

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

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March 30, 2022

HAND DELIVERED

Peter Stith, Principal Planner
Portsmouth City Hall
1 Junkins Avenue
Portsmouth, NH 03801

Re: Mark Griffin, Owner/Applicant
728 State Street
Tax Map 137/Lot 10
General Residence C District

Dear Mr. Stith & Zoning Board Members:

On behalf of Mark Griffin ("Griffin"), enclosed please find the following in support of a request for zoning relief:

- Digital Application submitted via Viewpoint this morning.
- Owner's Authorization.
- 3/30/2022 – Memorandum and exhibits in support of Variance Application

We look forward to presenting this application to the Zoning Board at its April 19, 2022 meeting.

Very truly yours,



R. Timothy Phoenix
Stephanie J. Johnson

Encl.

cc: Mark Griffin
Attar Engineering, Inc.
Reflective Designworks

DANIEL C. HOEFLE	R. PETER TAYLOR	MONICA F. KIESER	AMANDA M. FREDERICK
R. TIMOTHY PHOENIX	KIMBERLY J.H. MEMMESHEIMER	SAMUEL HARKINSON	OF COUNSEL:
LAWRENCE B. GORMLEY	KEVIN M. BAUM	JACOB J.B. MARVELLEY	SAMUEL R. REID
STEPHEN H. ROBERTS	GREGORY D. ROBBINS	DUNCAN A. EDGAR	JOHN AHLGREN

OWNER'S AUTHORIZATION

I, Mark Griffin, Owner/Applicant of 728 State Street, Tax Map 137, Lot 10, hereby authorize law firm Hoefle, Phoenix, Gormley & Roberts, PLLC to represent me before the City of Portsmouth Zoning Board of Adjustment for permitting the project.

Respectfully submitted,

By:


Mark Griffin

MEMORANDUM

TO: Portsmouth Zoning Board of Adjustment (“ZBA”)
FROM: R. Timothy Phoenix, Esquire
Stephanie J. Johnson, Esquire
DATE: March 30, 2022
Re: Mark Griffin, Owner/Applicant
Property Location: 728 State Street
Tax Map 137, Lot 10
Zoning District General Residence C (“GRC”)

Dear Chairman Parrott and Zoning Board Members:

On behalf of Mark Griffin, Owner/Applicant (“Griffin”), we are pleased to submit this memorandum and attached exhibits in support of Zoning Relief to allow replacement of a non-conforming detached garage at 728 State Street, to be considered by the Portsmouth Zoning Board of Adjustment (“ZBA”) at its April 19, 2022 meeting.

I. EXHIBITS

- A. Site Plan Set – issued by Attar Engineering, Inc.
 - Existing Conditions Survey
 - Site Plan
 - Foundation/Framing Plan
- B. Architectural Plans – issued by Reflective Designworks.
 - Perspective
 - Existing Elevations
 - Proposed Elevations
 - Sections
 - Volume Study
- C. Site Photographs.
- D. Tax Map 137.

II. PROPERTY/PROJECT

728 State Street is a 4,021 s.f. corner lot with frontage on three streets located in a thickly settled neighborhood. The lot contains 45.70 ft. of frontage on State Street (principal front) tapering to 32.80 ft. at Chatham Street. Upon the lot is a three-unit residential condominium occupying 1,585 s.f. as well as an 892 s.f. detached, three-stall, gabled-roof garage and workroom with a volume of 13,463 cu. ft. (the “Property”). The existing garage is over the Chatham Street lot line at the southeast corner and encroaches on the Winter and Chatham Street secondary front setback. It also is within 1.19’ of the side lot line where 10 ft. is required.

Griffin plans to demolish the existing garage and rebuild a new, slightly smaller, 872 s.f. garage entirely on the lot with slightly improved setbacks (the “Project”). The design incorporates an eyebrow gable, which reduces volume to 11,938 cu. ft. Relief is required only because the proposed structure, while smaller in area and volume, does not conform to current setback and building coverage requirements. The new garage is nonetheless consistent with the neighborhood which includes several small lots with nonconforming accessory buildings. **(Exhibit C & D)**. Applicant’s proposal is therefore reasonable and consistent with other properties in the surrounding area.

III. RELIEF REQUIRED

<u>Variance Section</u>	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
<u>PZO §10.335</u> <u>Reconstruction of</u> <u>Nonconforming</u> <u>Structure</u>	Conform	Garage does not conform to yard requirements or building coverage	Replacement garage with smaller area, less volume as indicated below
<u>PZO §10.571</u> <u>Accessory Buildings,</u> <u>Structures, and Uses</u>	Not in front yard Not closer than principal building	See below	See below
<u>PZO §10.573.20</u> <u>Setback for Accessory</u> <u>Structure</u> ¹	5’ secondary front	3.68’ (Winter St.) 0.23’ (Winter St.) 0.14’ (Chatham St.) -0.06’ (Chatham St.)	3.69’ (Winter St.) 0.51’ (Winter St.) 0.14’ (Chatham St.) 0.04’ (Chatham St.)
	10’ side	1.38’ 1.19’	1.56’ 1.23’
<u>PZO §10.521 Table of</u> <u>Dimensional Standards</u> <u>– Residential and Mixed</u> <u>Residential Districts</u>	35% Building Coverage	61.60%	Slight decrease to 61.10%

¹ An accessory structure greater than 10 ft. in height must be set back the height of the structure or the applicable yard requirement, whichever is less.

IV. VARIANCE REQUIREMENTS

1. The variances will not be contrary to the public interest.
2. The spirit of the ordinance is observed.

The first step in the ZBA's analysis is to determine whether granting the variances are not contrary to the public interest and are consistent with the spirit and intent of the ordinance, considered together pursuant to Malachy Glen Associates, Inc. v. Town of Chichester, 155 N.H. 102 (2007) and its progeny. Upon examination, it must be determined whether granting the variances "would unduly and to a marked degree conflict with the ordinance such that it violates the ordinance's basic zoning objectives." Id. "Mere conflict with the zoning ordinance is not enough." Id.

Portsmouth Zoning Ordinance ("PZO") Section 10.121 identifies the general purposes and intent of the ordinance "to promote the health, safety, and general welfare of Portsmouth...in accordance with the...Master Plan" This is accomplished by regulating:

1. The use of land, buildings and structures for business, industrial, residential and other purposes – The intended use of the property is and will remain residential. The requested relief will allow a slightly smaller garage in the same location as the present garage.
2. The intensity of land use, including lot sizes, building coverage, building height and bulk, yards and open space – The lot is comparable in size to others in the area and the intensity of use will not change, as a smaller garage is proposed. The proposed garage is smaller in area and volume and will be moved entirely onto the lot. The replacement garage is less non-conforming, as it will reduce building coverage on the lot and create slightly more open space. The decreased volume will also improve access to air and light for abutting owners.
3. The design of facilities for vehicular access, circulation, parking and loading – The location of the garage will remain nearly the same, ensuring a straight route to the street, eliminating the need for turning radius and additional impervious surfaces.
4. The impact on properties on of outdoor lighting, noise, vibration, stormwater runoff and flooding – The proposal replaces an existing garage with one smaller in area and volume with slightly improved setbacks and slightly reduced building coverage. There will be no increase in noise or lighting and no change to existing stormwater management. The existing garage incorporates gutters to direct stormwater and the proposed garage will also utilize gutters so there will be no increase in stormwater over existing conditions.
5. The preservation and enhancement of the visual environment – The replacement of the deteriorating garage with one smaller in volume will improve the visual environment over existing conditions.
6. The preservation of historic districts and building and structures of historic architectural interest – The Property is not in the Historic Overlay District.

7. The protection of natural resources, including groundwater, surface water, wetlands, wildlife habitat and air quality – Granting the variances will not undermine these purposes of the Ordinance where no wetlands exist near the Project, building coverage does not increase and open space remains compliant at 38.90%.

The intent of the GRC Zone is to “provide areas for single-family, two family and multifamily dwellings, with appropriate accessory uses, at moderate to high densities (ranging from approximately 5 to 12 dwelling units per acre), together with appropriate accessory uses and limited services.” PZO §10.410 (emphasis added). The Property, like many in the neighborhood, contains a home and accessory building which do not comply with front and side setbacks. **(Exhibit C & D)**. The proposal meets the intent of the GRC Zone because it allows for reconstruction of the accessory structure with a slight decrease in area and volume, and does not change the intensity of the use. Given these factors, granting the requested variances will not conflict with the basic zoning objectives of the PZO.

In considering whether variances “in a marked degree conflict with the ordinance such that they violate the ordinance’s basic zoning objectives,” Malachy Glen, supra, also held:

One way to ascertain whether granting the variance would violate basic zoning objectives is to determine whether it would alter the essential character of the locality... . Another approach to [determine] whether granting the variance violates basic zoning objectives is to examine whether granting the variance would threaten the public health, safety or welfare. (emphasis added)

There are numerous other properties in the immediate area that are similarly sized and include an accessory structure encroaching on front, side, or rear setbacks. **(Exhibits C & D)**. The garage will essentially remain in the same location, shifted entirely onto the lot with a lower volume design, thus improving over existing conditions. Given the number of accessory buildings within side or rear setbacks, the proposal is in keeping with the surrounding area. Granting the variances neither alters the essential character of the locality nor threatens the public health, safety, or welfare. Accordingly, granting the variances to allow replacement of an existing garage with a smaller, less non-conforming garage is not contrary to the public interest and observe the spirit of the ordinance.

3. Granting the variances will not diminish surrounding property values.

The Project removes a deteriorating garage and replaces it with a new garage containing 1,525 cubic ft. less volume than the existing structure, thus improving the value of the Property

and improving access to air and light for abutting properties. The use of the accessory structure and its impacts will be match existing conditions. Accordingly, the variances will not diminish surrounding property values.

4. Denial of the variances results in an unnecessary hardship.

a. Special conditions distinguish the property from others in the area.

The Property contains three condominium units and a garage for unit owners on a very small 4,021 s.f. lot. The lot's tapering shape results in a narrow section where the existing three-car garage is located. The home and garage do not conform to front and/or side yard requirements, yet drive the location of a proposed replacement garage. These circumstances combine to create special conditions

b. No fair and substantial relationship exists between the general public purposes of the ordinance and its specific application in this instance.

The purpose of setbacks and nonconforming expansions is to prevent overcrowding and overburdening of land, improve sightlines for pedestrians and motorists, ensure adequate light and air circulation, and provide sufficient area for stormwater treatment. The Project moves the new garage entirely onto the lot, The existing home and garage do not conform to front and/or side yard requirements. the existing landscaped area and avoids the construction of a driveway that would increase impervious surfaces. Reconstructing the garage will not increase or change existing stormwater management. The slightly smaller garage will improve yard setbacks and its lower volume design will improve abutters access to air and light over existing conditions. Accordingly, there is no fair and substantial relationship between the purposes of the ordinance and its application in this instance.

c. The proposed use is reasonable.

If the use is permitted, it is deemed reasonable. Vigean v. Hudson, 151 N.H. 747 (2005). Residential use is permitted in the GRC Zone and includes accessory buildings incidental to the permitted use. The proposed garage is reasonably sized, smaller and less non-conforming than the previous structure, and results in a more functional space.

5. Substantial justice will be done by granting the variances.

If "there is no benefit to the public that would outweigh the hardship to the applicant" this factor is satisfied. Harborside Associates, L.P. v. Parade Residence Hotel, LLC, 162 N.H. 508

(2011). That is, “any loss to the [applicant] that is not outweighed by a gain to the general public is an injustice.” Malachy Glen, supra at 109.

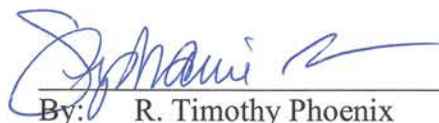
Griffin is constitutionally entitled to the use of the lot as he sees fit; including the reconstruction of an existing garage, subject only to its effect of the reconstructed garage on the dimensional requirements. “The right to use and enjoy one's property is a fundamental right protected by both the State and Federal Constitutions.” N.H. CONST. pt. I, arts. 2, 12; U.S. CONST. amends. V, XIV; Town of Chesterfield v. Brooks, 126 N.H. 64 (1985) at 68. Part I, Article 12 of the New Hampshire Constitution provides in part that “no part of a man's property shall be taken from him, or applied to public uses, without his own consent, or that of the representative body of the people.” Thus, our State Constitutional protections limit the police power of the State and its municipalities in their regulation of the use of property. L. Grossman & Sons, Inc. v. Town of Gilford, 118 N.H. 480, 482 (1978). “Property” in the constitutional sense has been interpreted to mean not the tangible property itself, *but rather the right to possess, use, enjoy and dispose of it*. Burrows v. City of Keene, 121 N.H. 590, 597 (1981) (emphasis added).

The requested variances allow for a smaller, less non-conforming garage to be constructed than exists today. The Project retains the same use while slightly improving upon existing setbacks and building coverage, so there is no harm to the public in granting the variances. Conversely, Griffin will be greatly harmed by denial of any of the variances because he will be unable to have a more functional garage. Without question, substantial justice will be done by granting the variances.

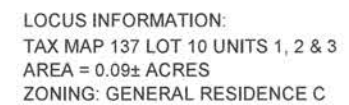
VI. CONCLUSION

For all of the reasons stated, Mark Griffin respectfully requests that the Portsmouth Zoning Board of Adjustment grant the requested variances.

Respectfully submitted,
Mark Griffin



By: R. Timothy Phoenix
Stephanie J. Johnson



LEGEND

REBAR FOUND
REBAR SET
DRILL HOLE FOUND
UTILITY POLE
SEWER MANHOLE
CATCH BASIN
STOCKADE FENCE

LANDSCAPED AREA

1) "EXISTING CONDITIONS SURVEY - LAND OF MARK GRIFFIN - LOCATED AT 728 STATE STREET - PORTSMOUTH, ROCKINGHAM COUNTY, NH" PREPARED BY ATTAR ENGINEERING, INC., ELIOT, ME. DATED 3/28/22.

REFERENCE: PORTSMOUTH ZONING ORDINANCE, CURRENT EDITION (PZO)

PZO 10.410 – PROPERTY LOCATED IN THE GENERAL RESIDENCE C (GRC) ZONING DISTRICT.

PZO 10.521 – MINIMUM YARD DIMENSIONS 5' PRIMARY FRONT, 5' SECONDARY FRONT, 10' SIDE

PZO 10.521 – MAXIMUM BUILDING COVERAGE 35%

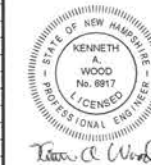
PZO 10.521 – MINIMUM OPEN SPACE 20%

PZO 10.1530 – DEFINITIONS

- BUILDING COVERAGE IS DEFINED AS:
THE AGGREGATE HORIZONTAL AREA OR PERCENTAGE (DEPENDING ON CONTEXT) OF A LOT OR DEVELOPMENT SITE COVERED BY ALL BUILDINGS AND STRUCTURES ON THE LOT, EXCLUDING
(A) GUTTERS, CORNICES AND EAVES PROJECTING NOT MORE THAN 30 INCHES FROM A VERTICAL WALL, AND
(B) STRUCTURES LESS THAN 18 INCHES ABOVE GROUND LEVEL (SUCH AS DECKS AND PATIOS);
(C) BALCONIES, BAY WINDOWS OR AWNINGS PROJECTING NOT MORE THAN 2 FEET FROM A VERTICAL WALL, NOT EXCEEDING 4 FEET IN WIDTH, AND CUMULATIVELY NOT EXCEEDING 50% OF THE WIDTH OF THE BUILDING FACE;
(D) FENCES; AND
(E) MECHANICAL SYSTEM (I.E. HVAC, POWER GENERATOR, ETC.) THAT IS LESS THAN .36 INCHES ABOVE THE GROUND LEVEL WITH A MOUNTING PAD NOT EXCEEDING 10 SQUARE FEET.
- OPEN SPACE IS DEFINED AS:
LAND AREA VERTICALLY OPEN TO THE SKY, FREE OF ALL STRUCTURES, PARKING AREA/LOTS, DRIVEWAYS AND OTHER USES WHICH PRECLUDE ATTRACTIVE LANDSCAPING IN SUCH AREA. OPEN SPACE SHALL BE PREDOMINANTLY PERVIOUS, MAY BE LANDSCAPED WITH LAWN, TREES, SHRUBS OR OTHER PLANTING, AND MAY INCLUDE WALKS AND TERRACES. FOR THE PURPOSES OF THIS DEFINITION, WATER AREAS ARE CONSIDERED TO CONSTITUTE OPEN SPACE.
- OPEN SPACE COVERAGE IS DEFINED AS:
THE AGGREGATE HORIZONTAL AREA OR PERCENTAGE (DEPENDING ON CONTEXT) OF A LOT OR DEVELOPMENT SITE COVERED BY OPEN SPACE.



A.		
NO.	DESCRIPTION REVISIONS	DATE



<p align="center">SITE PLAN LAND OF MARK GRIFFIN LOCATED AT 728 STATE STREET PORTSMOUTH, ROCKINGHAM COUNTY, NH</p>		
<p>FOR:</p>	<p align="center">MR. MARK GRIFFIN 728 STATE STREET PORTSMOUTH, NH 03801</p>	
	<p align="center">ATTAR ENGINEERING, INC. CIVIL ♦ STRUCTURAL ♦ MARINE ♦ SURVEYING 1284 STATE ROAD — ELIOT, MAINE 03903 PHONE: (207)439-6023 FAX: (207)439-2128</p>	
<p>SCALE: 1"=10'</p>	<p>APPROVED BY:</p>	<p>DRAWN BY: CBW</p>
<p>DATE: 3/28/22</p>		<p>REVISION: DATE: — : —</p>
<p>JOB FILE: C246-21</p>	<p>FILE: ATTAR 728 STATE STREET_SITE</p>	<p>SHEET 1 OF 1</p>



1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO (CURRENT EDITIONS IF NOT NOTED):
- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
ANSI/ASCE 7
- ANY DISCREPANCIES BETWEEN THE ABOVE LISTED CODES AND THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
2. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.
3. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.
4. ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR (G.C.) AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF WORK.
5. UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
6. THESE DRAWINGS DO NOT SHOW SIZE, LOCATION, OR TYPE OF OPENINGS IN THE FOUNDATION SYSTEM FOR ELECTRICAL, PLUMBING, OR MECHANICAL EQUIPMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING OF THESE ITEMS.
7. ALL SHOP DRAWINGS PROVIDED BY OTHERS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO THE FABRICATION OF MATERIAL OR THE PURCHASE OF NON-RETURNABLE STOCK. QUANTITY AND DIMENSIONAL REVIEW IS THE CONTRACTOR'S RESPONSIBILITY.
8. ANY AND ALL TEMPORARY BRACING OR SHORING WHICH IS NEEDED TO HOLD THE STRUCTURE IN A SAFE AND STABLE POSITION UNTIL THE BUILDING IS COMPLETE, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONSULT INDEPENDENT ENGINEER IF DESIGN ASSISTANCE OR REVIEW IS NEEDED.
9. THIS FOUNDATION PLAN IS BASED ON MODULAR HOME PLANS PREPARED BY EXCEL HOMES (PROJECT: 43369-CUSTOM RANCH AND ARCHITECTURAL PLANS PREPARED BY REFLECTIVE DESIGNWORKS,

FOUNDATION NOTES

1. A MAXIMUM ALLOWABLE SOIL PRESSURE OF 2,000 PSF WAS USED FOR THE DESIGN OF NEW FOOTINGS SHOWN ON THIS PLAN.
2. BACKFILL FOR FOOTINGS AND WALLS SHALL BE COMPACTED, FREE DRAINING, GRANULAR MATERIAL.
3. FOOTINGS SHALL BE PLACED ON NATURAL UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL. LEDGE, LARGE ROCKS AND SOFT AREAS OR UNDESIRABLE MATERIAL BELOW FOOTINGS SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL. STRUCTURAL FILL SHALL BE PLACED TO A MINIMUM OF 2' OF STRUCTURAL FILL. SLABS SHALL BE PLACED ON A MINIMUM OF 12" OF STRUCTURAL FILL.
4. STRUCTURAL FILL SHALL BE PLACED IN 6 INCH LIFTS AND COMPACTED TO A MINIMUM 95% MODIFIED PROCTOR PER ASTM D1557. STRUCTURAL FILL SHALL BE A CLEAN, WELL GRADED SAND AND GRAVEL MIXTURE MEETING THE FOLLOWING GRADATION:

SCREEN OR SIEVE SIZE	PERCENT PASSING
6 INCHES	100
3 INCHES	70 - 100
NO. 4	35 - 70
NO. 40	5 - 35
NO. 200	0 - 5

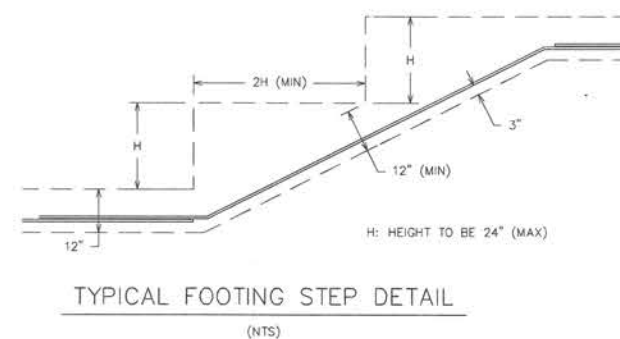
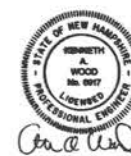
5. FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND AND AND EXCAVATIONS SHALL BE FREE OF WATER.

CONCRETE NOTES

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318.
2. FOOTING AND FROST WALL CONCRETE IS TO HAVE A 28 DAY COMPRESSIVE STRENGTH OF ,3000 PSI (MINIMUM). INTERIOR FLOOR SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI (MINIMUM). EXTERIOR SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI (MINIMUM).
3. CONCRETE IS TO BE PROTECTED FROM FREEZING AND PLACED ABOVE 40 DEGREES (F) FOR A MINIMUM OF 72 HOURS.
4. ALL CURED CONCRETE EXPOSED TO WEATHER WILL HAVE 5% TO 7% AIR ENTRAINING AGENTS.
5. NEW BILLET STEEL ASTM A615 GRADE 60 SHALL BE USED FOR ALL REINFORCING BARS.
6. THE PLACEMENT OF ALL REINFORCING BARS AND DETAILING SHALL BE FOUND IN THE LATEST ACI PUBLICATION.
7. ACCESSORIES SHALL BE PROVIDED TO SUPPORT REINFORCING BARS AT PLACEMENTS SHOWN IN THE DRAWINGS.
8. REINFORCING BARS SHALL HAVE MINIMUM COVER AS FOLLOWS:
CONCRETE CAST AGAINST EARTH: 3"
CONCRETE EXPOSED TO EARTH OR WEATHER: 2"
INTERIOR CONCRETE: 1 1/2"
9. ALL CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4 INCHES.

SLAB NOTES

1. FLOOR SLABS SHALL BE 4" THICK (FINISH BY OWNER). 1 1/2" DEEP HORIZONTAL CRACK CONTROL JOINTS, EITHER PREMOLED OR SAW CUT, ON A 15' x 15' GRID, SHALL BE PLACED IN THE FLOOR SLAB.
2. A MINIMUM OF 12 INCHES OF STRUCTURAL FILL SHALL BE PLACED DIRECTLY BELOW THE FLOOR SLAB.
3. A VAPOR RETARDER SHALL BE PLACED BENEATH INTERIOR SLABS.
4. EXTERIORS SLABS SHALL HAVE 5% TO 7% AIR ENTRAINING AGENTS.
5. SLABS SHALL BE REINFORCED WITH #6 X W14XW14 WELDED WIRE, CONFORMING TO THE REQUIREMENTS OF ASTM A185. AS AN ALTERNATIVE, SLABS MAY BE REINFORCED WITH SYNTHETIC FIBER MESH, IN CONFORMANCE WITH THE REQUIREMENTS OF ASTM C116/C116M.

[illegible]

FOUNDATION/FRAMING PLAN

RESIDENTIAL GARAGE
728 STATE STREET
PORTSMOUTH, NH

FOR:	MR. MARK GRIFFIN 728 STATE STREET PORTSMOUTH, NH 03801
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ATTAR ENGINEERING, INC.

CIVIL ♦ STRUCTURAL ♦ MARINE ♦ SURVEYING
1284 STATE ROAD - ELIOT, MAINE 03903
PHONE: (207)439-6023 FAX: (207)439-2128

SCALE:	APPROVED BY:	DRAWN BY:
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AS NOTED	CLS
DATE:	REVISION : DATE

DATE: 9/24/21		REVISION : DATE - : -
JOB NO: C246-21	CAD FILE: STATE 728 S	SHEET 1 OF 1

Proposed Structure



Exhibit B

chris@rlkt.co
802 999 1641

Reflective
Designworks

728 State St
Portsmouth, NH

Griffin Proposed Garage

Perspective

By: Chris Kiper

21 OCT 2021

Existing Structure To Be Demolished And Replaced



View from main house on State Street



View from Winter Street



View from Chatham Street

Paved street / sidewalk pitches down from right of photo to left of photo



View from Chatham Street

chris@rldt.co
802 999 1641

 Reflective
Designworks

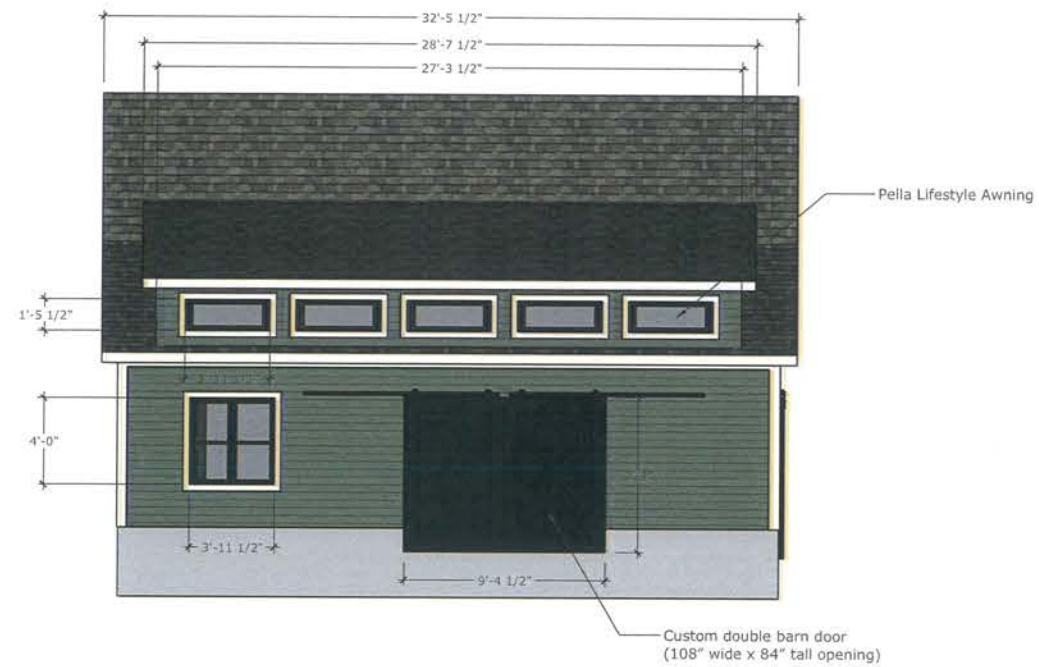
728 State St
Portsmouth, NH

Griffin Proposed Garage

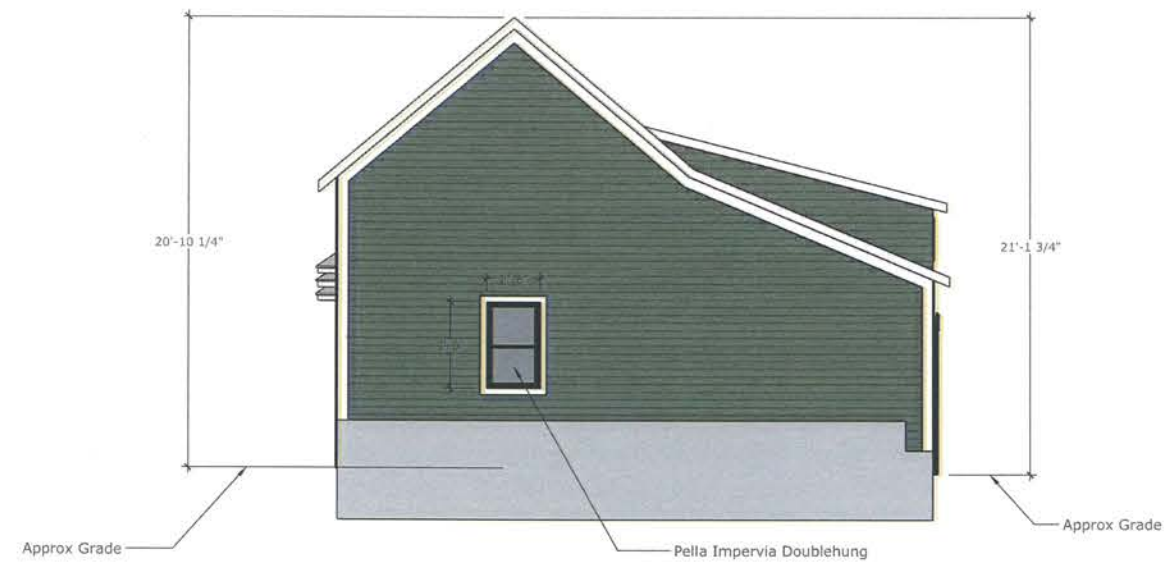
Existing

By: Chris Kiper

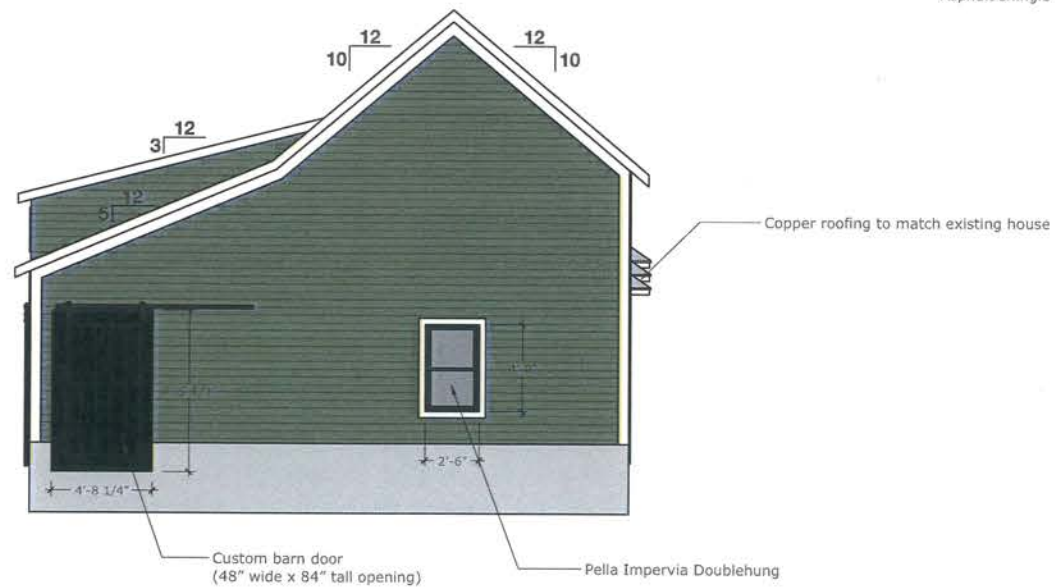
21 OCT 2021



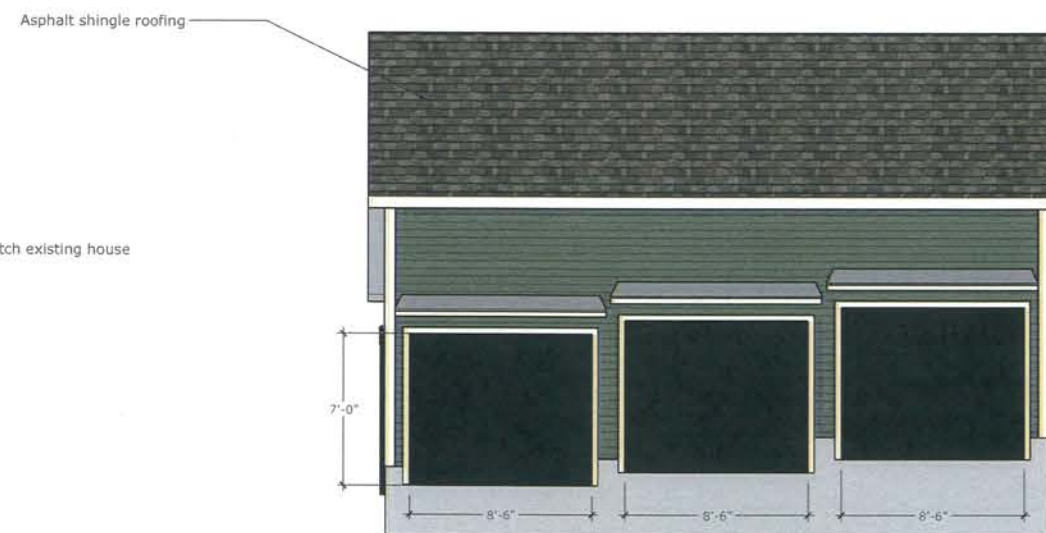
Northwest Elevation
Scale 1/4" = 1'-0"



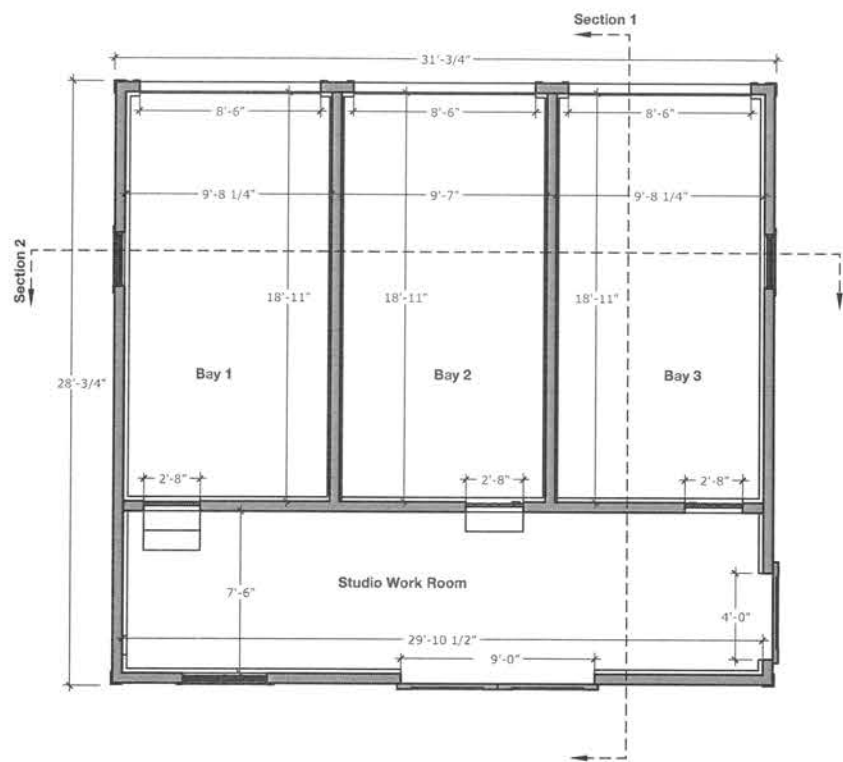
Northeast Elevation
Scale 1/4" = 1'-0"



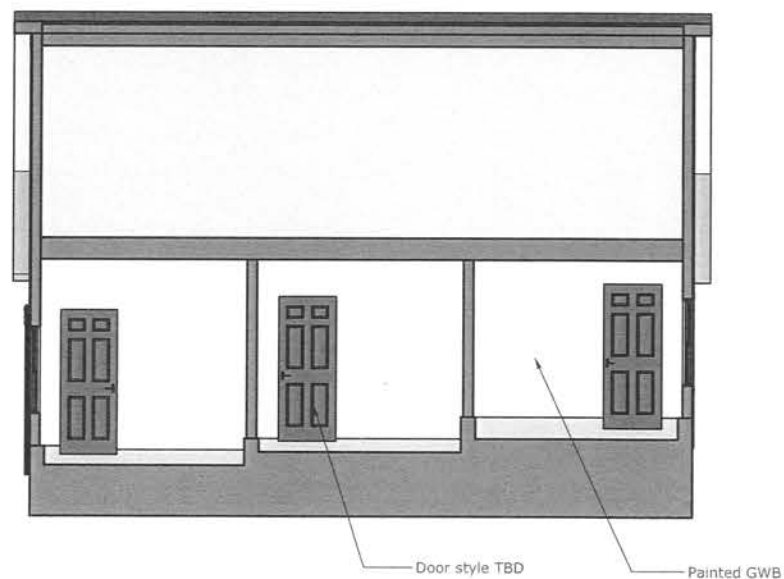
Southwest Elevation
Scale 1/4" = 1'-0"



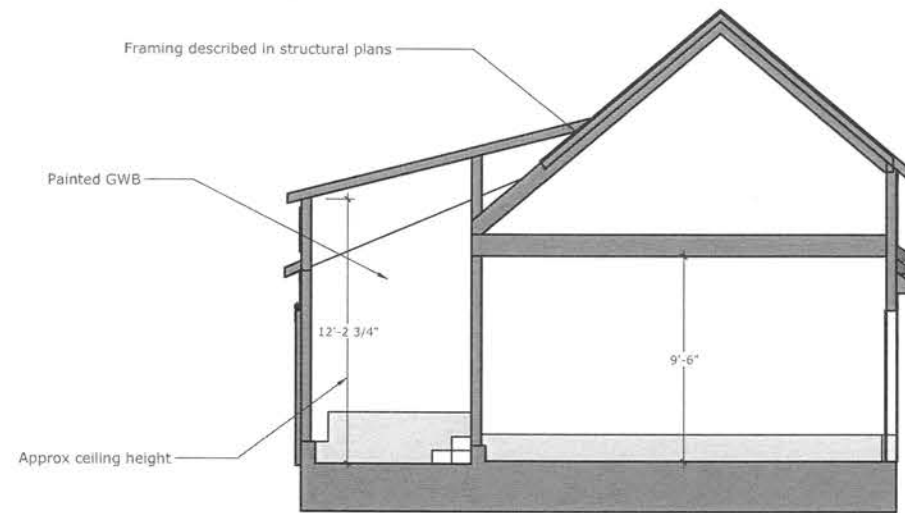
Southeast Elevation
Scale 1/4" = 1'-0"



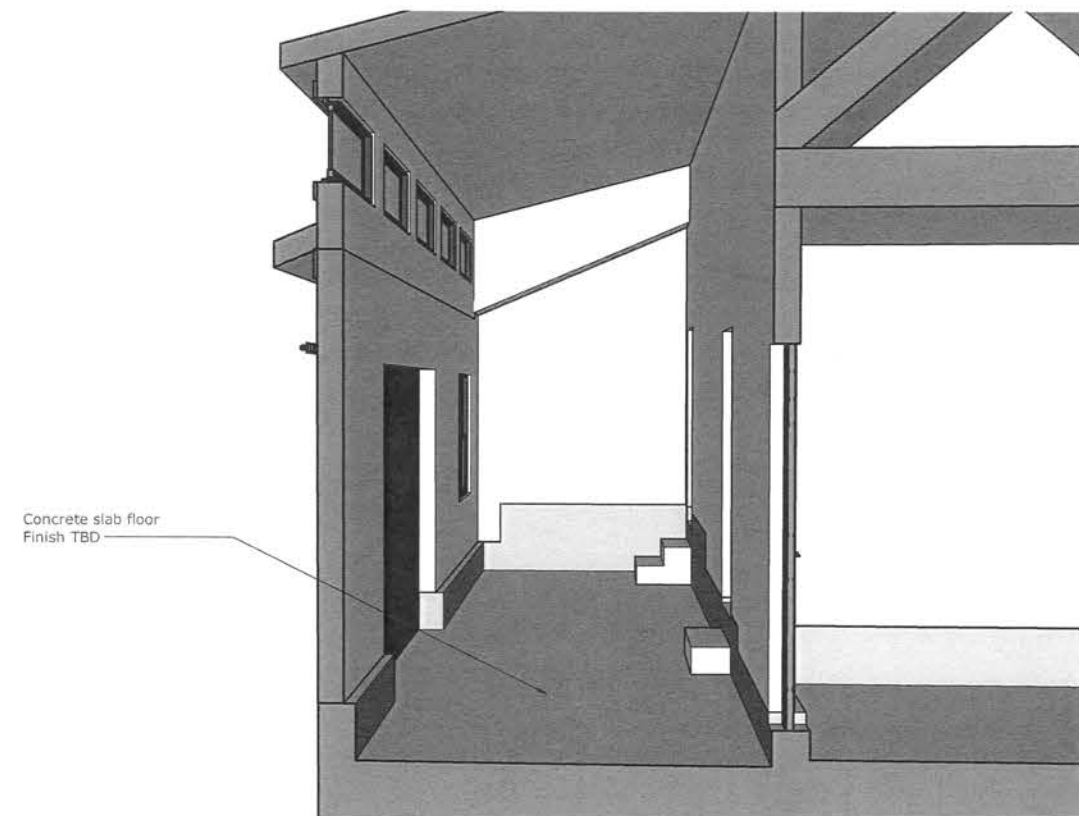
Floor Plan
Scale 1/4" = 1'-0"



Section 2
Scale 1/4" = 1'-0"



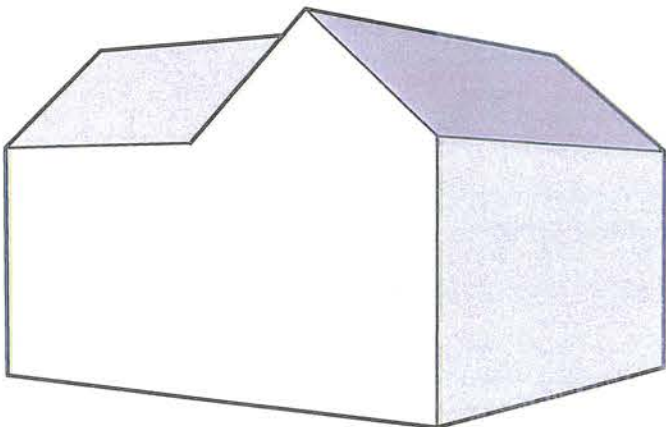
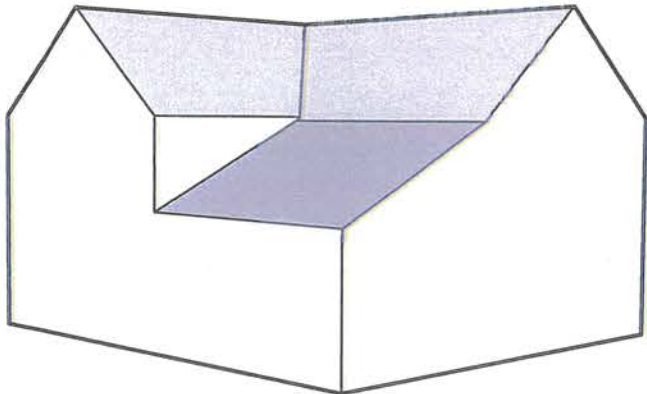
Section 1
Scale 1/4" = 1'-0"



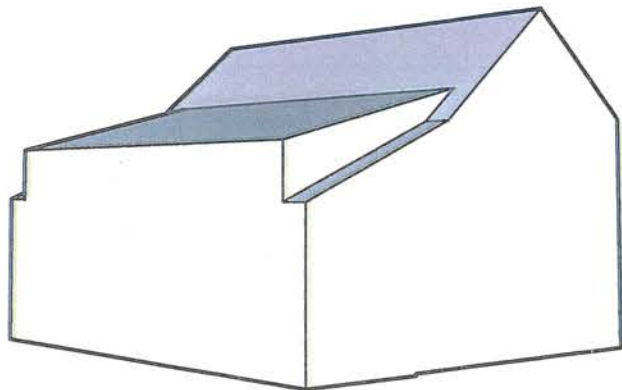
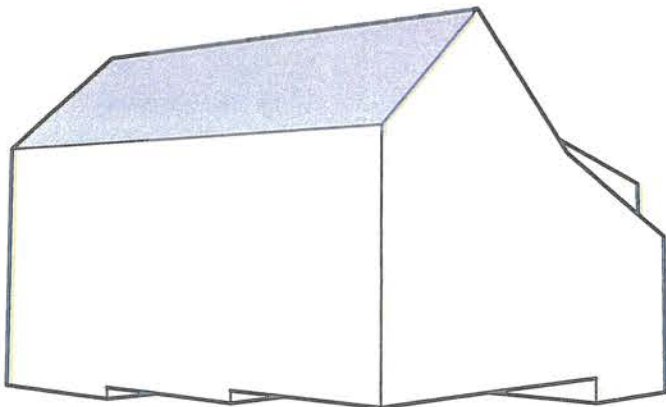
Interior Perspective "Studio/Work Room"

728 STATE STREET VOLUME STUDY

EXISTING STRUCTURE
VOLUME = 13,463 CUBIC FEET



PROPOSED STRUCTURE
VOLUME = 11,938 CUBIC FT



3/29/22, 3:00 PM

728 State Street - Google Maps

Google Maps 728 State Street



Imagery ©2022 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2022 50 ft

Exhibit C

3/29/22, 2:28 PM

Portsmouth, New Hampshire - Google Maps

Google Maps Portsmouth, New Hampshire



Image capture: Oct 2008 © 2022 Google

3/29/22, 2:23 PM

62 Winter St - Google Maps

Google Maps 62 Winter St



Image capture: Oct 2008 © 2022 Google

3/29/22, 2:24 PM

40 Winter St - Google Maps

Google Maps 40 Winter St



Image capture: Sep 2017 © 2022 Google

3/29/22, 2:27 PM

9 Chatham St - Google Maps

Google Maps 9 Chatham St

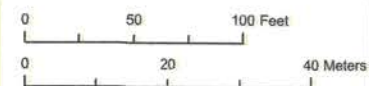


Image capture: Sep 2017 © 2022 Google



- Partial Legend**
See the cover sheet for the complete legend.
- 7-5A Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
 - Address number
 - 233-137 Parcel number from a neighboring map
 - or Parcel line dimension
 - SIMS AVE Street name
 - Parcel/Parcel boundary
 - Parcel/ROW boundary
 - Water boundary
 - Structure (1994 data)
 - Parcel covered by this map
 - Parcel from a neighboring map (see other map for current status)

Exhibit D



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.

