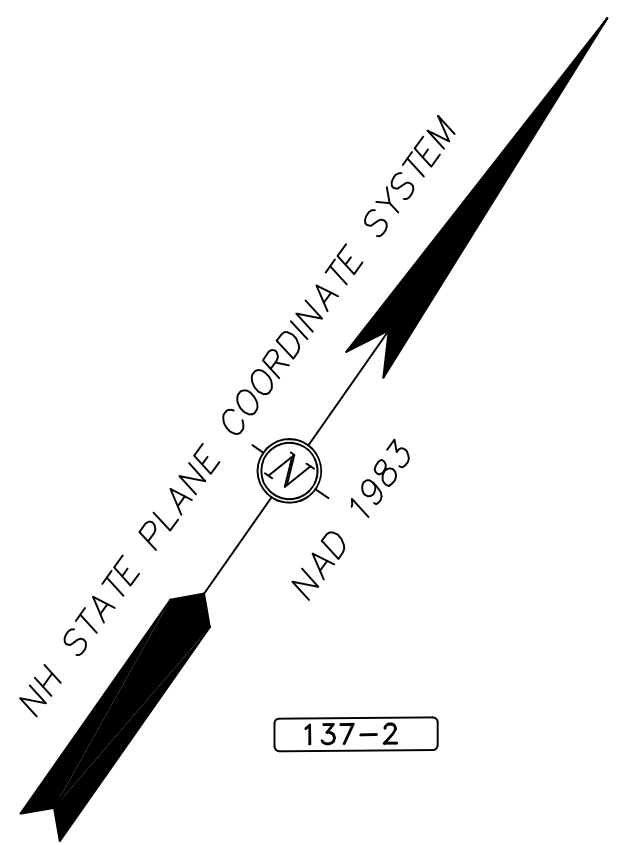
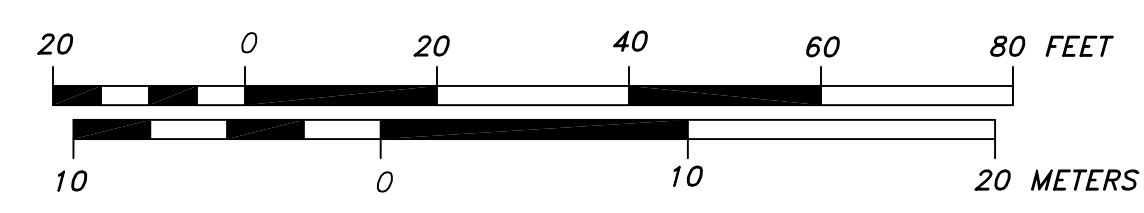


NOTES:

- OWNER OF RECORD.....ROMAN CATHOLIC BISHOP OF MANCHESTER ADDRESS.....153 ASH STREET, MANCHESTER, NH 03104 DEED REFERENCE.....455/230, 494/466, 502/49, 554/298, 722/246, 1145/78, 1697/81 TAX SHEET / LOT.....137-01 PARCEL AREA.....56,078 S.F. 1.29 ACRES
- ZONED.....GENERAL RESIDENCE C FRONT YARD SETBACK.....5' MINIMUM LOT AREA..3,500 S.F. SIDE YARD SETBACK.....10' FRONTAGE.....70' REAR YARD SETBACK.....20'
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT. VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ROBE"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC..
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREAS OUTSIDE THE 0.2% ANNUAL CHANGE FLOODPLAIN) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0295E, EFFECTIVE DATE MAY 17, 2005 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- DESCRIPTIONS OF THE SITE BENCHMARKS:
TBM "A": MARKED X TOP FLANGE BOLT ON HYDRANT ELEVATION=32.78
TBM "B": MARKED X TOP FLANGE BOLT ON HYDRANT ELEVATION=29.24
TBM "C": SURVEY NAIL SET IN UTILITY POLE #PSNH 48/3 1.0' ABOVE GRADE ELEV=30.39
TBM "D": SURVEY NAIL SET IN UTILITY POLE #PSNH 47/4 1.0' ABOVE GRADE ELEV=31.79
- THE LOCATION OF WATER, SEWER AND DRAIN LINES OUTSIDE THE BUILDINGS COULD NOT BE DETERMINED.
- LOCATION & DIRECTION OF SEWER AS IT PENETRATES CONCRETE FLOOR. FINAL EXIT LOCATION COULD NOT BE DETERMINED.



- LEGEND:**
- IRON ROD (AS NOTED)
 - △ SURVEY NAIL (AS NOTED)
 - CHAIN LINK FENCE
 - WOOD FENCE
 - CEMENT CONCRETE PAD
 - BRICK PAVERS/WALLS
 - RIP RAP
 - CONCRETE RETAINING WALL
 - CONCRETE PAVERS
 - UTILITY POLE
 - ☆ UTILITY POLE W/TRANSFORMER
 - GUY
 - OHW— OVERHEAD WIRES
 - OHE— OVERHEAD ELECTRIC
 - OHC— OVERHEAD COMMUNICATION WIRES
 - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - 137-01 TAX SHEET / LOT NO.
 - EOP EDGE OF PAVEMENT
 - LA LANDSCAPED AREA
 - CATCH BASIN
 - CATCH BASIN
 - MONITORING WELL
 - SEWER CLEANOUT
 - TELEPHONE MANHOLE
 - SEWER MANHOLE
 - SEWER CLEAN OUT
 - W— WATER LINE
 - S— SEWER LINE
 - D— DRAIN LINE
 - G— GAS LINE
 - WATER GATE VALVE
 - WATER SHUT OFF VALVE
 - HYDRANT
 - SGC SLOPED FACED GRANITE CURB
 - VGC VERTICAL FACED GRANITE CURB
 - RWW WOOD RETAINING WALL
 - RWG GRANITE RETAINING WALL
 - PSNH PUBLIC SERVICE CO. OF NH
 - EVS EVERSOURCE
 - PP/PL PLASTIC GAS LINE
 - GAS METER
 - LIGHT POLE
 - HANDICAP SPACE
 - DECIDUOUS TREE
 - CONIFEROUS SHRUB



ENGINEER:

 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com

SURVEYOR:
 & James Verra Associates, Inc.
 LAND SURVEYORS
 101 SHATTUCK WAY - SUITE 8
 NEWINGTON, N.H. 03801-7876
 603-436-3557
 JOB NO: 23799

ISSUED FOR: APPLICATION

ISSUE DATE: PRELIMINARY

NO.	DESCRIPTION	BY	DATE
0	APPLICATION	JVA	

DRAWN BY: GTD
 APPROVED BY:
 DRAWING FILE: 23799.DWG

SCALE:
 22" x 34" - 1" = 20'
 11" x 17" - 1" = 40'

APPLICANT:
 CORPUS CHRISTI PARISH
 125 AUSTIN STREET
 PORTSMOUTH, NH 03801

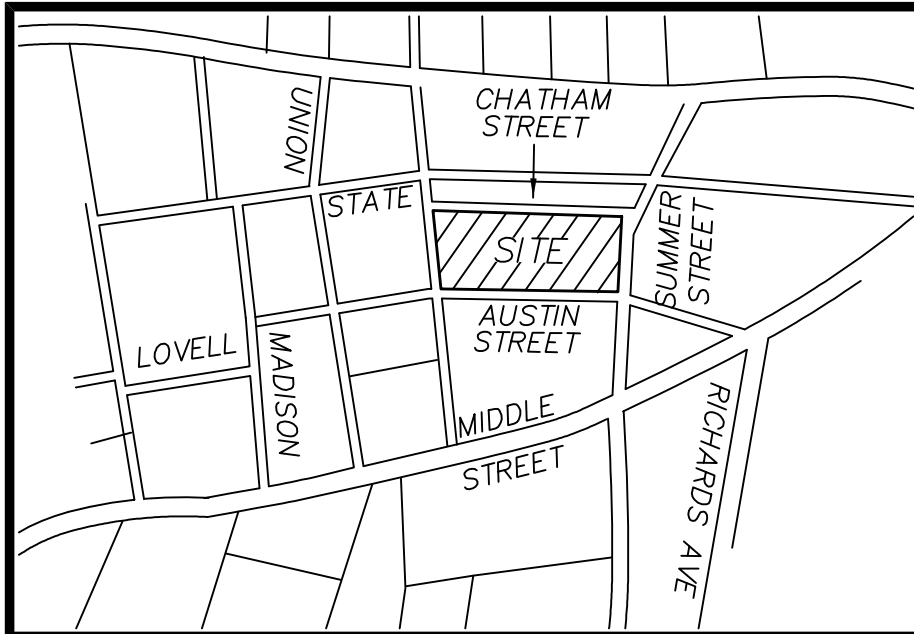
OWNER:
 ROMAN CATHOLIC BISHOP
 OF MANCHESTER
 153 ASH STREET
 MANCHESTER, NH 03104

PROJECT:
 FORMER ST. PATRICKS
 SCHOOL
 TAX MAP 137,
 LOT 01
 125 AUSTIN STREET
 PORTSMOUTH, NH

TITLE:
 LIMITED
 EXISTING
 CONDITIONS PLAN
 AUSTIN, WINTER &
 CHATHAM STREETS
 PORTSMOUTH, NH

SHEET NUMBER:
 EX-1

P4957



LOCUS
(N.T.S.)

BUILDING ELEVATION TABLE			MISC. ELEVATION TABLE		
LOCATION	DESCRIPTION	ELEVATION	LOCATION	DESCRIPTION	ELEVATION
"A"	WOOD THRESHOLD	31.55	"Q"	TOP CONC. WALL	25.90
"B"	ALUM. THRESHOLD	29.25	"R"	INV 4" PVC	35.98
"C"	CONCRETE FLOOR	38.58	"S"	INV 3.5" ACP	35.80
"D"	WOOD FLOOR	34.95	"T"	TOP CONC. WALL	37.05
"E"	CONCRETE FLOOR	31.14	"U"	TOP CONC. WALL	36.99
"F"	CONCRETE FLOOR	31.62	"V"	TOP CONC. WALL	34.71
"G"	ASPHALT FLOOR	32.13	"W"	TOP CONC. WALL	33.91
"H"	CONCRETE FLOOR	34.65	"X"	TOP CONC. WALL	31.34
"I"	CONCRETE FLOOR	34.64	"Y"	TOP CONC. WALL	29.49
"J"	CONCRETE FLOOR	34.62	"AA"	BLDG. CORNER	30.06
"K"	WOOD THRESHOLD	31.70	"BB"	BLDG. CORNER	28.51
"L"	ALUM. THRESHOLD	29.25	"CC"	BLDG. CORNER	28.71
"M"	WOOD THRESHOLD	32.19	"DD"	BLDG. CORNER	28.61
"N"	WOOD THRESHOLD	32.33	"EE"	BLDG. CORNER	28.82
"O"	BRICK THRESHOLD	34.81	"FF"	BLDG. CORNER	28.78
"P"	ALUM. THRESHOLD	39.16	"GG"	BLDG. CORNER	28.77

RIM AND INVERT DATA

CB #1293 RIM = 26.79 INV 6"PVC=25.24± SUMP=24.59	SMH #1372 RIM = 27.82 (1) INV (8"VCP)=21.4± (2) INV (8"VCP)=21.6± (3) INV (8"VCP)=21.42
CB #1294 RIM = 26.69 (1) INV (6"PVC)=23.99 (2) INV (6"PVC)=24.37 (3) INV (6"PVC)=23.74 SUMP=22.39	SMH #1373 RIM = 27.05 (1) INV (8"VCP)=20.06 (2) INV (8"VCP)=20.23 (3) INV (8"VCP)=20.9 (4) INV (8"VCP)=20.6
CB #1295 RIM = 30.76 (1) INV (6"PVC)=27.66 SUMP=25.76	SMH #1374 RIM = 21.04 (1) INV (8"VCP)=16.04± (2) INV (8"VCP)=16.04± (3) INV (8"VCP)=16.04± (4) INV (8"VCP)=16.04±
CB #1296 RIM = 30.82 (1) INV (6"PVC)=27.54 SUMP=25.76	SMH #1377 RIM = 30.64 (1) INV (8"VCP)=25.22 (2) INV (8"VCP)=26.75 (3) INV (8"VCP)=25.92 (4) INV (8"VCP)=26.71 (5) INV (8"VCP)=25.89
CB #1340 RIM = 23.90 (1) INV (6"VCP)=20.00 SUMP=19.90	
CB #1341 RIM = 22.51 (1) INV (10"VCP)=18.86 SUMP=18.00	
CB #1342 RIM = 21.56 (1) INV (4.5"VCP)=19.04 SUMP=18.56	

SMALL CATCH BASIN DATA TABLE

CBS #A RIM = 28.31 (1) INV (6"VCP)=26.0±	CBS #C RIM = 28.03 INV (INACCESSIBLE)
CBS #B RIM = 28.12 INV (INACCESSIBLE)	CBS #D RIM = 28.30 (1) INV (6"VCP)=26.90

TREE IDENTIFICATION TABLE

TREE	TYPE	SIZE	SPREAD
①	TWIN OAK	12"	50'
②	MAPLE	24"	44'
③	MAPLE	6"	24'
④	MAPLE	16"	30'
⑤	MAPLE	24"	34'
⑥	MAPLE	7"	12'
⑦	MAPLE	8"	12'
⑧	MAPLE	11"	16'
⑨	MAPLE	8"	12'
⑩	MAPLE	8"	10'
⑪	MAPLE	8"	16'
⑫	MAPLE	11"	9'

BOUNDARY LINE TABLE

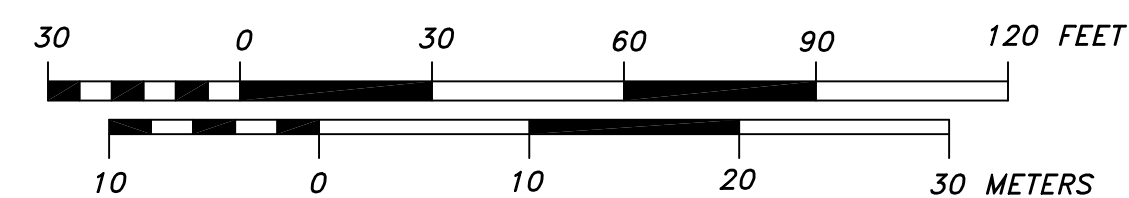
LINE	BEARING	DISTANCE
L1	N 37°58'51" W	216.45
L2	N 58°46'24" E	280.28
L3	S 34°36'19" E	194.39
L4	S 54°17'07" W	267.10

REFERENCE PLANS:

1. PLAN OF LAND NO. 119 SUMMER STREET, PORTSMOUTH, N.H. BY JOHN W. DURGIN DATED OCT. 1948, FILE NO. 2274, PLAN NO. 1-372
2. STANDARD BOUNDARY SURVEY, PLAT OF LOT, KNOWN AS TAX MAP U-37 LOT 2 OWNED BY PATTERSON CHATHAM STREET REVOCABLE TRUST, DATED JULY 1996 RCRD PLAN #D-24875.
3. APPENDIX C-SITE PLAN, 728 STATE STREET CONDOMINIUMS, PORTSMOUTH, NH DATED JANUARY 1984 RCRD PLAN #D-24875.
4. CONDOMINIUM SITE PLAN, MAP 145-LOT 93, AUSTIN STREET CONDOMINIUM FOR LYNN M. MCCARTHY & DYLAN M. KIMMEL, DATED APRIL 2002 RCRD PLAN #D-29891.
5. PLAN OF FIFTEEN HOUSE LOTS, PORTSMOUTH, BELONGING TO THE HEIRS OF MATTHEW S. MARSH, 1848, PORTSMOUTH RECORDS, BK 7. PG 354

ABUTTER'S LIST

127-23 ADVENT CHRISTIAN CHURCH 634 STATE STREET PORTSMOUTH, NH 03801	137-2 MARK D. GRAY 140 SUMMER STREET PORTSMOUTH, NH 03801 3515/636	145-93 AUSTIN STREET CONDOMINIUM 159-161 AUSTIN STREET PORTSMOUTH, NH 03801
127-24 SUSAN J. CERRO 53 WENTWORTH STREET PORTSMOUTH, NH 03801 5580/449	137-5 JOHN F. LEITH 83 WOODBURY AVENUE PORTSMOUTH, NH 03801 2947/2701	145-94 WILLIAM & LUCINDA CLARKE REVO. TRUST WILLIAM & LUCINDA CLARKE, TRUSTEES 22 WINTER STREET PORTSMOUTH, NH 03801 5152/1981
127-25 NANCY R. BECK REVO. TRUST & ROBERT BOWSER 43 AUSTIN STREET PORTSMOUTH, NH 03801 4556/648	137-6 VICTORIA WILLINGHAM & ROBERT BOWSER 692 STATE STREET PORTSMOUTH, NH 03801 3269/2978	145-94-1 DONNA MELLILLO REVO. TRUST DONNA MELLILLO, TRUSTEE 24 WINTER STREET PORTSMOUTH, NH 03801 4723/1275
136-22 SOCIETY PRESERVATION, NE ANTIQUITIES OF MA. 141 CAMBRIDGE STREET BOSTON, MA 02114 2395/1115	137-7 ALISON K. & JAMES FORBES 698 STATE STREET PORTSMOUTH, NH 03801 3308/1370	145-95 WILLIAM J. & REBECCA M. HARTGLASS 30 WINTER STREET PORTSMOUTH, NH 03801 5235/1781
136-27 DONALD M. & MARY SAARI 72 SUMMER STREET PORTSMOUTH, NH 03801 2373/1805	137-8 THOMAS J. & LONGI M. SCHLADENHAUFFEN 708 STATE STREET PORTSMOUTH, NH 03801 3098/698	145-96 COLLEEN M. COOK 40 WINTER STREET PORTSMOUTH, NH 03801 5738/898
136-28 ROBERT GOWELL C. WALLIS 110 AUSTIN STREET PORTSMOUTH, NH 03801 2397/114	137-9 CONDOMINIUM AT GOODWIN PARK 8 STATE STREET PORTSMOUTH, NH 03801 5306/1197	145-97 PAUL D. STRAND & DEANNA HAND 48 WINTER STREET PORTSMOUTH, NH 03801 2819/1696
136-29 TRISHA BALLESTERO 45 EVANS ROAD MADBURY, NH 03823 5550/1043	137-10 MARK GRIFFEN 728 STATE STREET CONDOMINIUM PORTSMOUTH, NH 03801	
136-30 NANDREA J. MORRIS 122 AUSTIN STREET PORTSMOUTH, NH 03801 3071/1301	136-30 NANDREA J. MORRIS 122 AUSTIN STREET PORTSMOUTH, NH 03801 3071/1301	



ENGINEER:

ALTUS
ENGINEERING, INC.

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(603) 433-2335 www.ALTUS-ENG.com

SURVEYOR:

& James Verra
Associates, Inc.

LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801 - 7876
603-436-3557

JOB NO: 23799

ISSUED FOR:

APPLICATION

ISSUE DATE:

PRELIMINARY

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	APPLICATION	JVA	

DRAWN BY: _____ GTD

APPROVED BY: _____

DRAWING FILE: 23799.DWG

SCALE:

22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

APPLICANT:

CORPUS CHRISTI PARISH
125 AUSTIN STREET
PORTSMOUTH, NH 03801

OWNER:

ROMAN CATHOLIC BISHOP
OF MANCHESTER
153 ASH STREET
MANCHESTER, NH 03104

PROJECT:

FORMER ST. PATRICKS
SCHOOL
TAX MAP 137,
LOT 01

125 AUSTIN STREET
PORTSMOUTH, NH

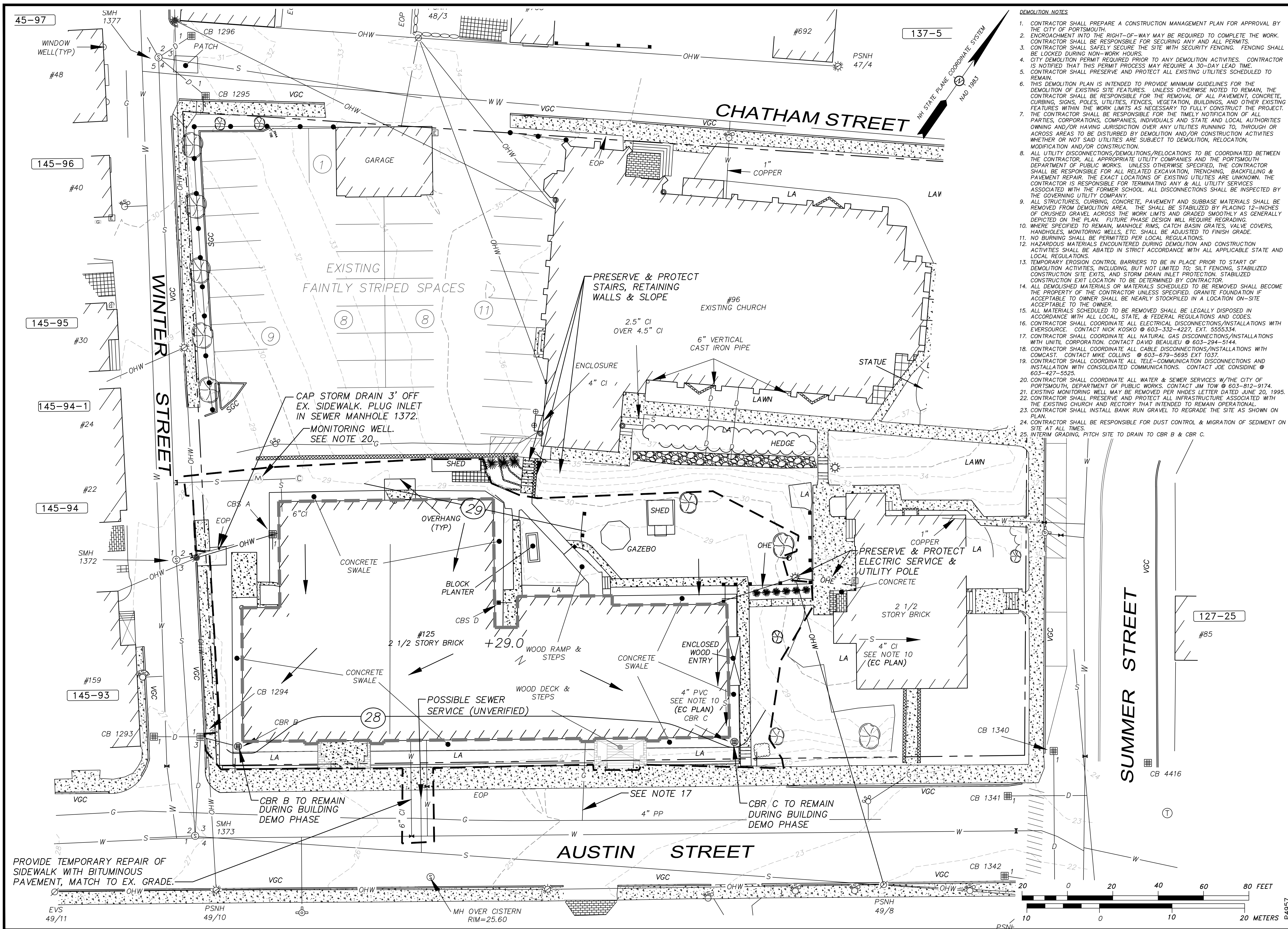
TITLE:

LIMITED
EXISTING
CONDITIONS PLAN
AUSTIN, WINTER &
CHATHAM STREETS
PORTSMOUTH, NH

SHEET NUMBER:

EX-2

P 4957



- DEMOLITION NOTES**
- CONTRACTOR SHALL PREPARE A CONSTRUCTION MANAGEMENT PLAN FOR APPROVAL BY THE CITY OF PORTSMOUTH.
 - ENCROACHMENT INTO THE RIGHT-OF-WAY MAY BE REQUIRED TO COMPLETE THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY AND ALL PERMITS.
 - CONTRACTOR SHALL SAFELY SECURE THE SITE WITH SECURITY FENCING. FENCING SHALL BE LOCKED DURING NON-WORK HOURS.
 - CITY DEMOLITION PERMIT REQUIRED PRIOR TO ANY DEMOLITION ACTIVITIES. CONTRACTOR IS NOTIFIED THAT THIS PERMIT PROCESS MAY REQUIRE A 30-DAY LEAD TIME.
 - CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
 - THIS DEMOLITION PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION, BUILDINGS, AND OTHER EXISTING FEATURES WITHIN THE WORK LIMITS AS NECESSARY TO FULLY CONSTRUCT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
 - ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING, BACKFILLING & PAVEMENT REPAIR. THE EXACT LOCATIONS OF EXISTING UTILITIES ARE UNKNOWN. THE CONTRACTOR IS RESPONSIBLE FOR TERMINATING ANY & ALL UTILITY SERVICES ASSOCIATED WITH THE FORMER SCHOOL. ALL DISCONNECTIONS SHALL BE INSPECTED BY THE GOVERNING UTILITY COMPANY.
 - ALL STRUCTURES, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM DEMOLITION AREA. THE SHALL BE STABILIZED BY PLACING 12-INCHES OF CRUSHED GRAVEL ACROSS THE WORK LIMITS AND GRADED SMOOTHLY AS GENERALLY DEPICTED ON THE PLAN. FUTURE PHASE DESIGN WILL REQUIRE REGRADING.
 - WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, MONITORING WELLS, ETC. SHALL BE ADJUSTED TO FINISH GRADE.
 - NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
 - HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
 - TEMPORARY EROSION CONTROL BARRIERS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO: SILT FENCING, STABILIZED CONSTRUCTION SITE EXITS, AND STORM DRAIN INLET PROTECTION. STABILIZED CONSTRUCTION EXIT LOCATION TO BE DETERMINED BY CONTRACTOR.
 - ALL DEMOLISHED MATERIALS OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED. GRANITE FOUNDATION IF ACCEPTABLE TO OWNER SHALL BE NEARLY STOCKPILED IN A LOCATION ON-SITE ACCEPTABLE TO THE OWNER.
 - ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS AND CODES.
 - CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DISCONNECTIONS/INSTALLATIONS WITH EVERSOURCE. CONTACT NICK KOSKO @ 603-332-4227, EXT. 555334.
 - CONTRACTOR SHALL COORDINATE ALL NATURAL GAS DISCONNECTIONS/INSTALLATIONS WITH UNILIT CORPORATION. CONTACT DAVID BEAULIEU @ 603-294-5144.
 - CONTRACTOR SHALL COORDINATE ALL CABLE DISCONNECTIONS/INSTALLATIONS WITH COMCAST. CONTACT MIKE COLLINS @ 603-679-5695 EXT 1037.
 - CONTRACTOR SHALL COORDINATE ALL TELE-COMMUNICATION DISCONNECTIONS AND INSTALLATION WITH CONSOLIDATED COMMUNICATIONS. CONTACT JOE CONSIDINE @ 603-427-5525.
 - CONTRACTOR SHALL COORDINATE ALL WATER & SEWER SERVICES W/THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. CONTACT JIM TOW @ 603-812-9174.
 - EXISTING MONITORING WELL MAY BE REMOVED PER WHOES LETTER DATED JUNE 20, 1995.
 - CONTRACTOR SHALL PRESERVE AND PROTECT ALL INFRASTRUCTURE ASSOCIATED WITH THE EXISTING CHURCH AND RECTORY THAT INTENDED TO REMAIN OPERATIONAL.
 - CONTRACTOR SHALL INSTALL BANK RUN GRADE TO REGRADE THE SITE AS SHOWN ON PLAN.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL & MIGRATION OF SEDIMENT ON SITE AT ALL TIMES.
 - INTERIM GRADING, PITCH SITE TO DRAIN TO CBR B & CBR C.

ENGINEER:

ALTUS
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:

TAC WORK SESSION

ISSUE DATE:

9-3-19

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TAC WORK SESSION	EDW	9/3/19

DRAWN BY: RLH
APPROVED BY: EDW
DRAWING FILE: 4957-CO-4-LATEST.DWG

SCALE:

22" x 34" - 1" = 15'
11" x 17" - 1" = 30'

APPLICANT:

CORPUS CHRISTI PARISH
125 AUSTIN STREET
PORTSMOUTH, NH 03801

OWNER:

ROMAN CATHOLIC BISHOP
OF MANCHESTER
153 ASH STREET
MANCHESTER, NH 03104

PROJECT:

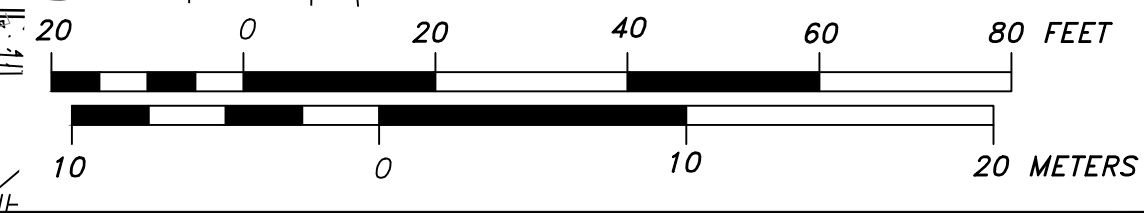
FORMER ST. PATRICKS
SCHOOL
TAX MAP 137,
LOT 01
125 AUSTIN STREET
PORTSMOUTH, NH

TITLE:

BUILDING
DEMOLITION
PLAN

SHEET NUMBER:

C-1



PROVIDE TEMPORARY REPAIR OF
SIDEWALK WITH BITUMINOUS
PAVEMENT, MATCH TO EX. GRADE.

EVS
49/11

PSNH
49/10

PSNH
49/8

P4957

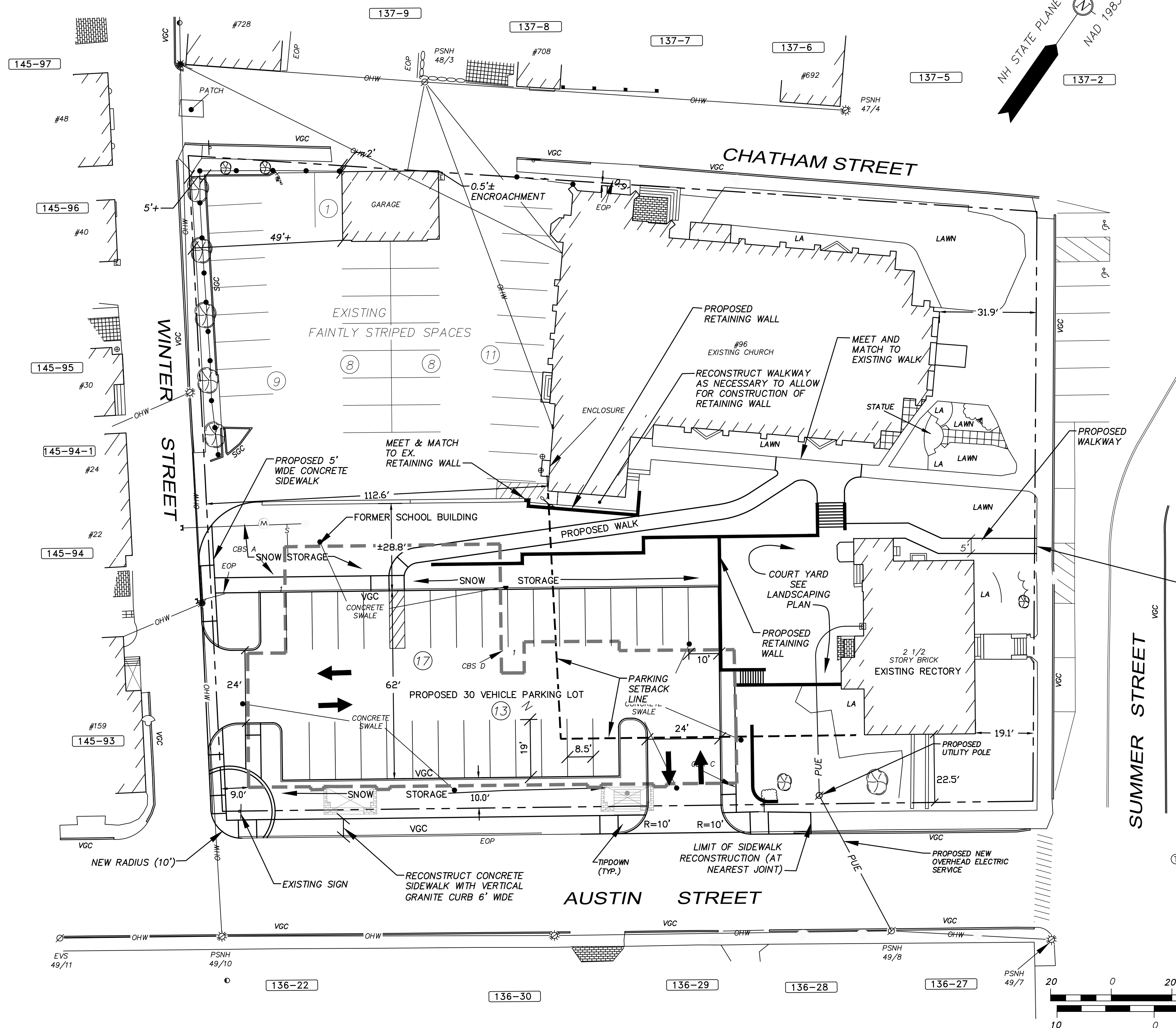
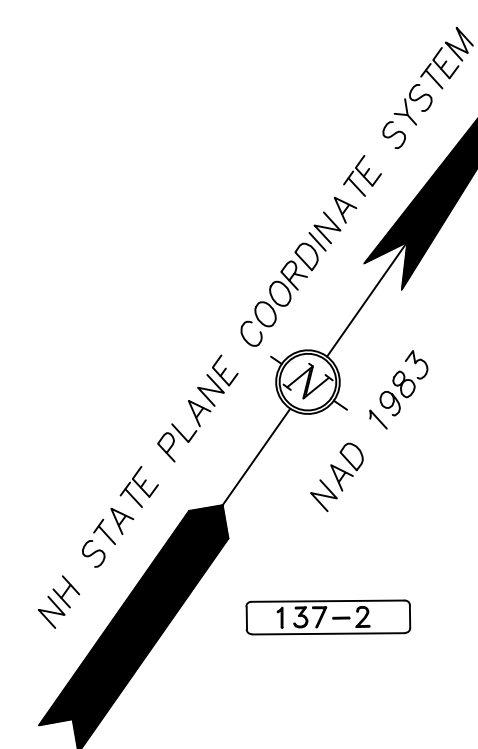
SEE EXISTING CONDITIONS PLANS FOR LEGEND.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE

SITE NOTES

1. PARKING REQUIREMENTS 0.4 SPACES PER SEAT. MAXIMUM SEATING CAPACITY 600 SEATS. 240 SPACES REQUIRED. 36 SPACES ON SITE EXISTING. 66 SPACES ON SITE PROPOSED.
2. ONE BIKE RACK PER 10 VEHICLE SPACES REQUIRED. 66 SPACES, 7 BIKE RACKS REQUIRED.
3. ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
4. ALL CONDITIONS OF THIS APPROVAL SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
5. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
6. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
7. THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL VERIFY ALL BUILDING AND RETAINING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
9. AREA OF DISTURBANCE UNDER 43,560 SF. COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED. SITEWORK ACTIVITIES UNDER 100,000 SF. NHDES ALTERATION OF TERRAIN PERMIT NOT REQUIRED.
10. SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN UPLAND AREAS SHOWN THEREON. NO SNOW STORAGE SHALL BE PROVIDED IN THE LANDSCAPED ISLAND BETWEEN THE DRIVEWAY ENTRANCE AND EXIT THAT WOULD RESTRICT SITE VEHICULAR AND PEDESTRIAN SIGHT DISTANCE. IF ADEQUATE ON-SITE SNOW STORAGE IS NOT AVAILABLE, THE SNOW SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED.
11. PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW, OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS. PAVEMENT MARKINGS SHALL BE INSTALLED AT LEAST 14-DAYS AFTER INSTALLATION OF WEARING COURSE PAVEMENT. CONTRACTOR SHALL APPLY TWO (2) COATS OF ALL PAVEMENT MARKINGS.
12. PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
13. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF BOTH THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION.
14. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
15. THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
16. SITEWORK CONTRACTOR SHALL PREPARE A LICENSED LAND SURVEYOR (LLS) STAMPED AS-BUILT SITE PLAN & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.
17. THE PROPOSED LIGHTING SHALL BE DARK SKY FRIENDLY.
18. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THE LANDOWNER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH LOCAL, STATE AND FEDERAL WETLAND PERMITTING REQUIREMENTS INCLUDING PROTECTION OF NATURAL RESOURCES AND THEIR BUFFERS.
19. CONTRACTOR SHALL CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING CONSTRUCTION.
20. CONTRACTOR SHALL NOTIFY CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
21. CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT AND EROSION CONTROL ITEMS TO PREVENT SEDIMENT FROM CONSTRUCTION ACTIVITIES FROM LEAVING THE SITE. CONTROLS SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER ALL RAIN EVENTS OF 0.25 INCHES OR GREATER. ANY DEFICIENCIES IN THE CONTROLS SHALL BE ADDRESSED IMMEDIATELY AND BROUGHT TO THE ATTENTION OF THE OWNER. ALL STORM DRAINS WITHIN OR ADJACENT TO THE WORK AREA, WITH THE POTENTIAL TO RECEIVE RUNOFF FROM EXPOSED CONSTRUCTION AREAS, SHALL RECEIVE STORM DRAIN INLET PROTECTION.
22. CONTRACTOR SHALL PREVENT TRACKING OF DIRT ONTO ANY PUBLIC OR PRIVATE ROADWAYS. IF TRACKING OF DIRT FROM CONSTRUCTION VEHICLES IS PRESENT ON THE OPEN STREETS, CONTRACTOR WILL BE REQUIRED TO SWEEP THE ROADWAY AT NO ADDITIONAL EXPENSE TO THE OWNER.
23. SEE DETAIL SHEET FOR EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.



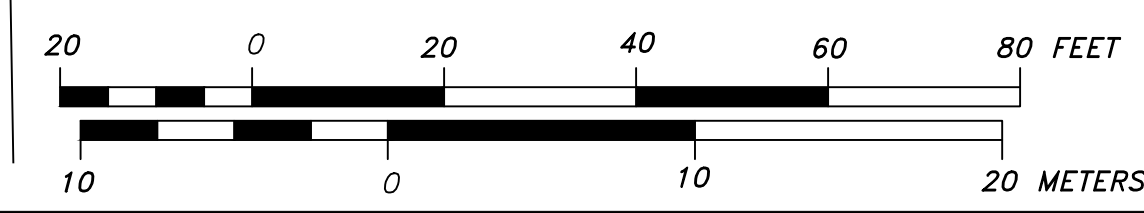
ZONING SUMMARY

ZONING DISTRICT	GENERAL RESIDENCE C
MINIMUM LOT AREA	3,500 SF
LOT AREA PROVIDED	56,078 SF
MINIMUM FRONTAGE	70 FEET
FRONTAGE PROVIDED	194.39 FEET SUMMER STREET 267.10 FEET AUSTIN STREET 216.45 FEET WINTER STREET 280.28 FEET CHATHAM STREET

MINIMUM YARD DIMENSIONS	REQUIRED	EXISTING	PROPOSED
FRONT (SUMMER)	5 FEET	19.1 FEET	19.1 FEET
FRONT (AUSTIN)	5 FEET	6.3 FEET	22.5 FEET
FRONT (CHATHAM)	5 FEET	0.9 FEET	0.9 FEET
FRONT (WINTER)	5 FEET	112.6 FEET	112.6 FEET

BUILDING COVERAGE	35% MAX	38.7%±	21.3%±
MINIMUM OPEN SPACE	20%	41%±	44%±
(NOTE: EXCLUDES WALKS & PATIOS)			

PARKING SETBACK REQUIREMENT	REQUIRED	EXISTING	PROPOSED
SUMMER STREET	19.5 FEET	N/A	N/A
AUSTIN STREET	22.5 FEET	N/A	10 FEET - VARIANCE REQ'D
CHATHAM STREET	0.9 FEET	0 FEET	0 FEET
WINTER STREET	112.6 FEET	6.0 FEET±	6.0 FEET ± - VARIANCE REQ'D



ENGINEER:

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR: TAC WORK SESSION
ISSUE DATE: SEPTEMBER 3, 2019

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TAC WORK SESSION	EDW	09/03/19

DRAWN BY: RLH
APPROVED BY: EDW
DRAWING FILE: 4957-CO-4-LATEST.DWG

SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

APPLICANT:
CORPUS CHRISTI PARISH
125 AUSTIN STREET
PORTSMOUTH, NH 03801

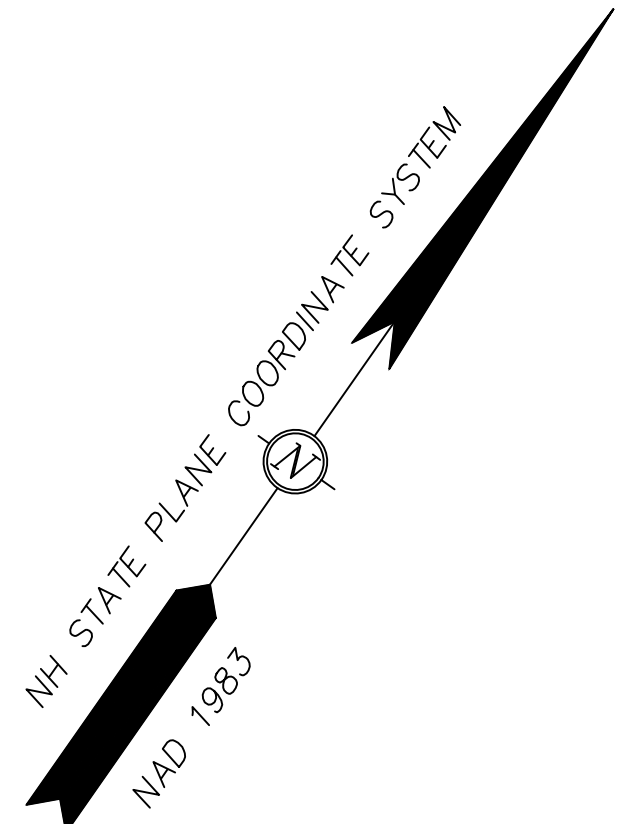
OWNER:
ROMAN CATHOLIC BISHOP
OF MANCHESTER
153 ASH STREET
MANCHESTER, NH 03104

PROJECT:
FORMER ST. PATRICKS
SCHOOL
TAX MAP 137,
LOT 01
125 AUSTIN STREET
PORTSMOUTH, NH

TITLE:
SITE PLAN

SHEET NUMBER:
C-2

P4957



LEGEND

— PD —	PROPOSED STORM DRAIN
CB3	PROPOSED CATCH BASIN
YD3	PROPOSED YARD DRAIN
DMH P2	PROPOSED DRAIN MANHOLE
32	EXISTING CONTOUR
28	FINISHED GRADE
31.2 X	EXISTING SPOT GRADE ELEVATION
31.75 +	PROPOSED SPOT GRADE ELEVATION

- GRADING AND DRAINAGE NOTES**
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
 - ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION DEWATERING ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH EPA AND NHDES REGULATIONS AND GUIDELINES.
 - PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES AREA SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS DEGREE OF INSULATION AGAINST FREEZING.
 - IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
 - ALL STORM DRAIN PIPE SHALL BE ADS N-12 OR EQUAL AND APPROVED BY THE ENGINEER.
 - ALL CATCH BASIN, GATE VALVE COVERS, AND MANHOLE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISHED GRADE. ANY RIM OR VALVE COVER ABOVE SURROUNDING FINISHED GRADE WILL NOT BE ACCEPTED.
 - ALL CATCH BASINS SHALL BE PRECAST, LOCATED IN PAVEMENT AREAS, H-20 LOADING AND BE EQUIPPED WITH 4-FOOT DEEP MIN SEDIMENTATION SUMPS AND GREASE HOODS. (SEE DETAILS).
 - ALL SPOT GRADES ARE AT THE FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
 - UNLESS OTHERWISE SPECIFIED, RETAINING WALL AND BUILDING PERIMETER DRAINS SHALL BE DIRECTED TO THE NEAREST DRAINAGE STRUCTURE. IF DEEMED APPROPRIATE, CONTRACTOR SHALL PROVIDE ADDITIONAL UNDERDRAINS AT THE DIRECTION OF THE ENGINEER.
 - CONTRACTOR SHALL PROTECT ALL RAINGARDENS FROM CONSTRUCTION STORMWATER RUNOFF. TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED DURING CONSTRUCTION. STORMWATER SHALL NOT BE DIRECTED TO THE RAINGARDENS UNTIL THE WATERSHED ARE HAS BEEN STABILIZED.

- UTILITY NOTES**
- THE EXISTING OFF-SITE STORMWATER COLLECTION SYSTEM APPEARS TO BE INTERCONNECTED WITH THE MUNICIPAL SANITARY COLLECTION SYSTEM. ALL PROPOSED ON-SITE STORMWATER WILL BE SEPARATED ON-SITE AND MADE READY TO CONNECT TO A MUNICIPAL IMPROVEMENTS FOR STORMWATER SEPARATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
 - ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
 - FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE OWNER.
 - CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS.
 - CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH COMCAST.
 - CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
 - DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
 - CONTRACTOR SHALL CONTACT CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AT 603-427-1530 TO COORDINATE INSPECTION OF DRAINAGE WORK.

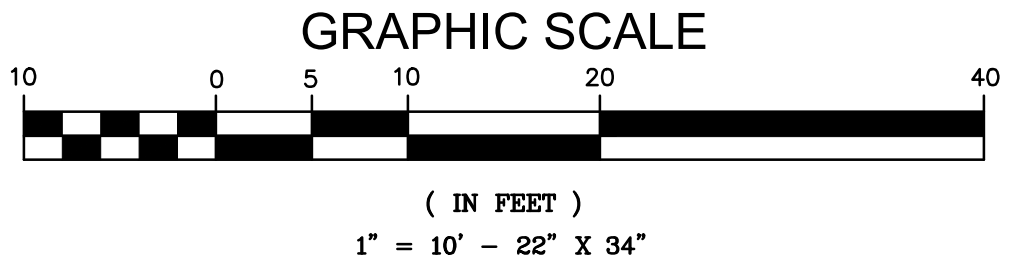
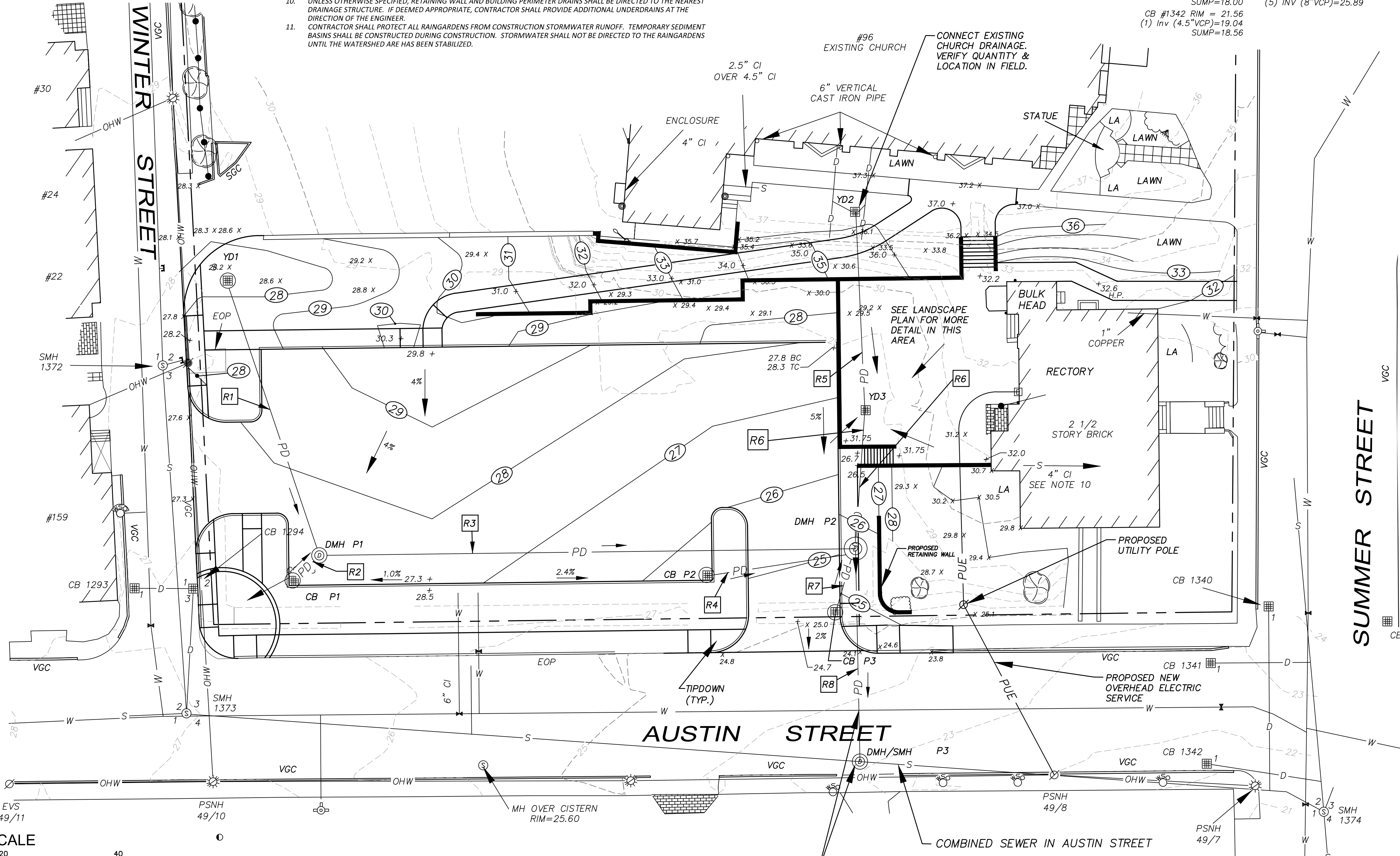
RIM AND INVERT DATA

CB #1293 RIM = 26.79 INV 6" PVC = 25.24± SUMP = 24.59	SMH #1372 RIM = 27.82 (1) INV (8" VCP) = 21.4± (2) INV (6" VCP) = 21.6± (3) INV (8" VCP) = 21.42
CB #1294 RIM = 26.69 (1) INV (6" PVC) = 23.99 (2) INV (6" PVC) = 24.37 (3) INV (6" PVC) = 23.79 SUMP = 22.39	SMH #1373 RIM = 27.05 (1) INV (8" VCP) = 20.06 (2) INV (8" VCP) = 20.23 (3) INV (8" VCP) = 20.9 (4) INV (8" VCP) = 20.6
CB #1295 RIM = 30.76 (1) INV (6" PVC) = 27.66 SUMP = 25.76	SMH #1374 RIM = 21.04 (1) INV (8" VCP) = 16.04± (2) INV (8" VCP) = 16.04± (3) INV (6" VCP) = 16.04± (4) INV (8" VCP) = 16.04±
CB #1296 RIM = 30.82 (1) INV (6" PVC) = 27.54 SUMP = 25.76	SMH #1377 RIM = 30.64 (1) INV (8" VCP) = 25.22 (2) INV (6" VCP) = 26.75 (3) INV (8" VCP) = 25.92 (4) INV (6" VCP) = 26.71 (5) INV (8" VCP) = 25.89
CB #1340 RIM = 23.90 (1) INV (6" VCP) = 20.00 SUMP = 19.90	
CB #1341 RIM = 22.51 (1) INV (10" VCP) = 18.86 SUMP = 18.00	
CB #1342 RIM = 21.56 (1) INV (4.5" VCP) = 19.04 SUMP = 18.56	

DRAINAGE STRUCTURES

- YARD DRAIN YD 1
RIM = 27.0
INV. OUT = 24.0
- DRAIN MANHOLE DMH P1
RIM = 27.3
INV. IN = 23.6 (2 REQ'D)
INV. OUT = 23.5
- CATCH BASIN CB P1
RIM = 27.0
INV. OUT = 23.7
- DMH P2 (6' DIA.)
RIM = 25.8
INV. IN = 21.1 (4 REQ'D)
INV. OUT = 21.0
- CB P2
RIM = 25.6
INV. OUT = 21.6
- CB P3
RIM = 24.3
INV. OUT = 21.3
- YD 2
RIM = 36.5
INV. IN = (VIF)
INV. OUT = 29.5 VIF
- YD 3
RIM = 31.50 (FINAL LOCATION & ELEVATION TO BE DETERMINED IN FIELD)
INV. IN = 28.0
INV. OUT = 23.2
- R1 = 12" HDPE, S=0.005
R2 = 12" HDPE, S=0.005
R3 = 12" HDPE, S=0.017
R4 = 12" HDPE, S=0.14
R5 = 12" HDPE, S=0.03
R6 = 12" HDPE, S=0.06
R7 = 12" HDPE, S=0.005
R8 = 15" HDPE, S=0.005

DMH/SMH P3 (DOG HOUSE)
RIM = 23.2 (MATCH TO EXISTING GRADE)
MATCH TO EX. FLOWLINE
INV. IN = 20.5 (VIF)



PERFORM EXPLORATORY EXCAVATION TO CONFIRM LOCATION & ELEVATION OF WATER & SEWER LINES PRIOR TO UTILITY INSTALLATIONS.

ENGINEER:

133 COURT STREET PORTSMOUTH, NH 03801
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ISSUED FOR: TAC WORK SESSION
ISSUE DATE: SEPTEMBER 3, 2019

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	DISCUSSION	EDW	09/03/19

DRAWN BY: RLH
APPROVED BY: EDW
DRAWING FILE: 4957-CO-4.DWG

SCALE:
22" x 34" - 1" = 15'
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APPLICANT:
CORPUS CHRISTI PARISH
125 AUSTIN STREET
PORTSMOUTH, NH 03801

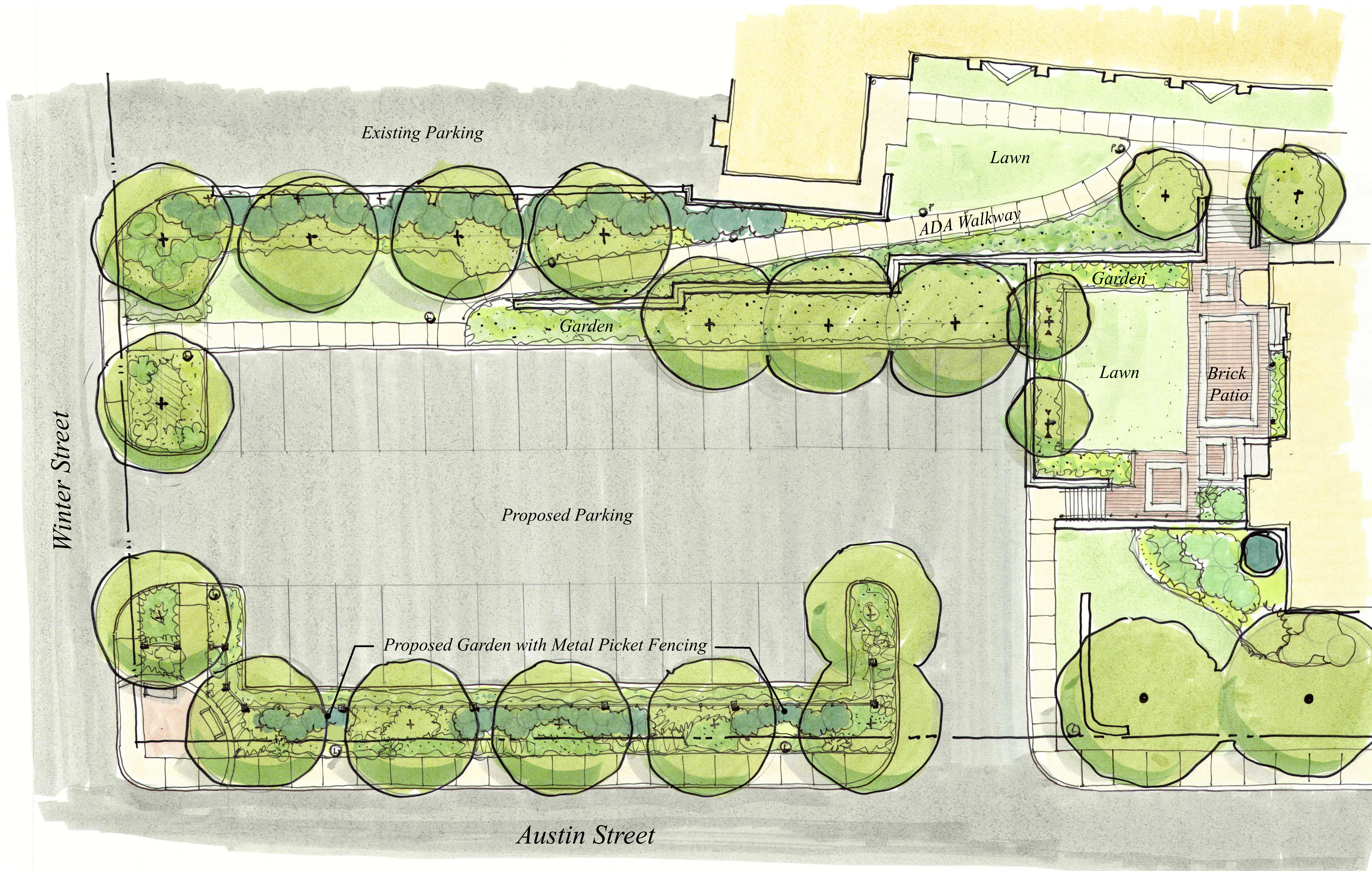
OWNER:
ROMAN CATHOLIC BISHOP
OF MANCHESTER
153 ASH STREET
MANCHESTER, NH 03104

PROJECT:
FORMER ST. PATRICKS
SCHOOL
TAX MAP 137,
LOT 01
125 AUSTIN STREET
PORTSMOUTH, NH

TITLE:
GRADING PLAN

SHEET NUMBER:
C-2

P4957



Winter Street

Existing Parking

Lawn

ADA Walkway

Garden

Garden

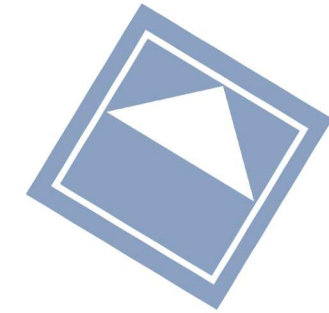
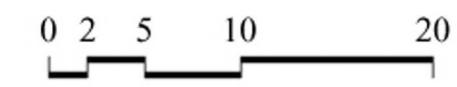
Lawn

Brick
Patio

Proposed Parking

Proposed Garden with Metal Picket Fencing

Austin Street



Corpus Christi Parish
Parking Area - Master Plan Concept Sketch
Summer Street Portsmouth New Hampshire

Drawn By: VM
Checked By: RW
Scale: scale
Date: 2019-08-07
Revisions: