THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
 - ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
 - LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER.

PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG PROPERTIES

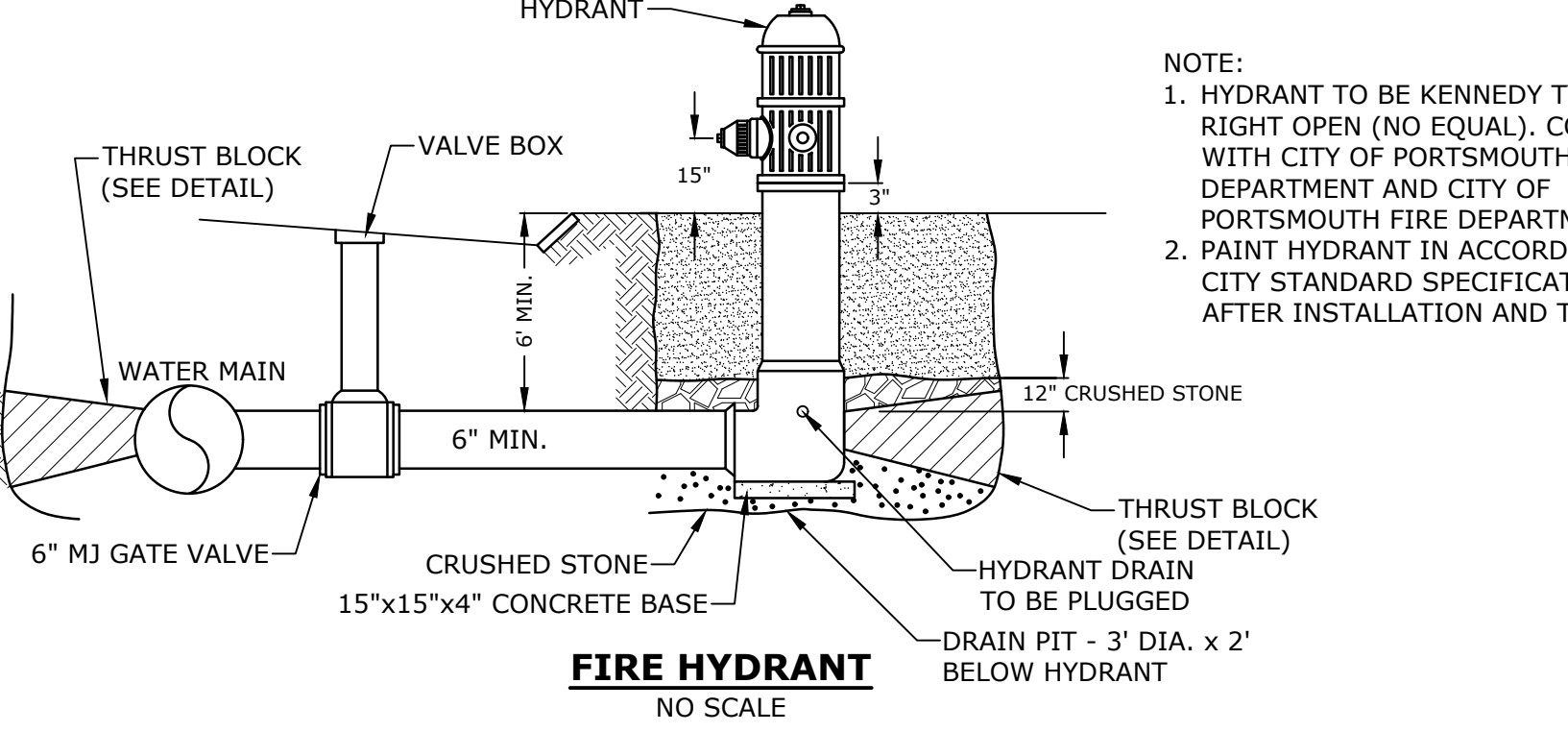
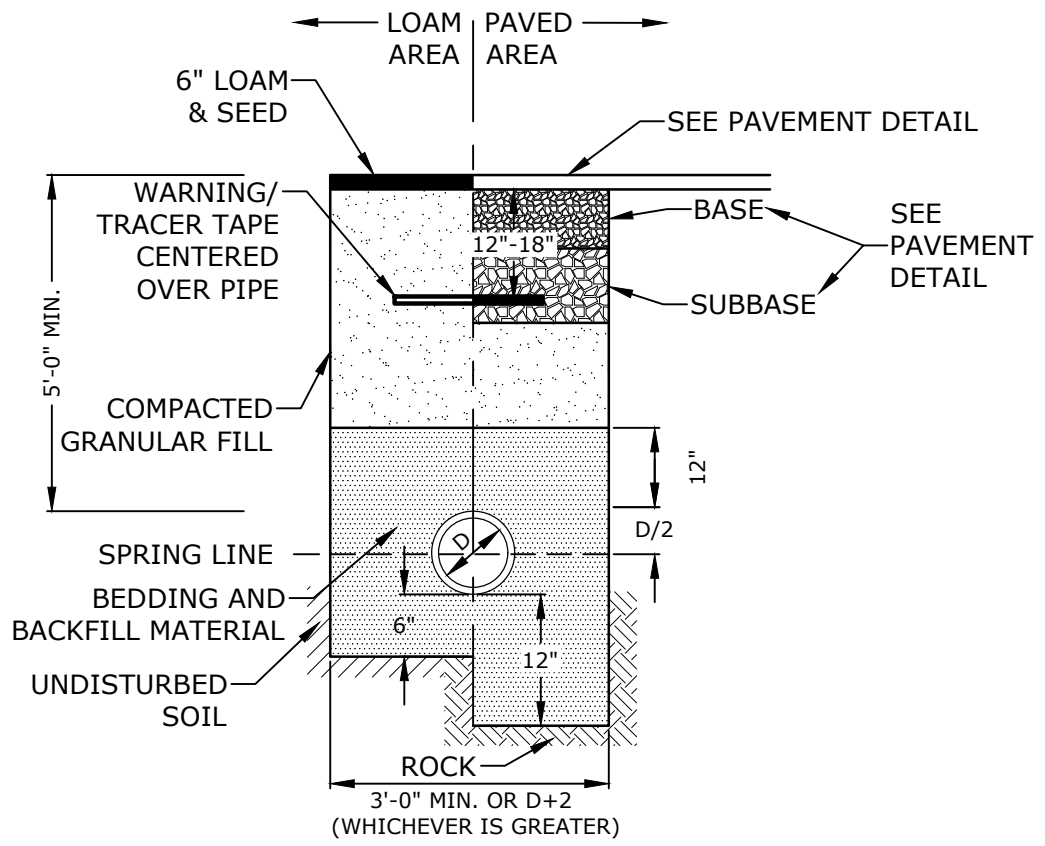
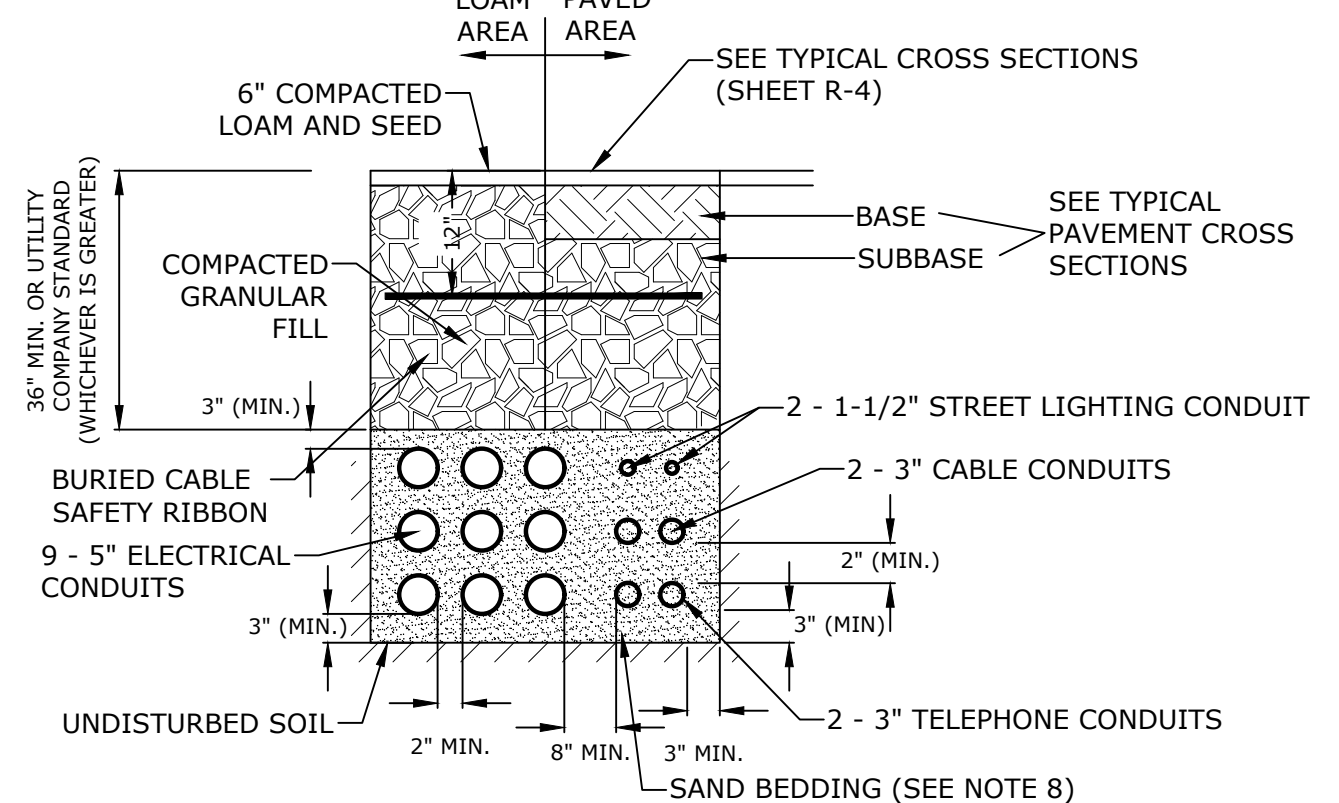
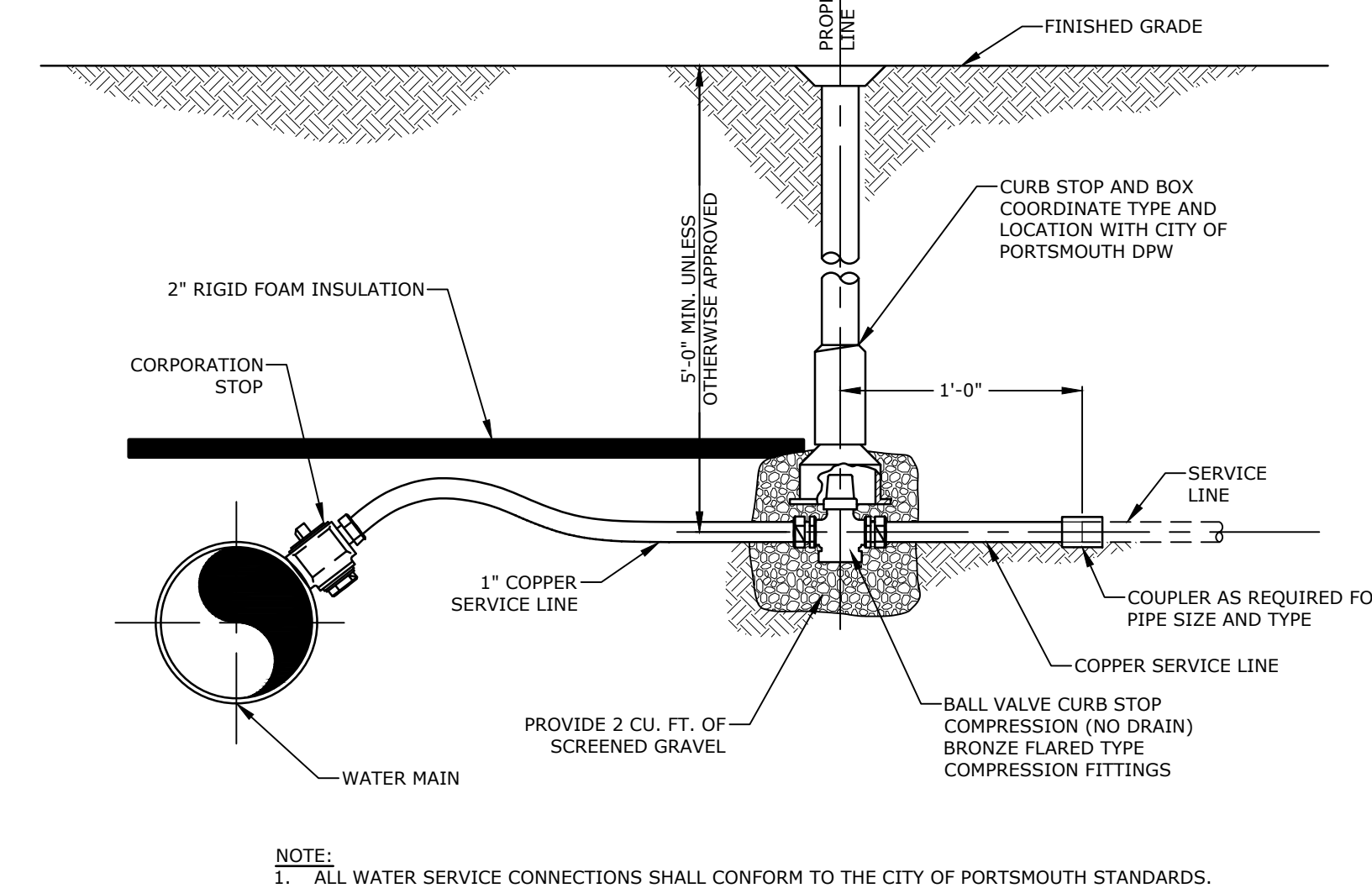
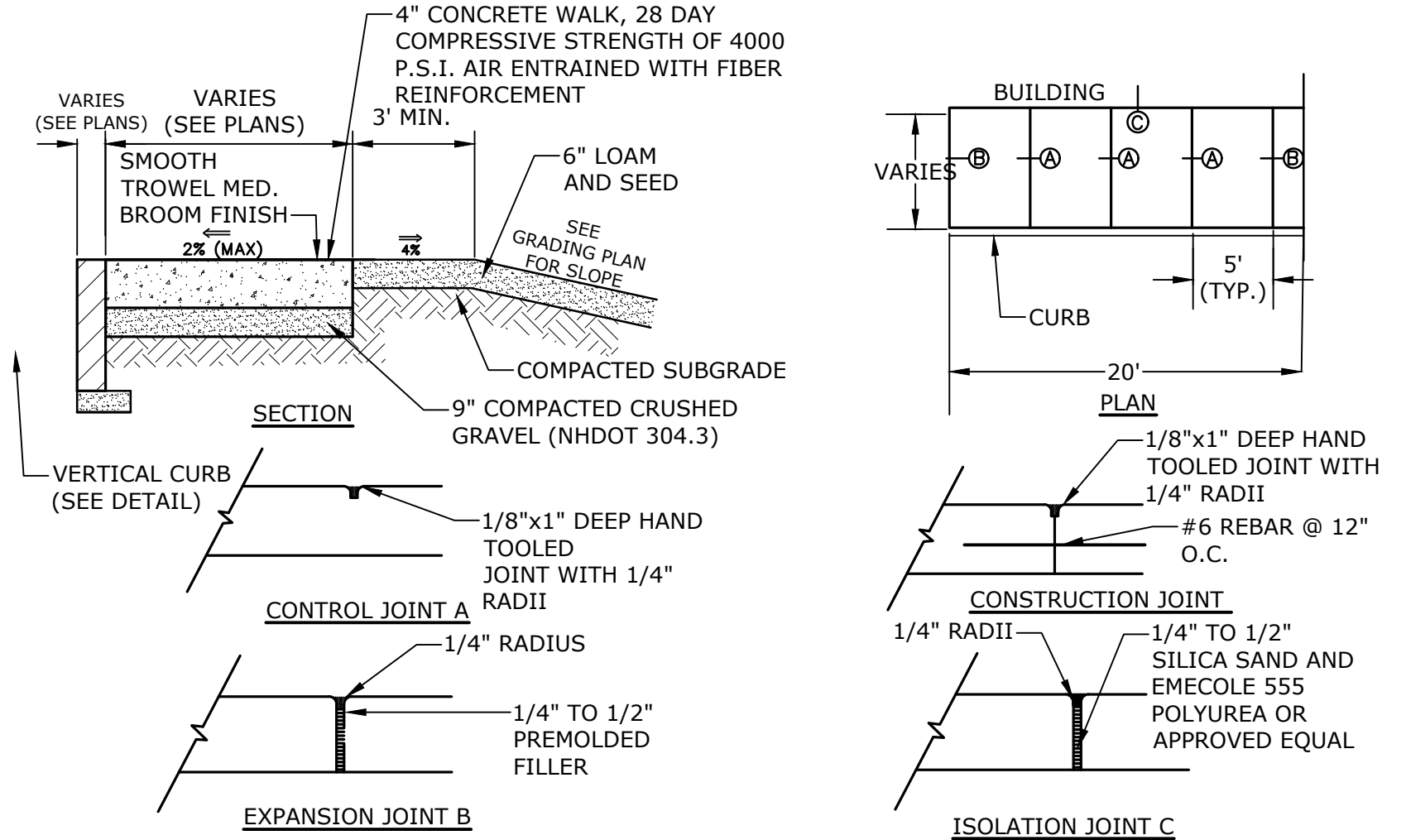
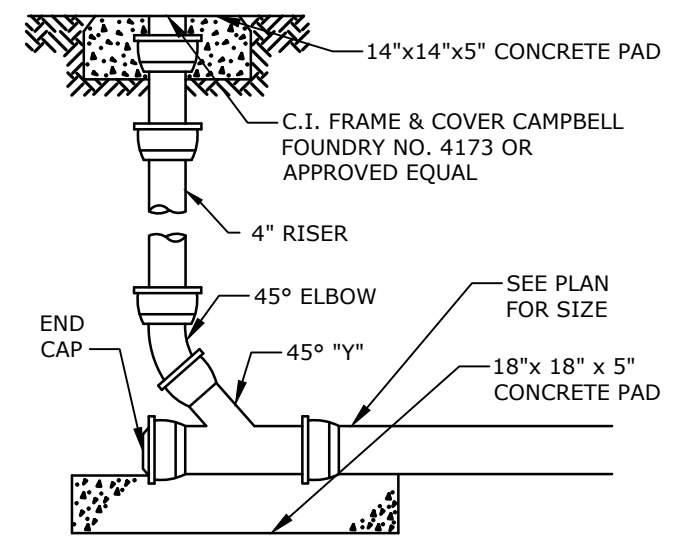
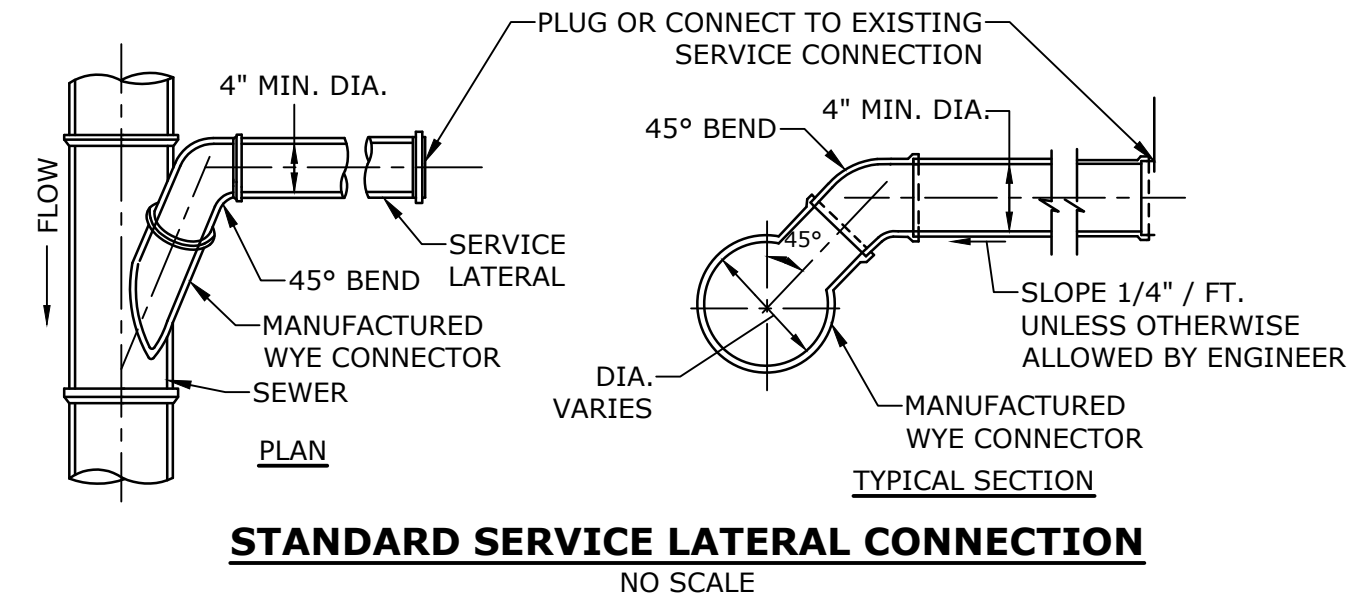
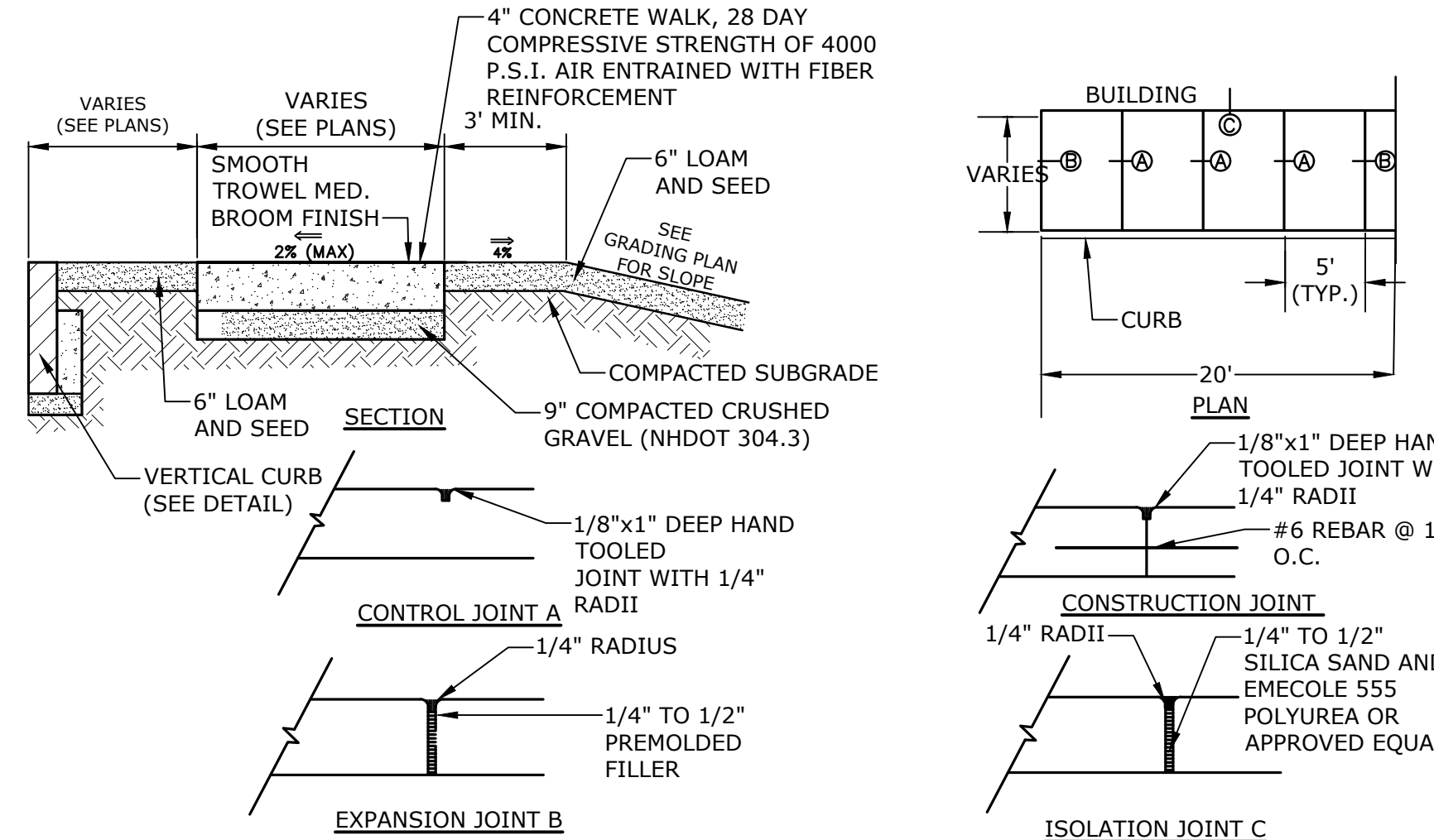
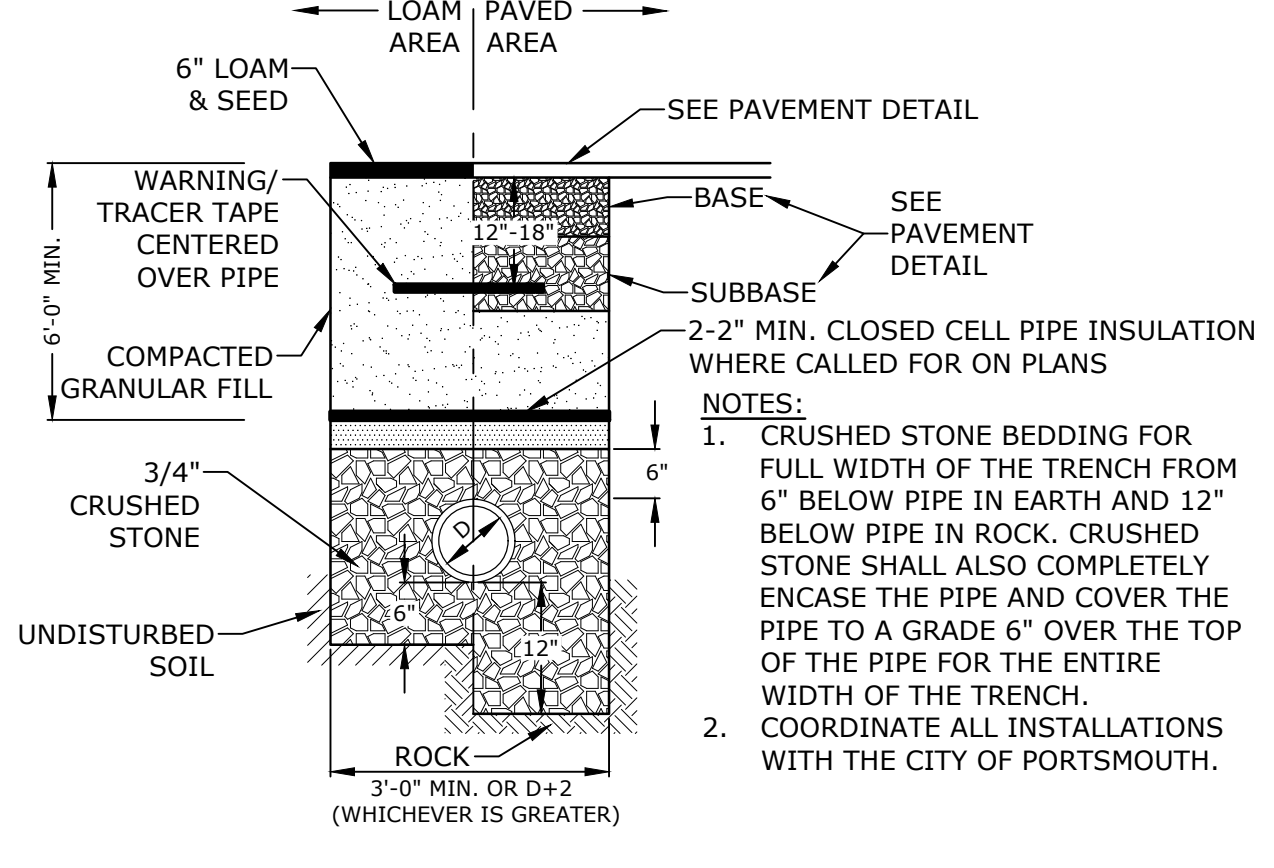
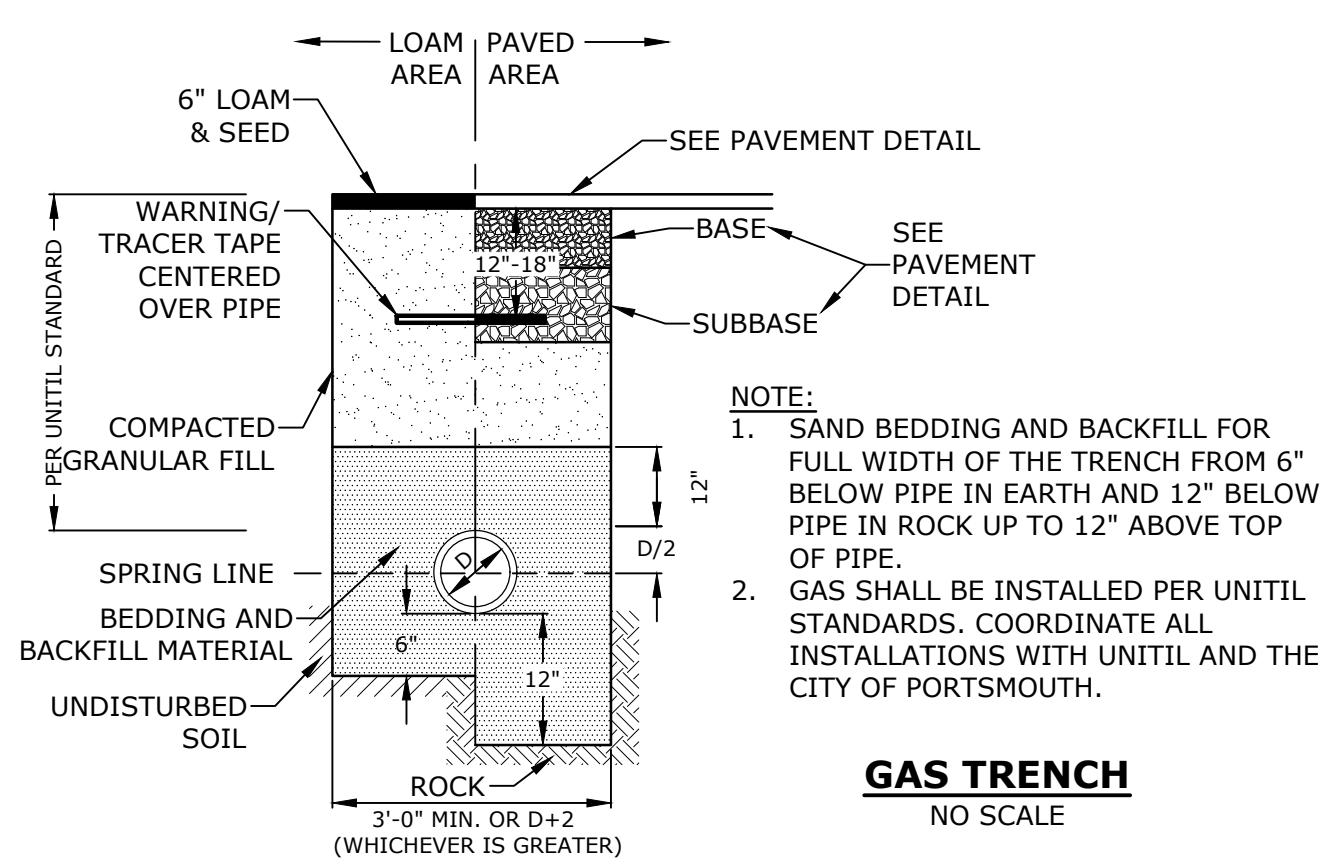
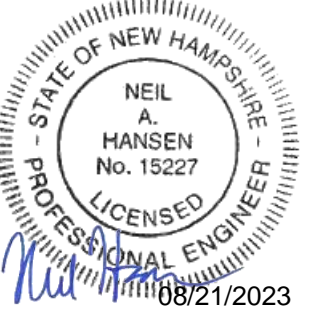
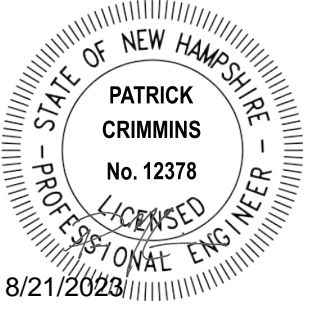
SHEARWATER DRIVE, PORTSMOUTH, NH

MARK	DATE	DESCRIPTION
1	8/21/2023	TAC Submission
PROJECT NO: CS194-001		
DATE: 08/01/2023		
FILE: CS194-001_C-DTLS.dwg		
DRAWN BY: NHW/CJK		
DESIGNED/CHECKED BY: NAH		
APPROVED BY: PMC		

DETAILS SHEET

SCALE: AS SHOWN

C-503



PROPOSED SINGLE-FAMILY SUBDIVISION

CHINBURG PROPERTIES

SHEARWATER DRIVE, PORTSMOUTH, NH

MARK	DATE	DESCRIPTION
1	8/21/2023	TAC Submission
PROJECT NO: CS194-001		
DATE: 08/01/2023		
FILE: CS194-001_C-DTLS.dwg		
DRAWN BY: NHW/CJK		
DESIGNED/CHECKED BY: NAH		
APPROVED BY: PMC		

DETAILS SHEET

SCALE: AS SHOWN

C-504

Last Saved: 8/21/2023 10:00am By: Ckrzulk
 Plotted On: Aug 21, 2023 10:00am By: Ckrzulk
 Tighe & Bond 315 Main St. Portsmouth, NH 03801
 CS194-001_C-DTLS.dwg

Owner's Letter of Authorization

This letter is to authorize Chinburg Properties (Applicant) to represent the interest of Bantry Bay Assoc LLC (owner) in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

<i>John C. Madden</i>	dotloop verified 07/31/23 8:53 PM ADT T3Q8-ENTB-19XF-SIFG
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Signature

John C. Madden

Print Name

Date

<i>Colton Gove</i>	dotloop verified 07/31/23 8:02 PM EDT PRVL-UPND-TPFR-4TAW
--------------------	---

Witness

Colton Gove

Print Name

Date

Agent Letter of Authorization

I, Eric Chinburg , of Chinburg Properties (Applicant) hereby give Tighe & Bond (site/civil Engineer) permission to be my agent in all site design and permitting matters for the proposed subdivision and development project located at Shearwater Drive in Portsmouth, New Hampshire on a parcel of land identified as Tax Map 217 Block 2 Lot 1900. This authorization shall include any required signatures for local, state and federal permit applications.

<i>Eric J Chinburg</i> dotloop verified 07/29/23 10:06 AM EDT AUQB-4CWG-43QJ-HBC4
--

Signature

Eric Chinburg

Print Name

_____ Date

<i>Colton Gove</i> dotloop verified 07/29/23 10:08 AM EDT 52J9-58AD-WKTW-5ZDR
--

Witness

Colton Gove

Print Name

_____ Date



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Chinburg Properties Date Submitted: August 21, 2023

Application # (in City's online permitting): LU 23-

Site Address: 0 Shearwater Drive Map: 217 Lot: Lot 1900 Block 2

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Complete application form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	Enclosed	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	Enclosed	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Enclosed	Yes
<input checked="" type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Prototypical Architectural Plans	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	Existing Conditions Sheet 1 OF 1	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)	Enclosed Cover Sheet	N/A
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F)	Existing Conditions Sheet 1 OF 1	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)	Cover Sheet	N/A
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1H)	General Notes Sheet G-100	N/A
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1I)	General Notes Sheet G-100	N/A

Site Plan Specifications			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. (2.5.4.1A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Existing Conditions Plan Sheet 1 OF 1	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	N/A	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)	Required on all plan sheets	N/A

Site Plan Specifications – Required Exhibits and Data

☑	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☑	1. Existing Conditions: (2.5.4.3A) <ul style="list-style-type: none"> • Surveyed plan of site showing existing natural and built features; • Existing building footprints and gross floor area; • Existing parking areas and number of parking spaces provided; • Zoning district boundaries; • Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; • Existing impervious and disturbed areas; • Limits and type of existing vegetation; • Wetland delineation, wetland function and value assessment (including vernal pools); • SFHA, 100-year flood elevation line and BFE data, as required. 	Existing Conditions Plan Sheet 1 OF 1	
☑	2. Buildings and Structures: (2.5.4.3B) <ul style="list-style-type: none"> • Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; • Elevations: Height, massing, placement, materials, lighting, façade treatments; • Total Floor Area; • Number of Usable Floors; • Gross floor area by floor and use. 	Site Plan Sheet C-102 & Prototypical Architectural Plans	
☑	3. Access and Circulation: (2.5.4.3C) <ul style="list-style-type: none"> • Location/width of access ways within site; • Location of curbing, right of ways, edge of pavement and sidewalks; • Location, type, size and design of traffic signing (pavement markings); • Names/layout of existing abutting streets; • Driveway curb cuts for abutting prop. and public roads; • If subdivision; Names of all roads, right of way lines and easements noted; • AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). 	Site Plan Sheet C-102	
☑	4. Parking and Loading: (2.5.4.3D) <ul style="list-style-type: none"> • Location of off street parking/loading areas, landscaped areas/buffers; • Parking Calculations (# required and the # provided). 	Site Plan Sheet C-102	
☑	5. Water Infrastructure: (2.5.4.3E) <ul style="list-style-type: none"> • Size, type and location of water mains, shut-offs, hydrants & Engineering data; • Location of wells and monitoring wells (include protective radii). 	Utilities Plan Sheet C-104	
☑	6. Sewer Infrastructure: (2.5.4.3F) <ul style="list-style-type: none"> • Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period. 	Utilities Plan Sheet C-104	

<input type="checkbox"/>	7. Utilities: (2.5.4.3G) <ul style="list-style-type: none"> The size, type and location of all above & below ground utilities; Size type and location of generator pads, transformers and other fixtures. 	Utilities Plan Sheet C-104	
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H) <ul style="list-style-type: none"> The size, type and location of solid waste facilities. 	N/A	
<input type="checkbox"/>	9. Storm water Management: (2.5.4.3I) <ul style="list-style-type: none"> The location, elevation and layout of all storm-water drainage. The location of onsite snow storage areas and/or proposed off-site snow removal provisions. Location and containment measures for any salt storage facilities Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures. 	Utilities Plan Sheet C-104	
<input type="checkbox"/>	10. Outdoor Lighting: (2.5.4.3J) <ul style="list-style-type: none"> Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan. 	N/A	
<input type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	N/A	
<input type="checkbox"/>	12. Landscaping: (2.5.4.3K) <ul style="list-style-type: none"> Identify all undisturbed area, existing vegetation and that which is to be retained; Location of any irrigation system and water source. 	Landscape Plan Sheet C-105	
<input type="checkbox"/>	13. Contours and Elevation: (2.5.4.3L) <ul style="list-style-type: none"> Existing/Proposed contours (2 foot minimum) and finished grade elevations. 	Grading, Drainage, & Erosion Control Plan C-105	
<input type="checkbox"/>	14. Open Space: (2.5.4.3M) <ul style="list-style-type: none"> Type, extent and location of all existing/proposed open space. 	Site Plan Sheet C-102	
<input type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	Drainage Easement Plan Sheet C-201	
<input type="checkbox"/>	16. Character/Civic District (All following information shall be included): (2.5.4.3P) <ul style="list-style-type: none"> Applicable Building Height (10.5A21.20 & 10.5A43.30); Applicable Special Requirements (10.5A21.30); Proposed building form/type (10.5A43); Proposed community space (10.5A46). 	Site Plan Sheet C-102	
<input type="checkbox"/>	17. Special Flood Hazard Areas (2.5.4.3Q) <ul style="list-style-type: none"> The proposed development is consistent with the need to minimize flood damage; All public utilities and facilities are located and construction to minimize or eliminate flood damage; Adequate drainage is provided so as to reduce exposure to flood hazards. 	N/A	

Other Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)	N/A	
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	Grading, Drainage, & Erosion Control Plan C-105	
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. (7.4)	Grading, Drainage, & Erosion Control Plan C-105	
<input type="checkbox"/>	Inspection and Maintenance Plan (7.6.5)	N/A	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> • Waivers; • Driveway permits; • Special exceptions; • Variances granted; • Easements; • Licenses. (2.5.3.2A)	Cover Sheet	
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> • Calculations relating to stormwater runoff; • Information on composition and quantity of water demand and wastewater generated; • Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; • Estimates of traffic generation and counts pre- and post-construction; • Estimates of noise generation; • A Stormwater Management and Erosion Control Plan; • Endangered species and archaeological / historical studies; • Wetland and water body (coastal and inland) delineations; • Environmental impact studies. (2.5.3.2B)	N/A	
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	Unitil Will Serve Letter has been included. The applicant is currently working with Eversource to get a will serve letter.	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	Cover Sheet	
<input type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	Site Plan Sheet C-102	N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)	N/A	
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)	Site Plan Sheet C-102	N/A

Applicant's Signature: _____ **Date:** _____



City of Portsmouth, New Hampshire

Subdivision Application Checklist

This subdivision application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision review requirements. Please refer to the Subdivision review regulations for full details.

Applicant Responsibilities (Section III.C): Applicable fees are due upon application submittal along with required number of copies of the Preliminary or final plat and supporting documents and studies. Please consult with Planning staff for submittal requirements.

Owner: Bantry Bay Association LLC Date Submitted: 8/21/2023

Applicant: Chinburg Properties

Phone Number: 603-969-9148 E-mail: massia@chinburg.com

Site Address 1: 0 Shearwater Drive Map: 217 Block 2
Lot 1900

Site Address 2: TBD Map: Lot:

Application Requirements			
<input type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Completed Application form. (III.C.2-3)	Enclosed	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive. (III.C.4)	Enclosed	N/A

Requirements for Preliminary/Final Plat			
<input type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat
<input checked="" type="checkbox"/>	Name and address of record owner, any option holders, descriptive name of subdivision, engineer and/or surveyor or name of person who prepared the plat. (Section IV.1/V.1)	Cover Sheet	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	<p>Preliminary Plat Names and addresses of all adjoining property owners. (Section IV.2)</p> <p>Final Plat Names and addresses of all abutting property owners, locations of buildings within one hundred (100) feet of the parcel, and any new house numbers within the subdivision. (Section V.2)</p>	Existing Conditions Sheet 1 OF 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	North point, date, and bar scale. (Section IV.3/V3)	Required on all Plan Sheets	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Zoning classification and minimum yard dimensions required. (Section IV.4/V.4)	Site Plan Sheet C-102	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	<p>Preliminary Plat Scale (not to be smaller than one hundred (100) feet = 1 inch) and location map (at a scale of 1" = 1000'). (Section IV.5)</p> <p>Final Plat Scale (not to be smaller than 1"=100'), Location map (at a scale of 1"=1,000') showing the property being subdivided and its relation to the surrounding area within a radius of 2,000 feet. Said location map shall delineate all streets and other major physical features that may either affect or be affected by the proposed development. (Section V.5)</p>	<p>Existing Conditions Plan Sheet 1 OF 1</p> <p>Subdivision Plan Sheet 1 OF 1</p>	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Location and approximate dimensions of all existing and proposed property lines including the entire area proposed to be subdivided, the areas of proposed lots, and any adjacent parcels in the same ownership. (Section IV.6)	Subdivision Plan Sheet 1 OF 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Dimensions and areas of all lots and any and all property to be dedicated or reserved for schools, parks, playgrounds, or other public purpose. Dimensions shall include radii and length of all arcs and calculated bearing for all straight lines. (Section V.6/ IV.7)	Subdivision Plan Sheet 1 OF 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Location, names, and present widths of all adjacent streets, with a designation as to whether public or private and approximate location of existing utilities to be used. Curbs and sidewalks shall be shown. (Section IV.8/V.7)	<p>Site Plan Sheet C-102</p> <p>Utilities Plan Sheet C-104</p>	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	Location of significant physical features, including bodies of water, watercourses, wetlands, railroads, important vegetation, stone walls and soils types that may influence the design of the subdivision. (Section IV.9/V.8)	Existing Conditions Plan Sheet 1 OF 1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Preliminary Plat Proposed locations, widths and other dimensions of all new streets and utilities, including water mains, storm and sanitary sewer mains, catch basins and culverts, street lights, fire hydrants, sewerage pump stations, etc. (Section IV.10) Final Plat Proposed locations and profiles of all proposed streets and utilities, including water mains, storm and sanitary sewer mains, catchbasins and culverts, together with typical cross sections. Profiles shall be drawn to a horizontal scale of 1"=50' and a vertical scale of 1"=5', showing existing centerline grade, existing left and right sideline grades, and proposed centerline grade. (Section V.9)	Existing Conditions Plan Sheet 1 OF 1 Site Plan Sheet C-102 Grading, Drainage, & Erosion Control Plan C-105 Utilities Plan Sheet C-104	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	When required by the Board, the plat shall be accompanied by profiles of proposed street grades, including extensions for a reasonable distance beyond the subject land; also grades and sizes of proposed utilities. (Section IV.10)	N/A	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Base flood elevation (BFE) for subdivisions involving greater than five (5) acres or fifty (50) lots. (Section IV.11)	N/A	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	For subdivisions of five (5) lots or more, or at the discretion of the Board otherwise, the preliminary plat shall show contours at intervals no greater than two (2) feet. Contours shall be shown in dotted lines for existing natural surface and in solid lines for proposed final grade, together with the final grade elevations shown in figures at all lot corners. If existing grades are not to be changed, then the contours in these areas shall be solid lines. (Section IV.12/ V.12)	Existing Conditions Plan Sheet 1 OF 1 Grading, Drainage, & Erosion Control Plan C-103	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	Dates and permit numbers of all necessary permits from governmental agencies from which approval is required by Federal or State law. (Section V.10)	Cover Sheet	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	For subdivisions involving greater than five (5) acres or fifty (50) lots, the final plat shall show hazard zones and shall include elevation data for flood hazard zones. (Section V.11)	N/A	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Location of all permanent monuments. (Section V.12)	Subdivision Plan Sheet 1 OF 1	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	

General Requirements¹

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	1. Basic Requirements: (VI.1) a. Conformity to Official Plan or Map b. Hazards c. Relation to Topography d. Planned Unit Development	Subdivision Plan Sheet 1 OF 1 PUD not proposed	
<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/>	2. Lots: (VI.2) a. Lot Arrangement b. Lot sizes c. Commercial and Industrial Lots	Subdivision Plan Sheet 1 OF 1 No commercial or industrial development proposed	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	3. Streets: (VI.3) a. Relation to adjoining Street System b. Street Rights-of-Way c. Access d. Parallel Service Roads e. Street Intersection Angles f. Merging Streets g. Street Deflections and Vertical Alignment h. Marginal Access Streets i. Cul-de-Sacs j. Rounding Street Corners k. Street Name Signs l. Street Names m. Block Lengths n. Block Widths o. Grade of Streets p. Grass Strips	N/A No new streets proposed	
<input checked="" type="checkbox"/>	4. Curbing: (VI.4)	Site Plan Sheet C-102	
<input checked="" type="checkbox"/>	5. Driveways: (VI.5)	Site Plan Sheet C-102	
<input checked="" type="checkbox"/>	6. Drainage Improvements: (VI.6)	Sheet C-103	
<input checked="" type="checkbox"/>	7. Municipal Water Service: (VI.7)	Sheet C-104	
<input checked="" type="checkbox"/>	8. Municipal Sewer Service: (VI.8)	Sheet C-104	
<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	9. Installation of Utilities: (VI.9) a. All Districts b. Indicator Tape	Sheet C-104	
<input checked="" type="checkbox"/>	10. On-Site Water Supply: (VI.10)	N/A	
<input checked="" type="checkbox"/>	11. On-Site Sewage Disposal Systems: (VI.11)	N/A	
<input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	12. Open Space: (VI.12) a. Natural Features b. Buffer Strips c. Parks d. Tree Planting	Site Plan Sheet C-102	
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	13. Flood Hazard Areas: (VI.13) a. Permits b. Minimization of Flood Damage c. Elevation and Flood-Proofing Records d. Alteration of Watercourses	N/A	
<input checked="" type="checkbox"/>	14. Erosion and Sedimentation Control (VI.14)	Sheet C-103	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	15. Easements (VI.15) a. Utilities b. Drainage	Drainage Easement Plan Sheet C-201	
<input checked="" type="checkbox"/>	16. Monuments: (VI.16)	Subdivision Plan Sheet 1 OF 1	
<input checked="" type="checkbox"/>	17. Benchmarks: (VI.17)	Subdivision Plan Sheet 1 OF 1	
<input checked="" type="checkbox"/>	18. House Numbers (VI.18)	TBD	

Design Standards			
	Required Items for Submittal	Indicate compliance and/or provide explanation as to alternative design	Waiver Requested
<input checked="" type="checkbox"/>	1. Streets have been designed according to the design standards required under Section (VII.1). a. Clearing b. Excavation c. Rough Grade and Preparation of Sub-Grade d. Base Course e. Street Paving f. Side Slopes g. Approval Specifications h. Curbing i. Sidewalks j. Inspection and Methods	Site Plan Sheet C-102 Grading, Drainage, & Erosion Control Plan C-105 Utilities Plan Sheet C-104	
<input checked="" type="checkbox"/>	2. Storm water Sewers and Other Drainage Appurtenances have been designed according to the design standards required under Section (VII.2). a. Design b. Standards of Construction	Grading, Drainage, & Erosion Control Plan C-105	
<input checked="" type="checkbox"/>	3. Sanitary Sewers have been designed according to the design standards required under Section (VII.3). a. Design b. Lift Stations c. Materials d. Construction Standards	Utilities Plan Sheet C-104	
<input checked="" type="checkbox"/>	4. Water Mains and Fire Hydrants have been designed according to the design standards required under Section (VII.4). a. Connections to Lots b. Design and Construction c. Materials d. Notification Prior to Construction	Utilities Plan Sheet C-104	

Applicant's/Representative's Signature: _____ Date: 8/21/2023

¹ See City of Portsmouth, NH Subdivision Rules and Regulations for details.
Subdivision Application Checklist/January 2018

Site Plan Review Application Fee

Project: 0 Shearwater Drive

Map/Lot: Map 217 Block 2 Lot 1900

Applicant: Chinburg Properties

All development

Base fee \$600 \$600.00

Plus \$5.00 per \$1,000 of site costs
Site costs \$300,000 + \$1,500.00

Plus \$10.00 per 1,000 S.F. of site development area
Site development area 97,314 S.F. + \$973.14

Fee **\$3,073.14**

Maximum fee: \$20,000.00

Fee received by: _____ Date: _____

Note: Initial application fee may be based on the applicant's estimates of site costs and site development area. Following site plan approval, the application fee will be recalculated based on the approved site plan and site engineer's corresponding site cost estimate as approved by the Department of Public Works, and any additional fee shall be paid prior to the issuance of a building permit.

Subdivision Application Fee

Project: 0 Shearwater Drive

Map/Lot: Map 217 Block 2 Lot 1900

Applicant: Chinburg Properties

<input checked="" type="checkbox"/> Residential subdivision <i>\$600 plus \$200 per lot</i>	Number of lots	<input type="text" value="9"/>	Fee	<input type="text" value="\$2,400.00"/>
<input type="checkbox"/> Non-residential subdivision <i>\$800 plus \$300 per lot</i>	Number of lots		Fee	<input type="text" value="\$0.00"/>
<input type="checkbox"/> Lot line revision/verification <i>\$250</i>			Fee	<input type="text" value=""/>
<input type="checkbox"/> Filing of condominium site <i>\$100</i>			Fee	<input type="text" value="\$0.00"/>
<input type="checkbox"/> Lot consolidation <i>\$175</i>			Fee	<input type="text" value="\$0.00"/>

Total fee

Fee received by: _____

Date: _____



August 14, 2023

Matt Assia
Chinburg Development
3 Penstock Way
Newmarket NH 03857

RE: Natural Gas Availability to Shearwater Dr Portsmouth NH

Dear Matt,

Unitil's natural gas division has reviewed the requested site for natural gas service.

Unitil hereby confirms natural gas service will be available to the Shearwater Dr Portsmouth Project to serve nine new residential single family homes.

Installation is pending an authorized installation agreement with Chinburg Development and street opening approval from the City of Portsmouth DPW.

Let me know if you have any questions. You can email me at oliver@unitil.com. My phone number is 603-294-5174.

Sincerely,

Janet Oliver
Senior Business Development Representative



Art Form Architecture, Inc.

CARBONARA CLASSIC W WING 1027.127 GL

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

BUILDING SIZE, STYLE, AND LOCATION SHOWN ARE APPROXIMATE AND FOR DEMONSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATION, SIZE, AND STYLES TO BE DETERMINED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL MEET ALL APPLICABLE CITY AND STATE REGULATIONS.



Width 78.00 FT

Depth 31.00 FT

Height 26.83 FT

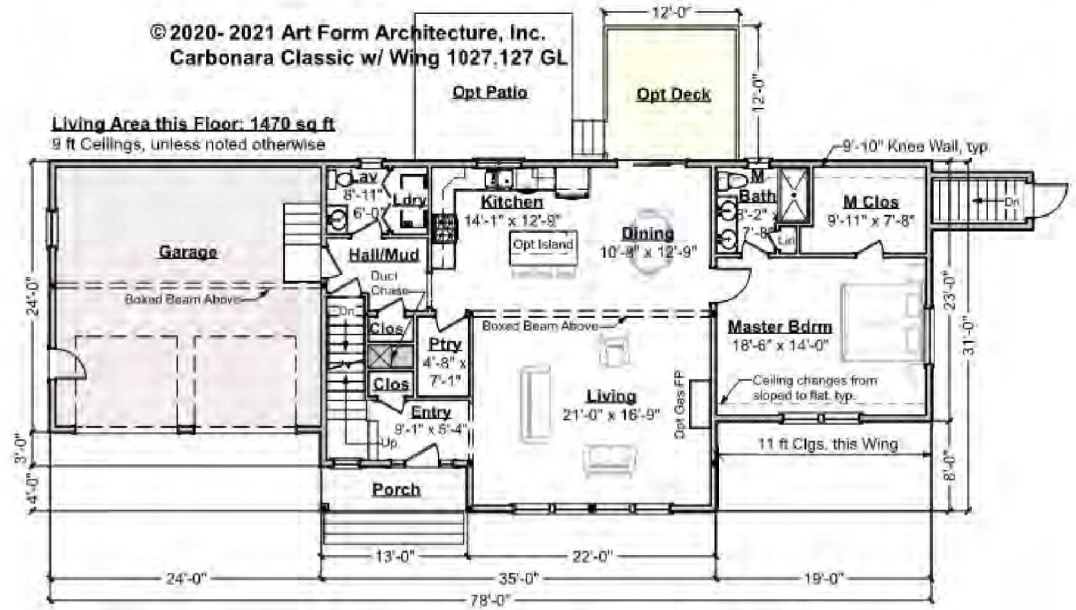
LIVING AREA		BEDROOMS		BATHROOMS	
	2885 FT		5		3.5
Main	2885 FT	Main	3	Main	3.5
Future	0 FT	Future	2	Future	0
2 nd Unit	0 FT	2 nd Unit	0	2 nd Unit	0



Art Form Architecture, Inc.

CARBONARA CLASSIC W WING - 1ST FLOOR 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1470 FT		1		1.5
Main	1470.00 FT	Main	1.00	Main	1.50
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00

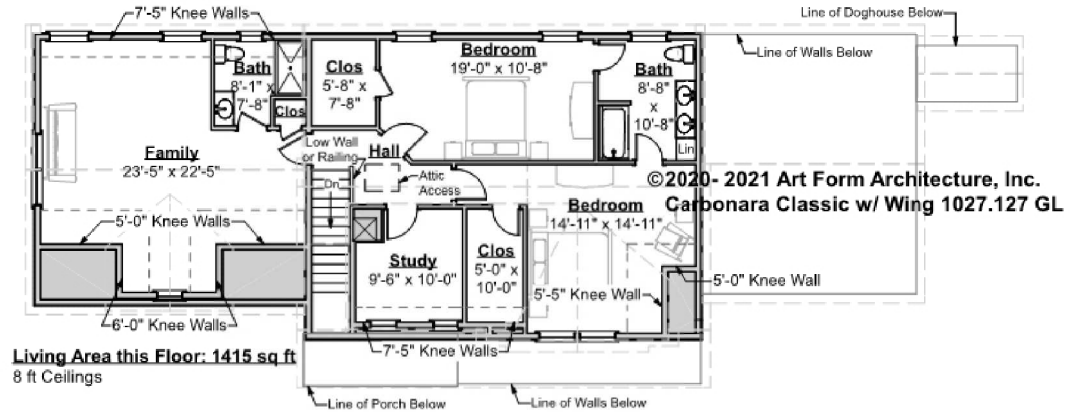


Art Form Architecture, Inc.

CARBONARA CLASSIC W WING - 2ND FLOOR

1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0"

CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1415 FT		4		2
Main	1415.00 FT	Main	2.00	Main	2.00
Future	0.00 FT	Future	2.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00

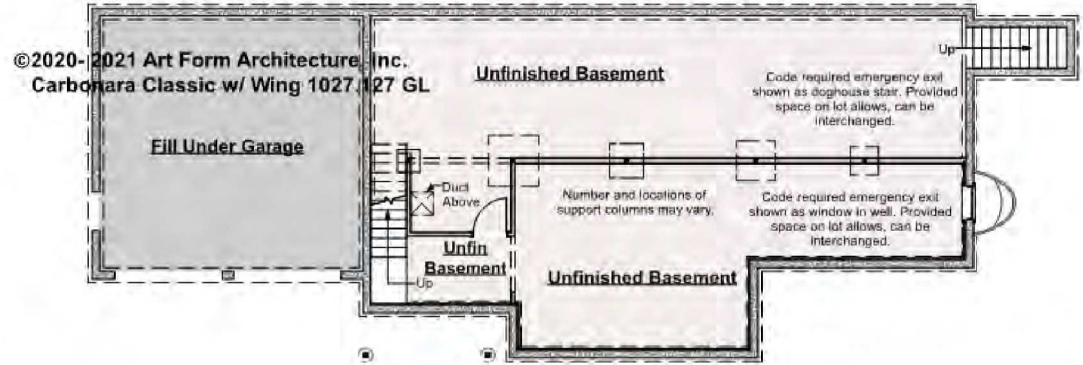


Art Form Architecture, Inc.

CARBONARA CLASSIC W WING - BASEMENT

1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	0 FT		0		0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00



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CARBONARA CLASSIC W WING - FRONT ELEVATION 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





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CARBONARA CLASSIC W WING - RIGHT ELEVATION 1027.127 GL

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Art Form Architecture, Inc.

CARBONARA CLASSIC W WING - REAR ELEVATION 1027.127 GL

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CARBONARA CLASSIC W WING - LEFT ELEVATION 1027.127 GL

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.





Art Form Architecture, Inc.

DAMARA

861.124 GR

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

Artform Home Plans ("Artform") requires that our Drawings be built substantially as designed. Artform will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Artform. It is recommended that you have your Drawing updated by Artform prior to attaching any Drawing to any builder agreement. Artform shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

BUILDING SIZE, STYLE, AND LOCATION SHOWN ARE APPROXIMATE AND FOR DEMONSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATION, SIZE, AND STYLES TO BE DETERMINED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL MEET ALL APPLICABLE CITY AND STATE REGULATIONS.



Width 60.00^{FT}

Depth 27.33^{FT}

Height 25.08^{FT}

LIVING AREA		BEDROOMS		BATHROOMS	
	2029 ^{FT}		4		3.5
Main	2029 ^{FT}	Main	4	Main	3.5
Future	0 ^{FT}	Future	0	Future	0
2 nd Unit	0 ^{FT}	2 nd Unit	0	2 nd Unit	0



DAMARA - 1ST FLOOR

861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	949 FT		1		1.5
Main	949.00 FT	Main	1.00	Main	1.50
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00



DAMARA - 2ND FLOOR

861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 8'-0"

CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

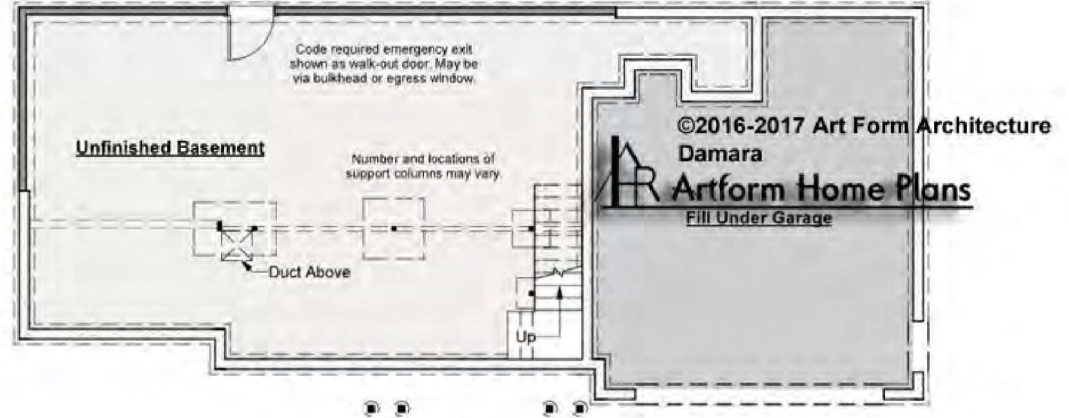
F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1080 ^{FT}		3		2
Main	1080.00 ^{FT}	Main	3.00	Main	2.00
Future	0.00 ^{FT}	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{FT}	2 nd Unit	0.00	2 nd Unit	0.00



DAMARA - BASEMENT

861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

** Major Change Fee, see website plan page for cost*

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	0 FT		0		0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00



Art Form Architecture, Inc.

DAMARA - FRONT ELEVATION

861.124 GR

Some features shown are optional. Your Purchase & Sale Agreement governs, whether items are labeled "optional" in this document or not.



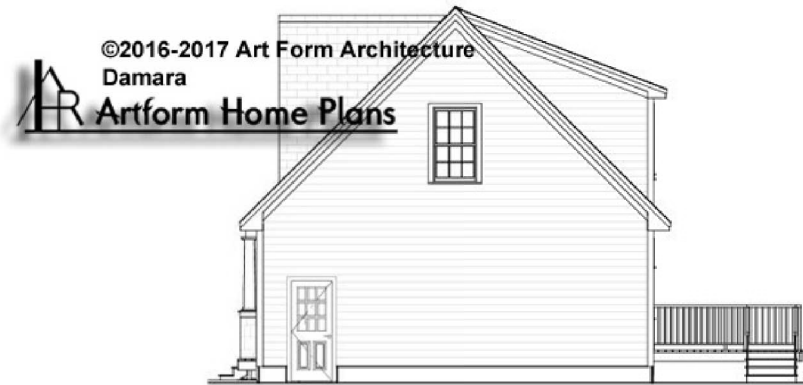


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DAMARA - RIGHT ELEVATION

861.124 GR

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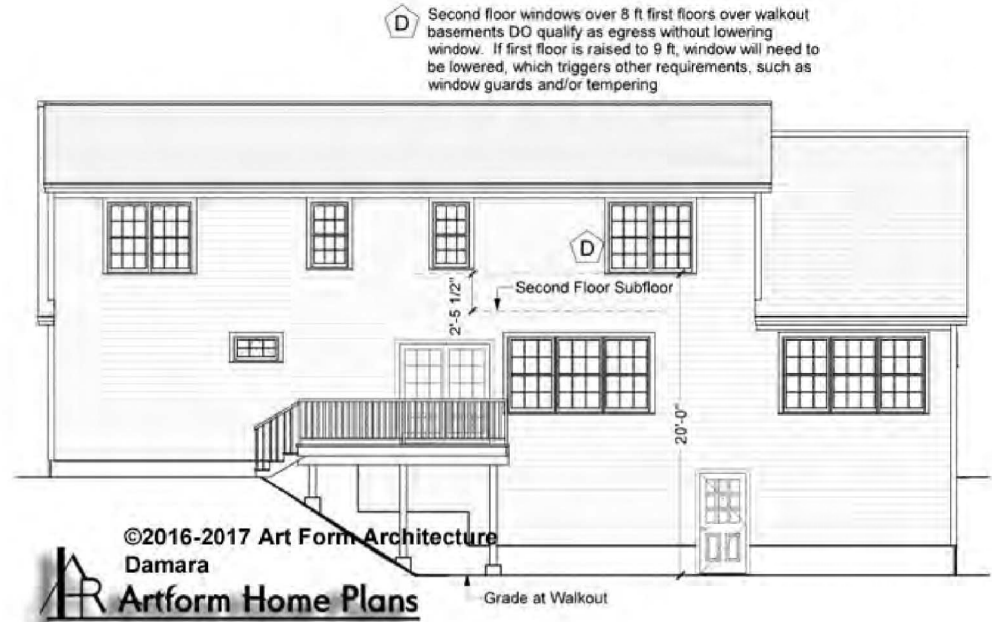


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DAMARA - REAR ELEVATION

861.124 GR

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DAMARA - LEFT ELEVATION

861.124 GR

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FIONA 395.124.v5 GR

We have this in reverse as well (Garage on the Left), at no additional charge.

Reverse plan available.

—

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Width 68.00 FT

Depth 32.00 FT

Height 26.16 FT

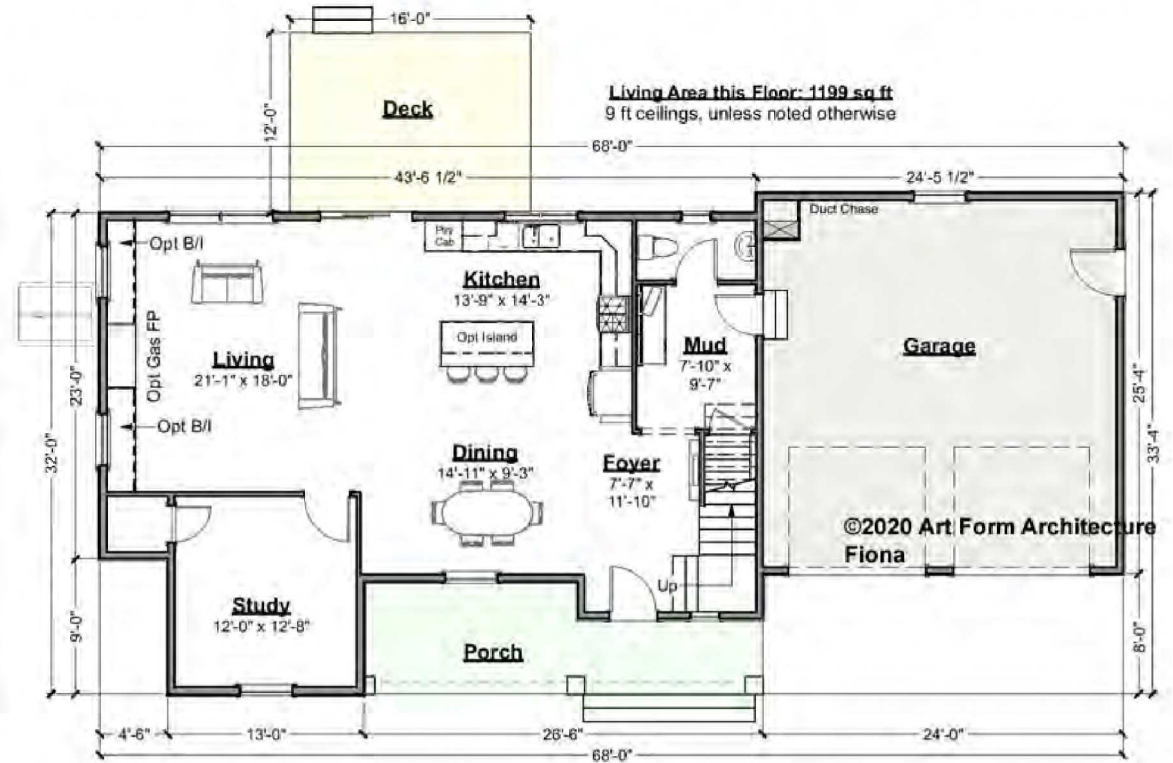
LIVING AREA		BEDROOMS		BATHROOMS	
Main	2804 FT	Main	3	Main	2.5
Future	0 FT	Future	1	Future	0
2 nd Unit	0 FT	2 nd Unit	0	2 nd Unit	0



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FIONA - 1ST FLOOR
395.124.v5 GR

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CLG HT SHOWN 9'-0" CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1199 FT		1		0.5
Main	1199.00 FT	Main	0.00	Main	0.50
Future	0.00 FT	Future	1.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00

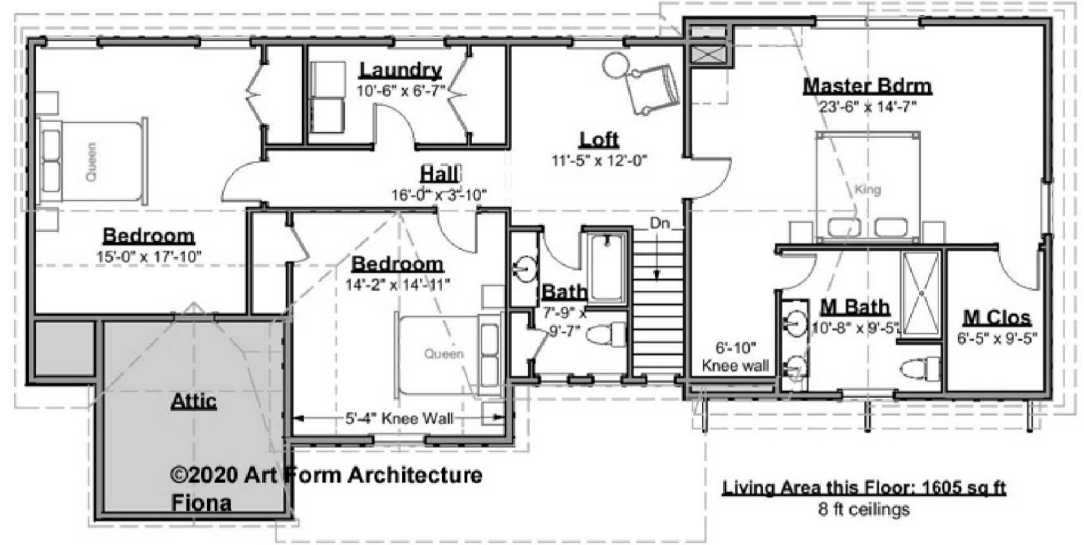


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FIONA - 2ND FLOOR

395.124.v5 GR

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CRS 395, 124, v5 GR Fiona - Lot 2

CLG HT SHOWN 8'-0"

CLG HT POSSIBLE 8'-0"

* Major Change Fee, see website plan page for cost

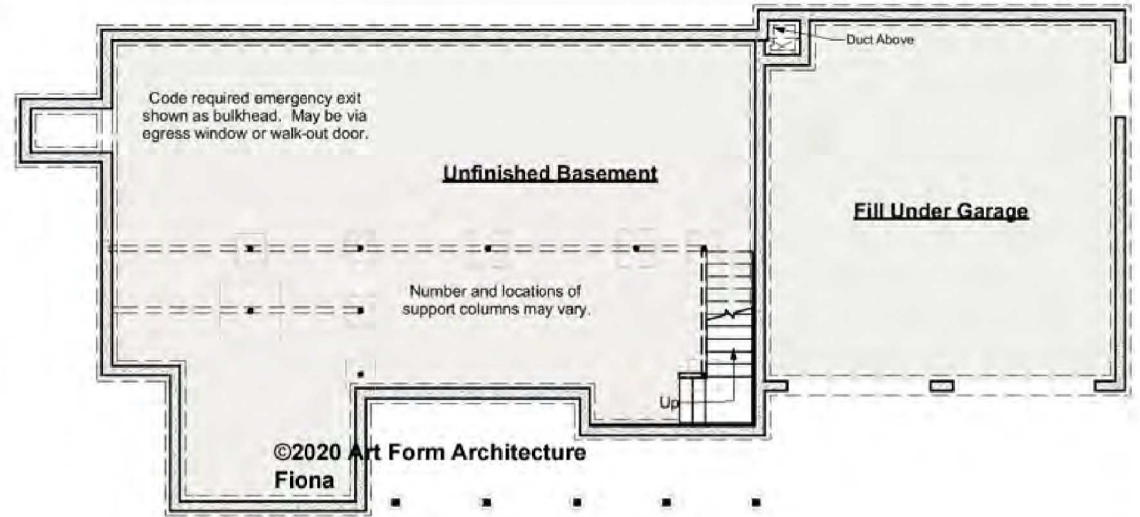
F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1605 ^{FT}		3		2
Main	1605.00 ^{FT}	Main	3.00	Main	2.00
Future	0.00 ^{FT}	Future	0.00	Future	0.00
2 nd Unit	0.00 ^{FT}	2 nd Unit	0.00	2 nd Unit	0.00



FIONA - BASEMENT

395.124.v5 GR

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CLG HT SHOWN 7'-8" CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	0 FT		0		0
Main	0.00 FT	Main	0.00	Main	0.00
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00



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FIONA - FRONT ELEVATION

395.124.v5 GR

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FIONA - RIGHT ELEVATION

395.124.v5 GR

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CRS 395.124.v5 GR Fiona - Lot 2



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FIONA - REAR ELEVATION

395.124.v5 GR

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CRS 395,124.v5 GR Fiona - Lot 2

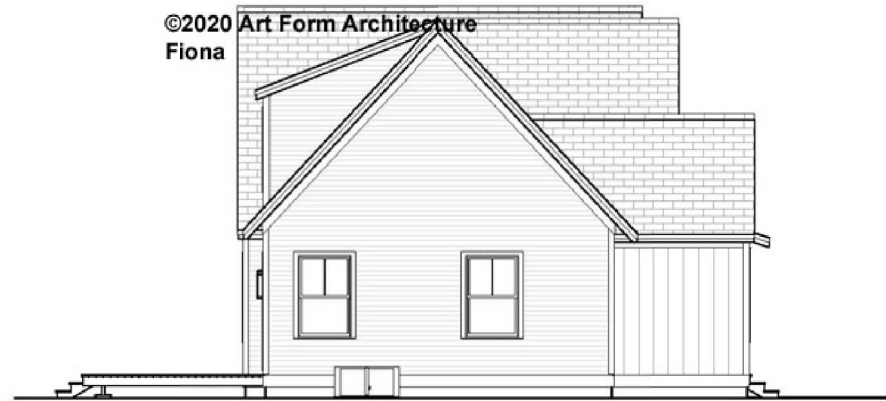


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FIONA - LEFT ELEVATION

395.124.v5 GR

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CRS 395,124,v5 GR Fiona - Lot 2



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FIONA - REAR RENDER

395.124.v5 GR

—
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8/8/2023

Garnet Premier

384.129.v35 GR (8/8/2023)

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384.129.v35 GR Garnet Premier

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CRS 384.129.v35 GR Garnet Premier

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Garnet Premier

384.129.v35 GR (8/8/2023)

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8/8/2023

Garnet Premier

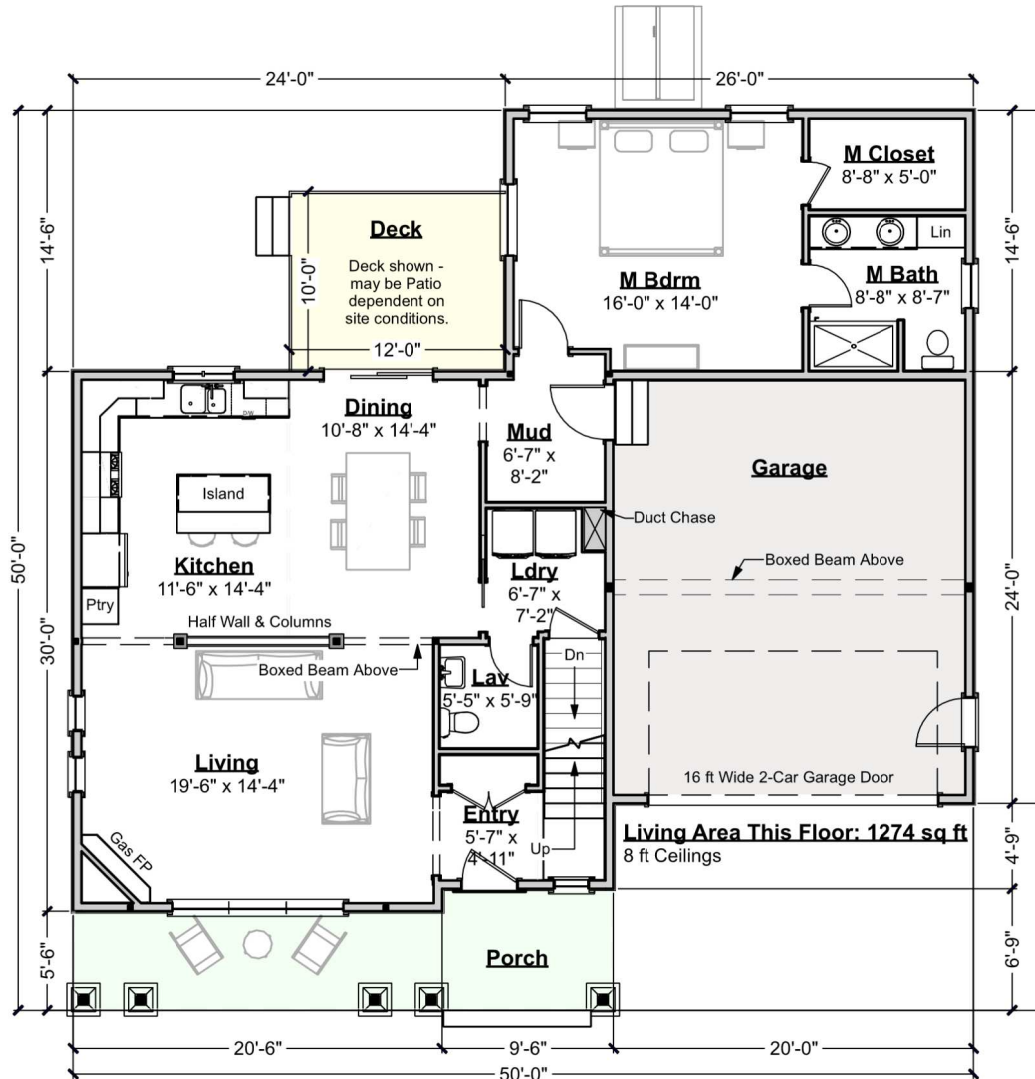
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First Floor Plan
Scale: 3/32" = 1'-0"

8/8/2023

Garnet Premier

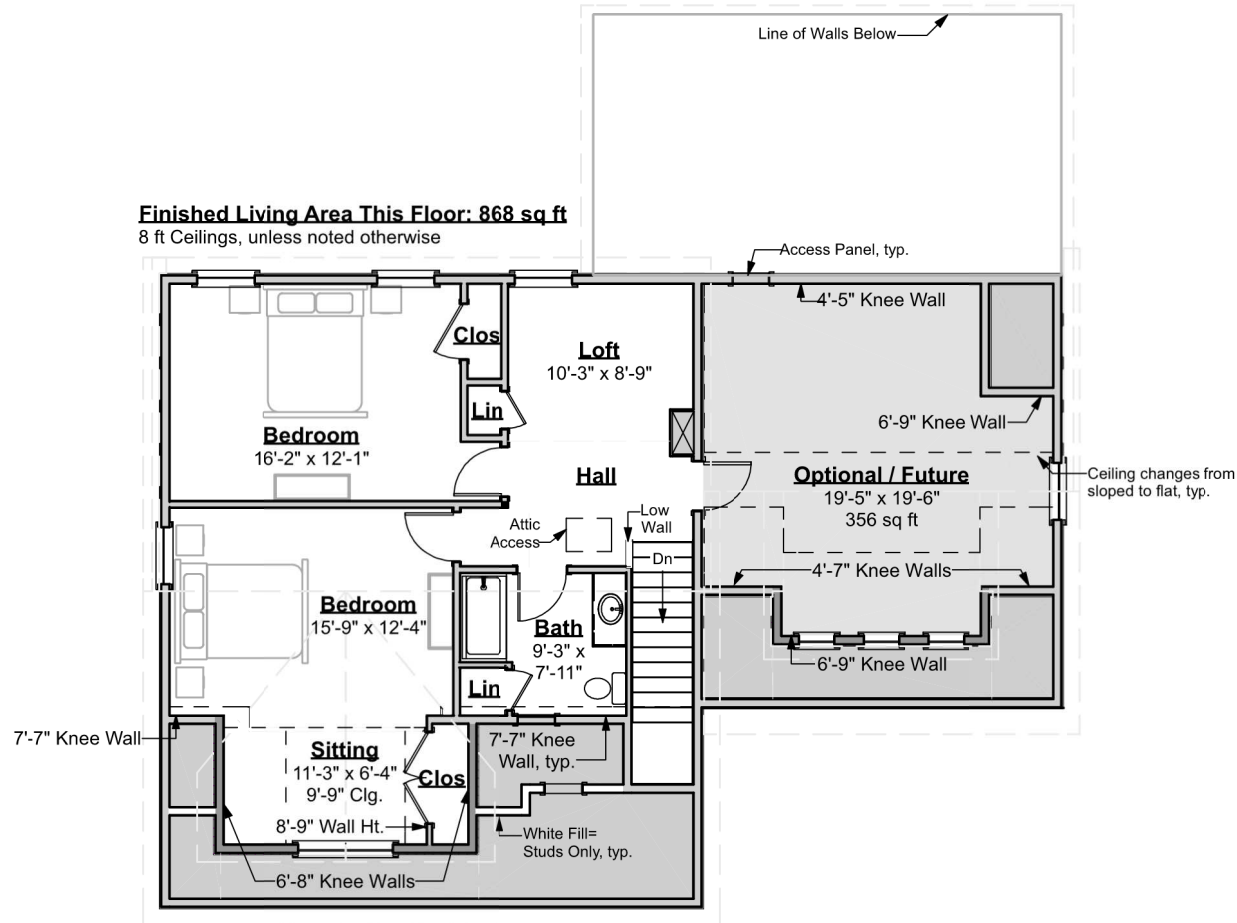
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Second Floor Plan

Scale: 3/32" = 1'-0"

8/8/2023

Garnet Premier

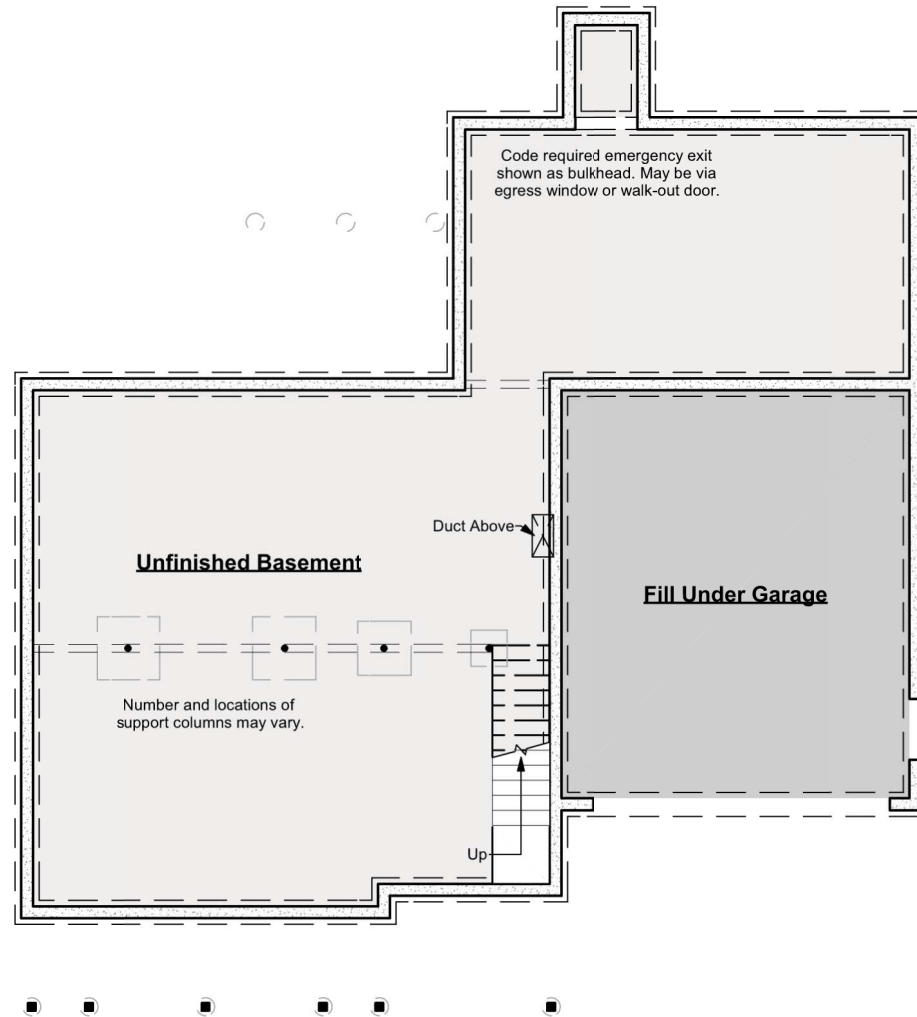
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Foundation Plan
Scale: 3/32" = 1'-0"

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Garnet Premier

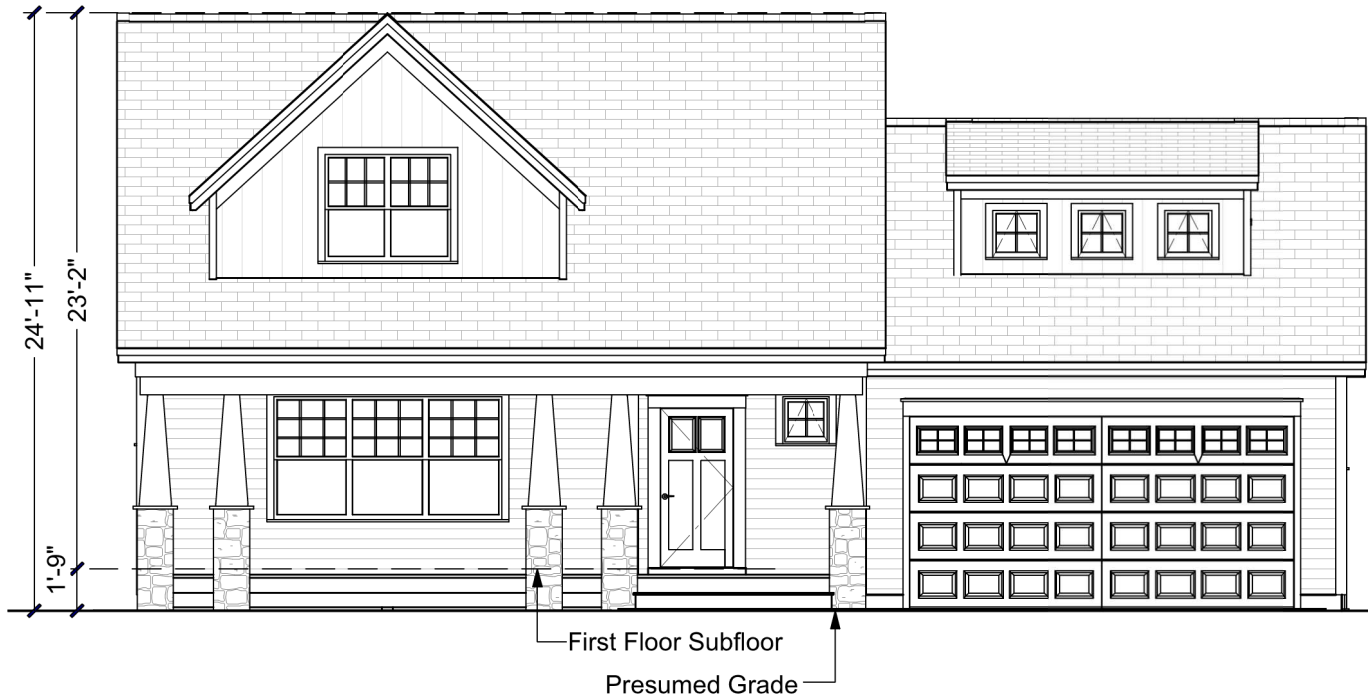
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Front Elevation

Scale: 1/8" = 1'-0"

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Right Elevation

Scale: 1/8" = 1'-0"

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Left Elevation
Scale: 1/8" = 1'-0"

8/8/2023

Opal Marquise, 30x28

370.124.v20 GL (8/8/2023)

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Opal Marquise, 30x28 370.124.v20 GL

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CRS 370.124.v20 GL (8/8/2023)

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Opal Marquise, 30x28

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Opal Marquise, 30x28

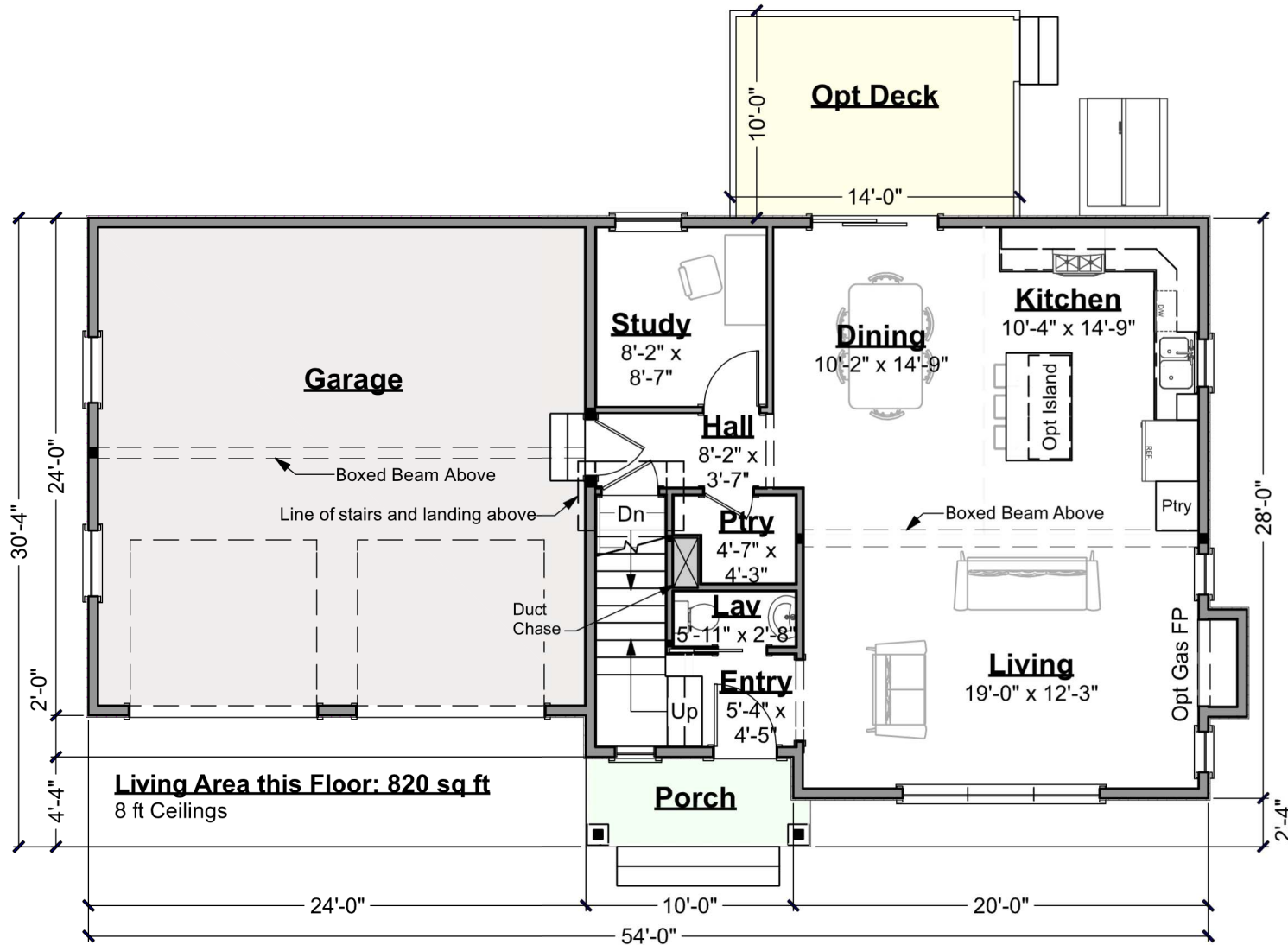
370.124.v20 GL (8/8/2023)

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First Floor Plan

Scale: 1/8" = 1'-0"

8/8/2023

Opal Marquise, 30x28

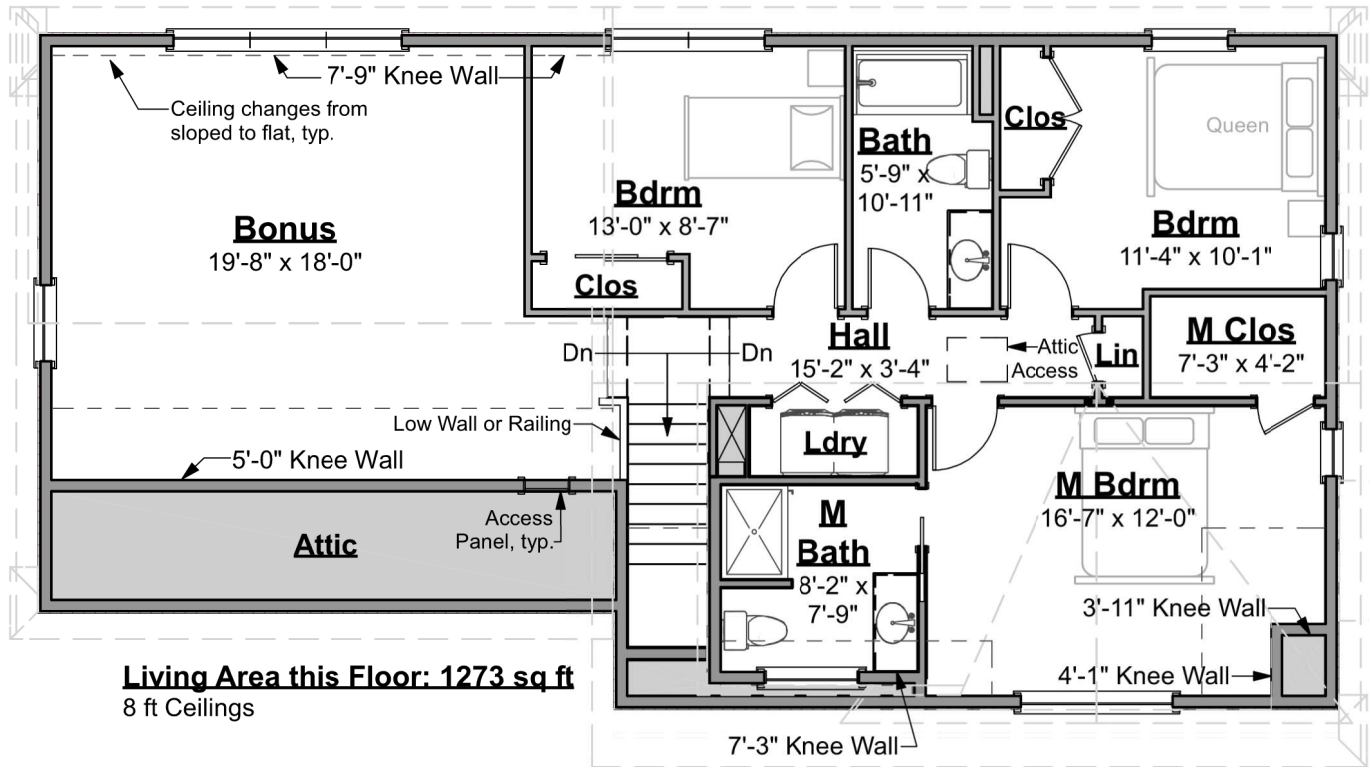
370.124.v20 GL (8/8/2023)

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Second Floor Plan

Scale: 1/8" = 1'-0"

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Opal Marquise, 30x28

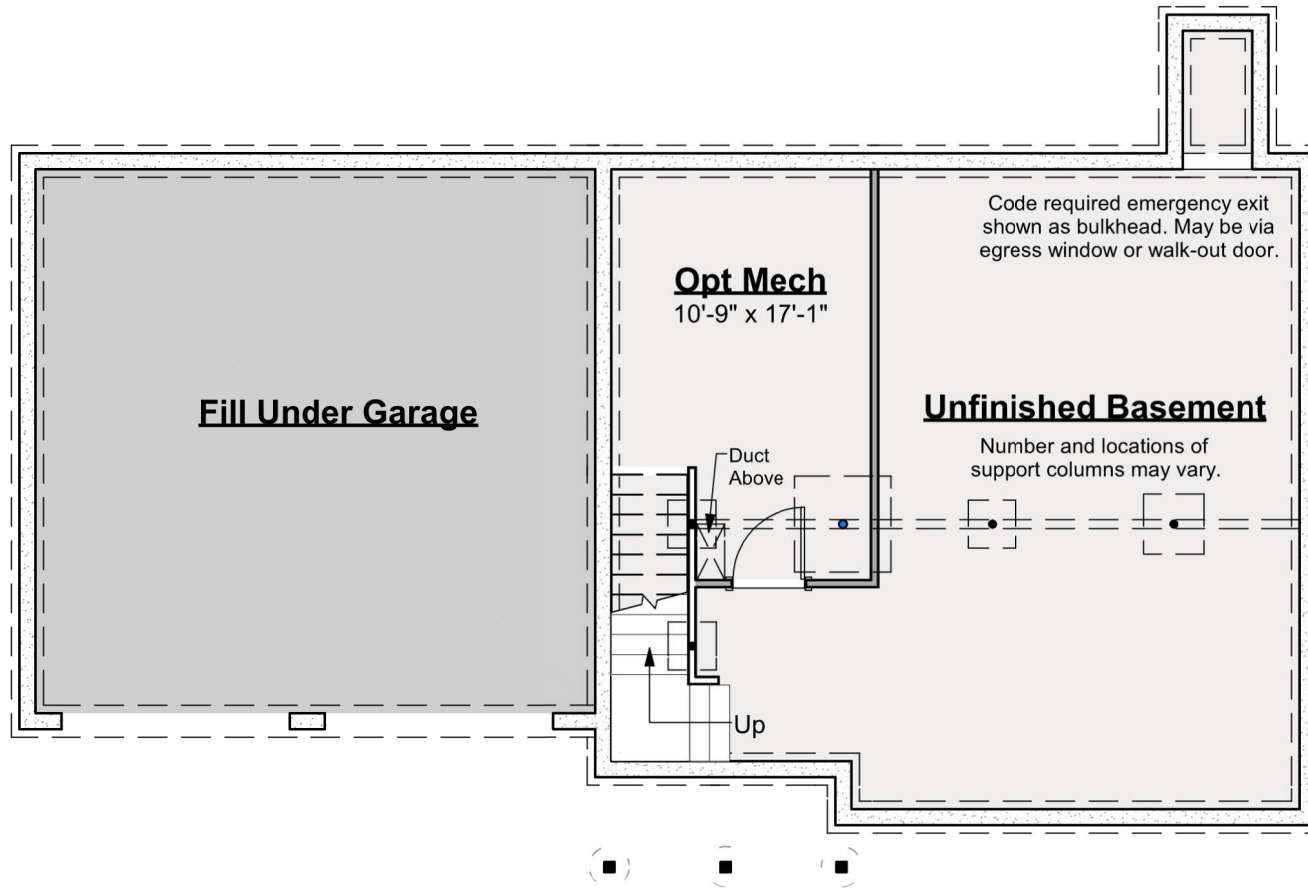
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Foundation Plan

Scale: 1/8" = 1'-0"

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Opal Marquise, 30x28

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Front Elevation

Scale: 1/8" = 1'-0"

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Opal Marquise, 30x28

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Right Elevation
Scale: 1/8" = 1'-0"

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Opal Marquise, 30x28

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Rear Elevation
Scale: 1/8" = 1'-0"

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Opal Marquise, 30x28

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Left Elevation
Scale: 1/8" = 1'-0"



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PEPPERCORN CLASSIC WITH WING 975.127.v3 GL

This plan is Tier 2 because original was for Portland Maine that doesn't allow us to give you the choices we normally give. Tier 2 gives us the time to add that back in.

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Width 67.00^{FT}

Depth 30.60^{FT}

Height 25.66^{FT}

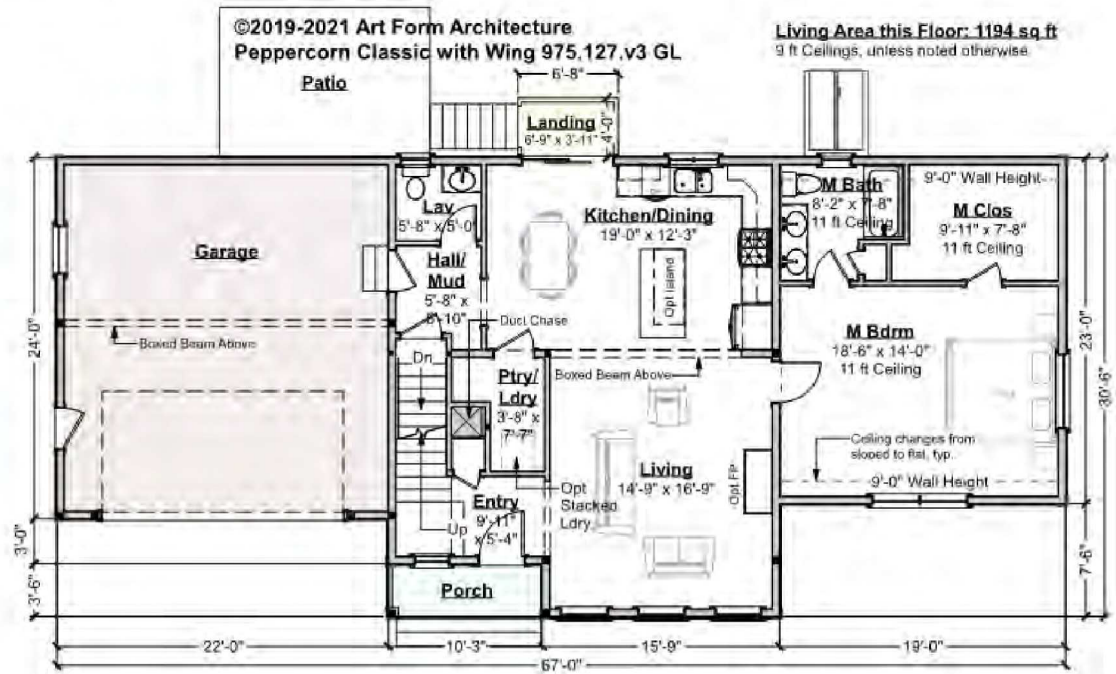
LIVING AREA		BEDROOMS		BATHROOMS	
Main	2294 ^{FT}	Main	3	Main	2.5
Future	0 ^{FT}	Future	0	Future	0
2 nd Unit	0 ^{FT}	2 nd Unit	0	2 nd Unit	0



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**PEPPERCORN CLASSIC WITH WING -
1ST FLOOR
975.127.v3 GL**

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CLG HT SHOWN 9'-0"

CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA	1194 FT	F1 BEDROOMS	1	F1 BATHROOMS	1.5
Main	1194.00 FT	Main	1.00	Main	1.50
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00

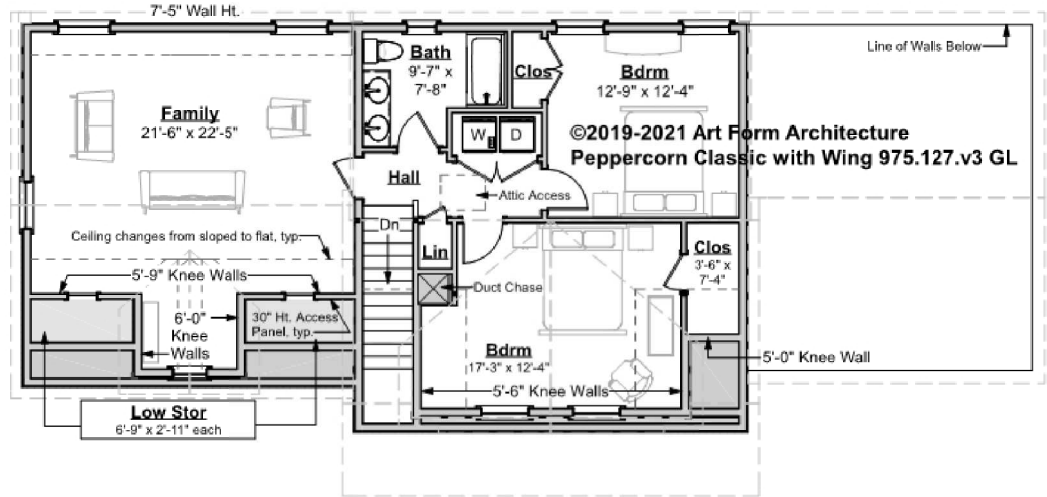


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PEPPERCORN CLASSIC WITH WING - 2ND FLOOR 975.127.v3 GL

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Living Area this Floor: 1100 sq ft
8 ft Ceilings



CLG HT SHOWN 8'-0"

CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	1100 FT		2		1
Main	1100.00 FT	Main	2.00	Main	1.00
Future	0.00 FT	Future	0.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00



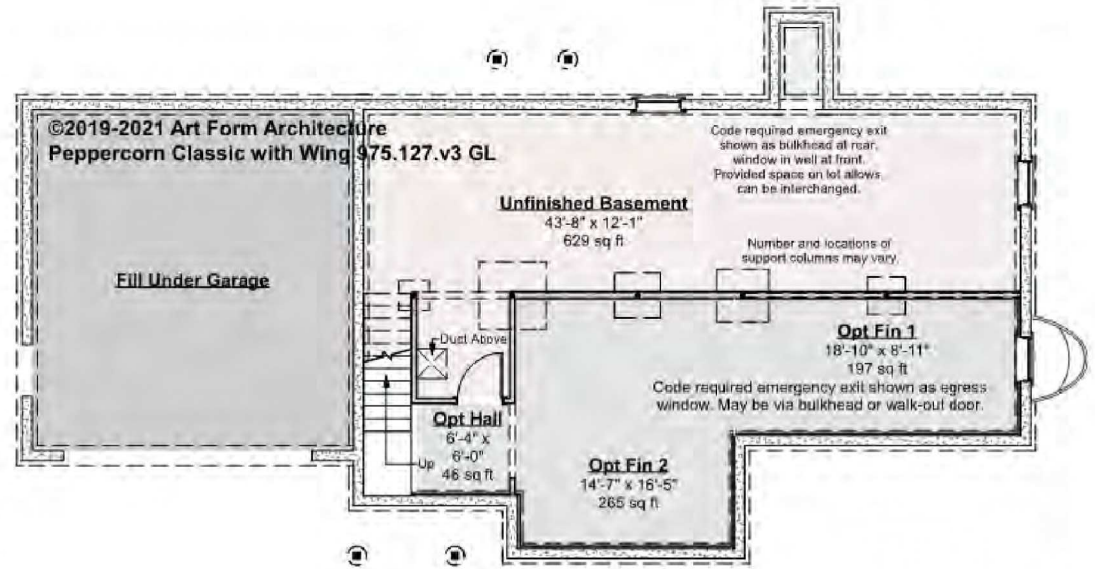
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PEPPERCORN CLASSIC WITH WING - BASEMENT

975.127.v3 GL

The construction drawings show this lower level as finished. We don't include that in our data chart so Search isn't misleading. Everybody knows you can finish a basement!

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CLG HT SHOWN 7'-8"

CLG HT POSSIBLE 9'-0"

* Major Change Fee, see website plan page for cost

F1 LIVING AREA		F1 BEDROOMS		F1 BATHROOMS	
	0 FT		0		0
Main	0.00 FT	Main	0.00	Main	0.00
Future	FT	Future	0.00	Future	0.00
2 nd Unit	0.00 FT	2 nd Unit	0.00	2 nd Unit	0.00



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PEPPERCORN CLASSIC WITH WING - FRONT ELEVATION

975.127.v3 GL

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PEPPERCORN CLASSIC WITH WING - RIGHT ELEVATION 975.127.v3 GL

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PEPPERCORN CLASSIC WITH WING - REAR ELEVATION

975.127.v3 GL

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PEPPERCORN CLASSIC WITH WING - LEFT ELEVATION

975.127.v3 GL

—
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8/8/2023

Shelley with Sun

874.125.v4 GR

(8/8/2023)

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8/8/2023

Shelley with Sun

874.125.v4 GR

(8/8/2023)

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8/8/2023

Shelley with Sun

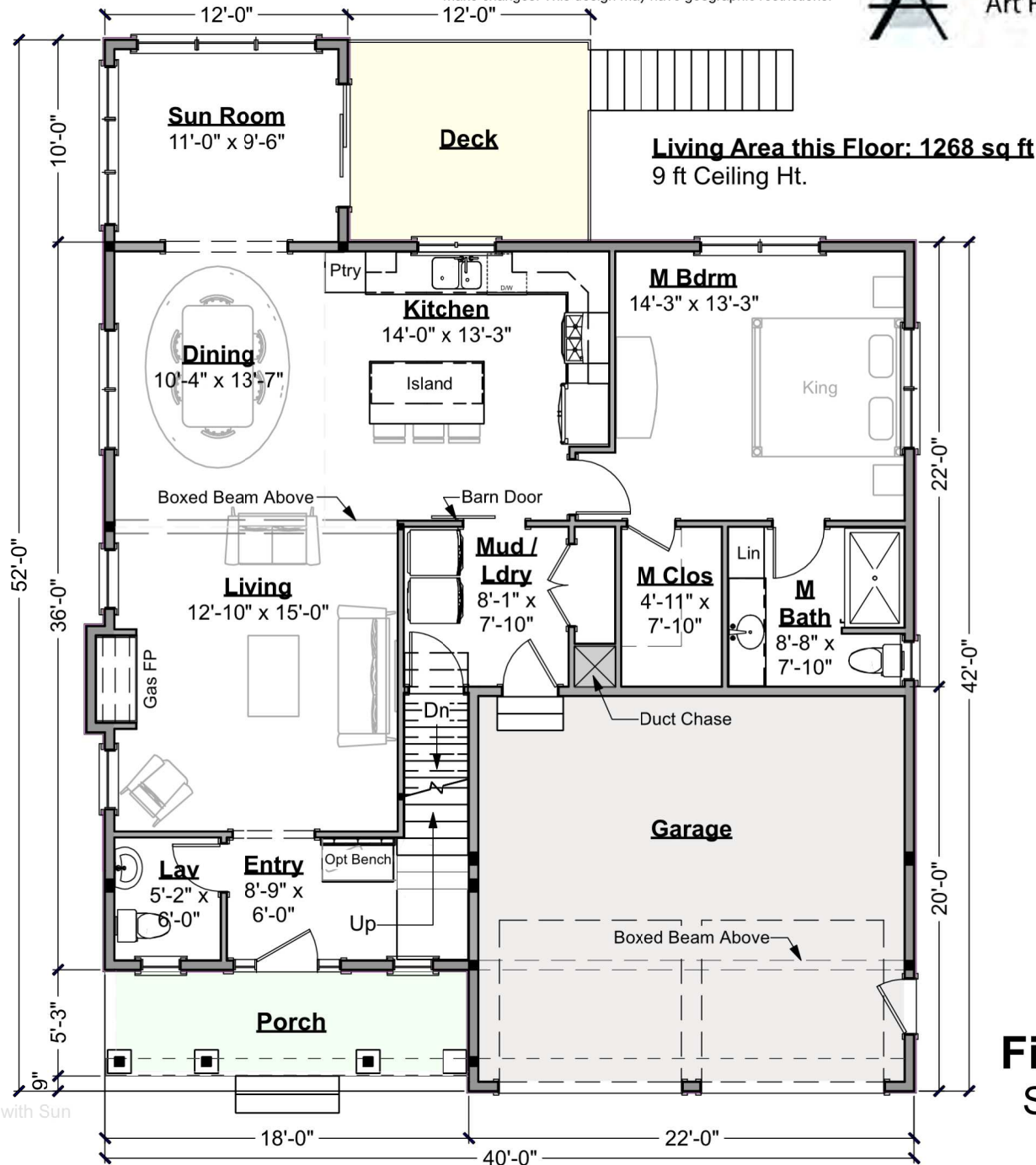
874.125.v4 GR
(8/8/2023)

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First Floor Plan
Scale: 1/8" = 1'-0"

8/8/2023

Shelley with Sun

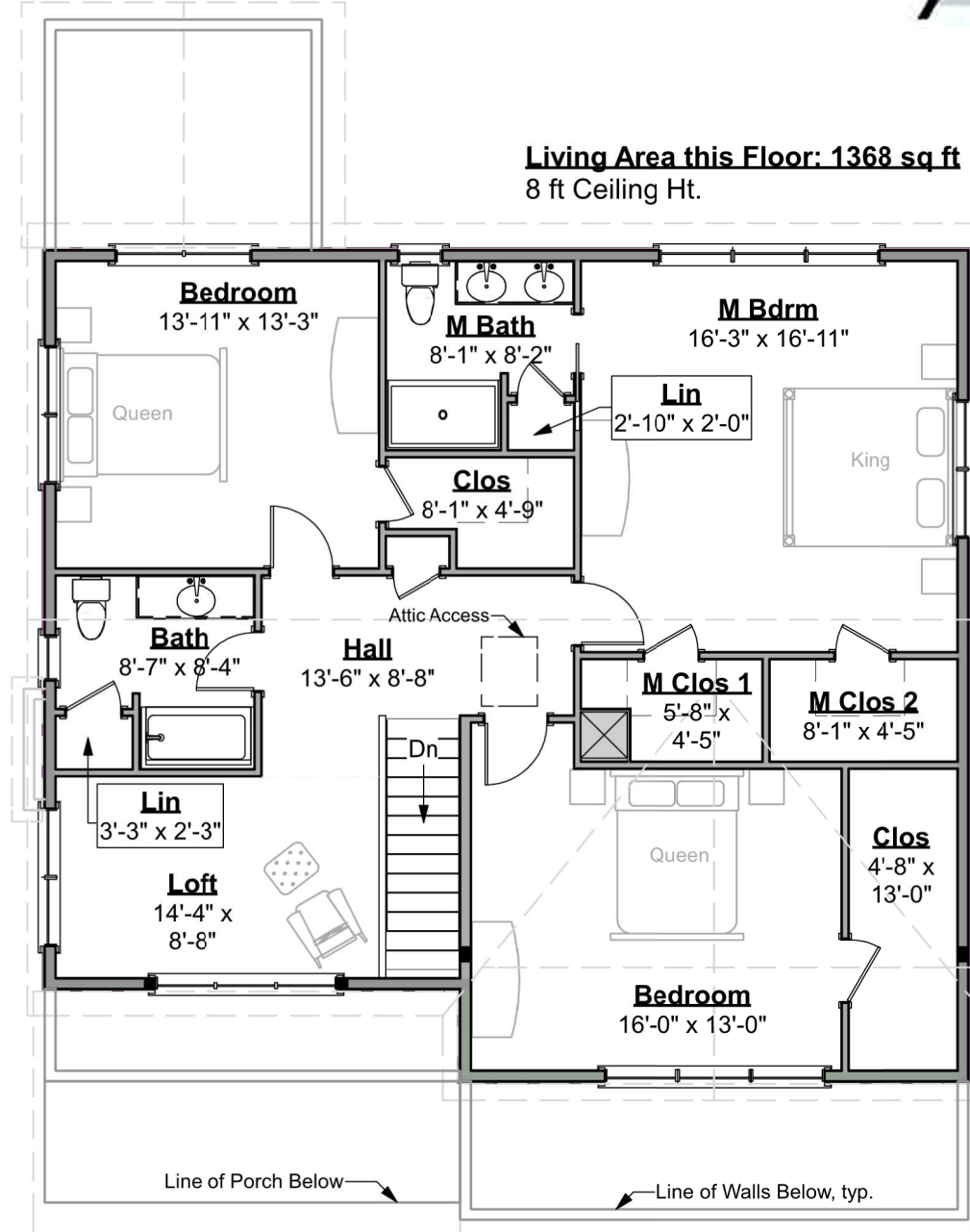
874.125.v4 GR
(8/8/2023)

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Second Floor Plan

Scale: 1/8" = 1'-0"

8/8/2023

Shelley with Sun

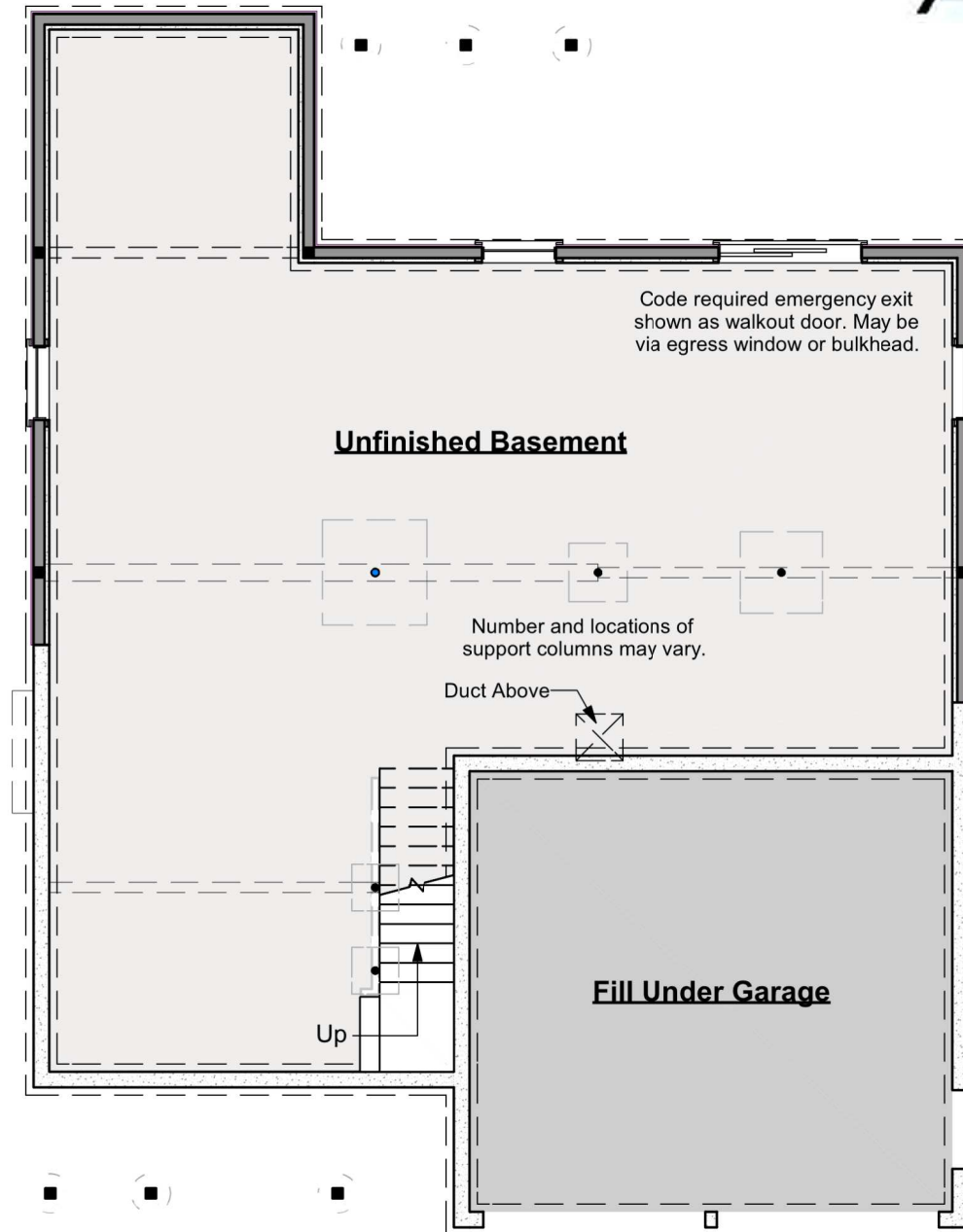
874.125.v4 GR
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Code required emergency exit shown as walkout door. May be via egress window or bulkhead.

Unfinished Basement

Number and locations of support columns may vary.

Duct Above

Fill Under Garage

Up

Foundation Plan

Scale: 1/8" = 1'-0"

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Front Elevation

Scale: 1/8" = 1'-0"

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Shelley with Sun

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Right Elevation

Scale: 1/8" = 1'-0"

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Shelley with Sun

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Rear Elevation

Scale: 1/8" = 1'-0"

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Shelley with Sun

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Left Elevation
Scale: 1/8" = 1'-0"

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Sweet Cherry Peekaboo

1020.124.v4 GR (8/8/2023)

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1020.124.v4 GR Sweet Cherry Peekaboo

BUILDING SIZE, STYLE, AND LOCATION SHOWN ARE APPROXIMATE AND FOR DEMONSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATION, SIZE, AND STYLES TO BE DETERMINED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, AND SHALL MEET ALL APPLICABLE CITY AND STATE REGULATIONS.

CRS 1020.124.v4 GR Sweet Cherry Peekaboo

Dear Builders and Home Buyers,

In addition to our Terms and Conditions (the "Terms"), please be aware of the following:

This design may not yet have Construction Drawings (as defined in the Terms), and is, therefore, only available as a Design Drawing (as defined in the Terms and together with Construction Drawings, "Drawings"). It is possible that during the conversion of a Design Drawing to a final Construction Drawing, changes may be necessary including, but not limited to, dimensional changes. Please see Plan Data Explained on www.artform.us to understand room sizes, dimensions and other data provided. We are not responsible for typographical errors.

Art Form Architecture ("Art Form") requires that our home designs be built substantially as designed. Art Form will not be obligated by or liable for use of this design with markups as part of any builder agreement. While we attempt to accommodate where possible and reasonable, and where the changes do not denigrate our design, any and all changes to Drawings must be approved in writing by Art Form. It is recommended that you have your Drawing updated by Art Form prior to attaching any Drawing to any builder agreement. Art Form shall not be responsible for the misuse of or unauthorized alterations to any of its Drawings.

Facade Changes:

- To maintain design integrity, we pay particular attention to features on the front facade, including but not limited to door surrounds, window casings, finished porch column sizes, and roof friezes. While we may allow builders to add their own flare to aesthetic elements, we don't allow our designs to be stripped of critical details. Any such alterations require the express written consent of Art Form.
- Increasing ceiling heights usually requires adjustments to window sizes and other exterior elements.

Floor plan layout and/or Structural Changes:

- Structural changes always require the express written consent of Art Form
- If you wish to move or remove walls or structural elements (such as removal of posts, increases in house size, ceiling height changes, addition of dormers, etc), please do not assume it can be done without other additional changes (even if the builder or lumber yard says you can).

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Sweet Cherry Peekaboo

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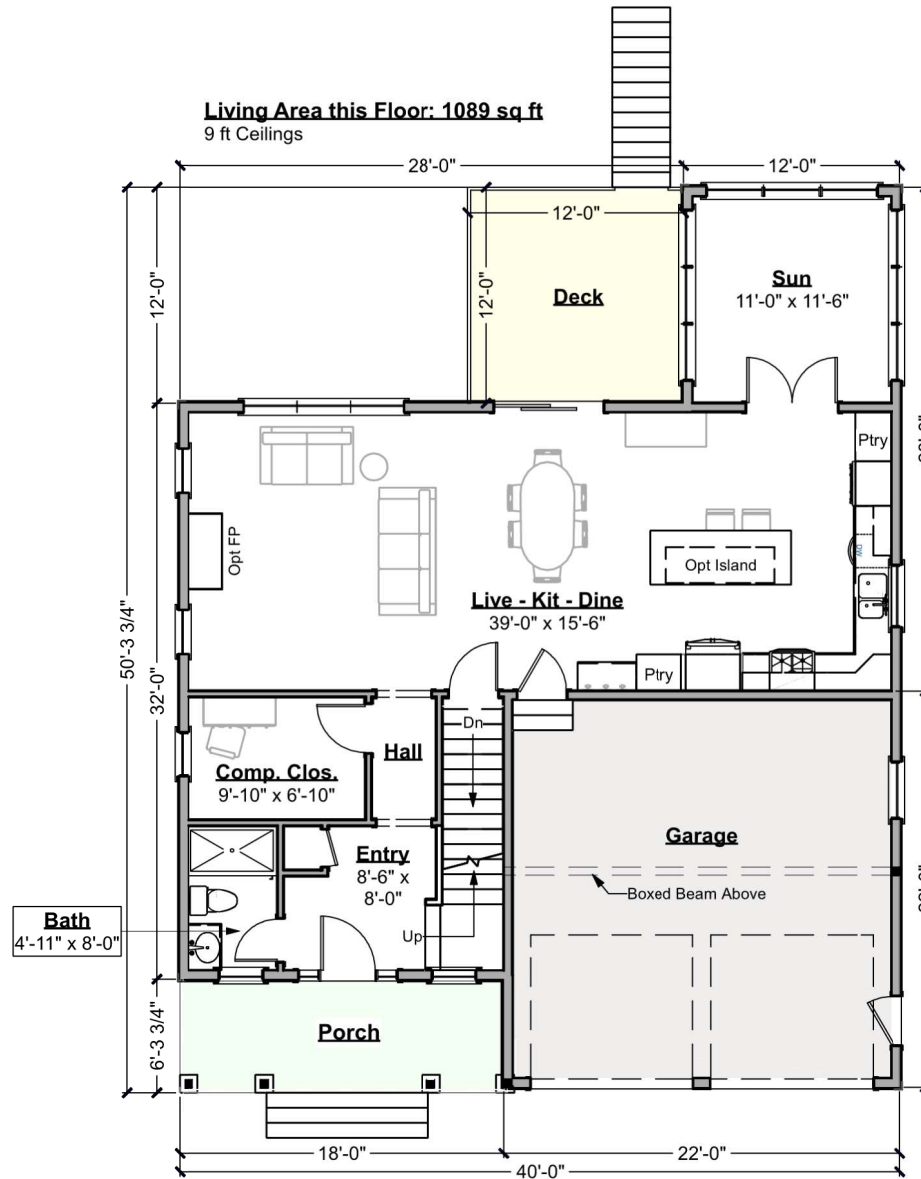
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First Floor Plan
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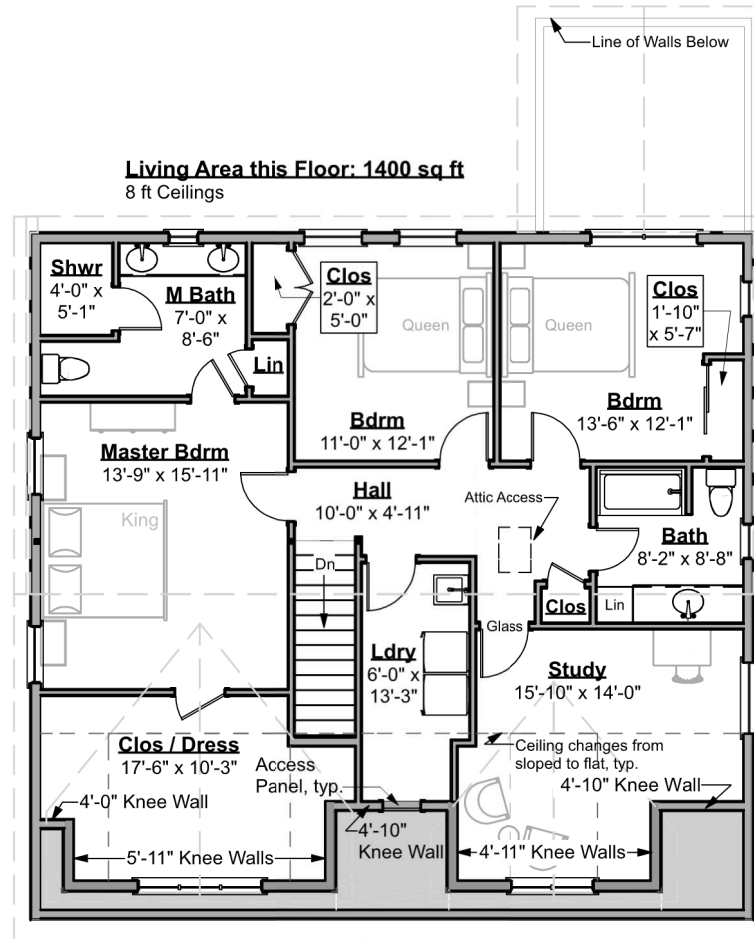
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Second Floor Plan

Scale: 3/32" = 1'-0"

Sweet Cherry Peekaboo

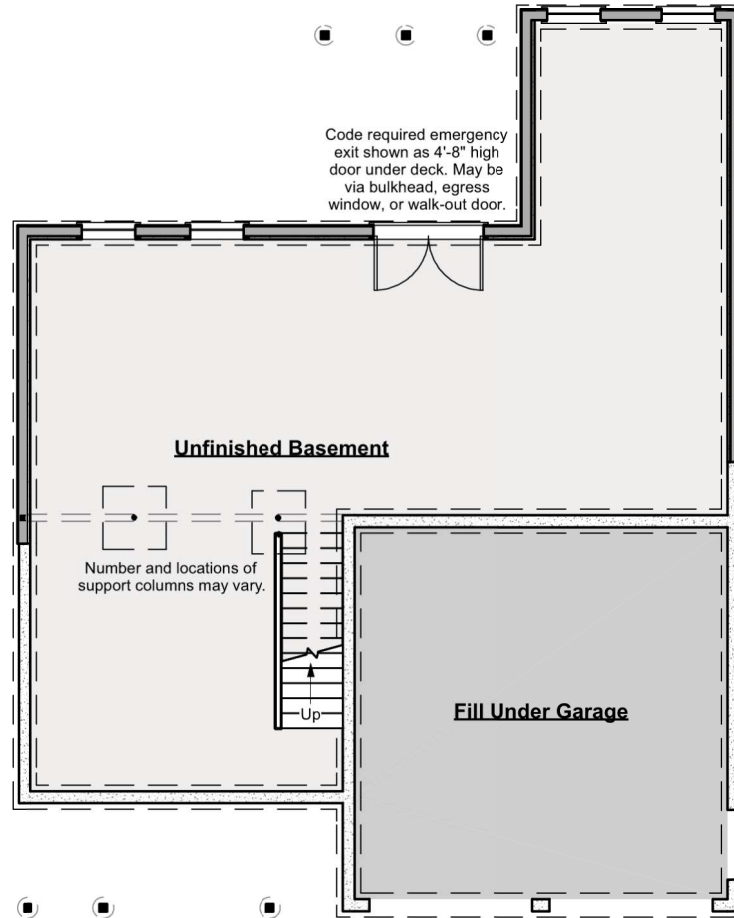
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Foundation Plan
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Front Elevation

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Right Elevation
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Rear Elevation
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Sweet Cherry Peekaboo

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Left Elevation
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