

Karolina and Paul Roggenbuck  
2 Sylvester Street  
Portsmouth, NH 03801

July 14, 2025

City of Portsmouth Zoning Board of Adjustment  
1 Junkins Avenue  
Portsmouth, NH 03801

Subject: Request for Variance – Second Driveway for Detached Accessory Dwelling Unit at 2 Sylvester Street

Dear Esteemed Members of the Zoning Board of Adjustment,

We, the owners of the property located at 2 Sylvester Street, are writing to respectfully request a variance from section 10.1114.31 Driveways to construct a second driveway to serve a proposed Detached Accessory Dwelling Unit (DADU) on our property. The additional driveway would be approximately 16 feet wide by 20.5 feet long, and be constructed from permeable grass pavers.

We understand that the Portsmouth Zoning Ordinance typically limits properties to a single driveway. However, we believe our property's unique circumstances and the need for safe, practical access to the DADU warrant granting this variance. We've carefully considered each of the five criteria for a variance, as outlined in Section 10.233.20 of the Zoning Ordinance, and we respectfully submit the following for your consideration:

1. Literal enforcement of the Ordinance's single-driveway provision would create an unnecessary hardship (section 10.233.25) for our property. This hardship is not self-created but stems from the existing layout and the practical limitations of our site:

**Loss of Primary Owner Parking:** Our current driveway, located to the right of our property, between the primary residence and the proposed DADU, adequately accommodates parking for the primary residence, typically 2-3 vehicles. If this existing driveway were to also somehow serve as a driveway for the DADU garage, it would result in a significant loss of essential parking spaces for the primary owner, it would limit us to a single parking spot, when we have two vehicles. Sylvester Street is too narrow for on-street parking, and it would force us to seek on-street parking on other streets, creating an impractical living situation and potentially unsafe parking situations.

**Unsafe Turning Radius from Garage:** If we were to use the existing driveway to turn into a side-facing garage, it would need to be widened. The width of the current driveway at the back end is approximately 18 feet. Based on information from our architect, to reverse straight out and then turn right, without swinging left into our backyard, the driveway width between the DADU garage and the adjacent building, that being our shed, should be 26 feet at minimum. That would require widening the driveway at least another 8 feet. It would also require moving the DADU much closer to the street, to a front setback of about 10 feet. Attempting to maneuver multiple vehicles in such close proximity would create significant safety hazards, including an increased risk of collisions, property damage, and danger to pedestrians. The angles and limited space simply do not allow for the necessary clearances for safe vehicle operation for both units

simultaneously. The proposed second driveway would eliminate these critical concerns by providing direct and unobstructed access for the DADU.

To lessen any impact on drainage on the street, we are proposing to build the driveway for the DADU using a permeable grass paver system. We will also be decreasing the width of the existing driveway for the primary residence from approximately 30 feet to 24 feet. The distance between the two driveways would then be approximately 30 feet, which we will plant with grass or other plants.

2. The variance will not be contrary to the public interest (section 10.233.21):

We are confident that the variance will not be contrary to the public interest. In fact, it will enhance safety on our property by preventing potential conflicts and dangerous maneuvers that would arise from a shared, constrained driveway. The new driveway will be designed with clear sightlines, ensuring safe ingress and egress for all users and minimizing any impact on pedestrian or vehicular traffic on the public way.

3. The spirit of the Ordinance will be observed: (section 10.233.22)

Granting this variance will observe the spirit of the Ordinance. The DADU itself aligns with the city's goals of increasing diverse housing options and promoting sustainable growth. By providing a dedicated, safe access point, we are ensuring the DADU can function effectively without negatively impacting the existing primary residence or the surrounding neighborhood's character. Our proposed design for the second driveway will be modestly sized at approximately 16 feet wide, and built from permeable grass pavers, maintaining the residential feel of the area.

Variance from section "10.1114.31 Driveways" would be consistent with the neighborhood, as many of the adjacent and neighboring lots are smaller and have multiple driveways for single dwellings and accessory dwellings.

4. The values of surrounding properties will not be diminished: (section 10.233.24)

We are confident that the proposed second driveway will not diminish the values of surrounding properties. We are committed to constructing the driveway with high-quality, aesthetically appropriate materials that complement the neighborhood's existing character. To decrease impact on drainage, the driveway will be built using a permeable grass paver system. The primary goal is to enhance the functionality and safety of our property, which in turn contributes to its overall value without negatively impacting our neighbors.

5. Substantial justice will be done: (section 10.233.23)

Granting this variance will ensure substantial justice will be done. It allows us to make reasonable and safe use of our property by fully utilizing the permitted DADU. Without this variance, the practical limitations of the existing driveway would significantly impede the functionality and safety of both the primary residence and the DADU. This variance provides an equitable solution, balancing the goals of the zoning ordinance with the practical realities of our property. Granting a variance for a second driveway for the DADU (section "10.1114.31"), would be just in that adjacent properties are much smaller and some have second driveways for a singular dwelling or for an accessory dwelling. Granting the variance would have no significant adverse impact on any neighbor, and there is no harm to the general public. The variance would

allow us a reasonable and fair use of our property as has been allowed to other residents of Sylvester Street and adjacent properties on Marjorie Street.

The adjacent property at 6 Sylvester Street has a second driveway for the DADU at 4 Sylvester Street. The neighboring property at 3 Sylvester Street has two driveways (semicircle drive with two curb cuts as two points of access). The property adjacent to the backyard at 610 Middle Road has two driveways for a single residence. The property across the street at 1 Sylvester Street, has a single very wide and deep driveway, affording the residents to multiple cars.

Granting a variance for a second driveway for our property, which has a total street frontage of approximately 277 feet, will allow us the same use of our property which has been allowed to the neighbors.

We are also requesting relief from the 30 foot front yard setback, specifically, using a front yard average (Section "10.516.10 Front Yard Exceptions for Existing Alignments") to build the DADU at a setback of 20.5 feet. Taking into consideration the primary residence of 2 Sylvester Street, which has a setback of 0 feet, and the primary residence of 6 Sylvester Street with a setback of 6 feet, the average is 3 feet front setback. A shorter setback and, therefore, a shorter driveway would mean a smaller driveway surface to prevent drainage issues. The existing alignment of neighboring properties along Sylvester Street establishes a pattern of reduced front yard setbacks, and building the proposed project at a front setback of 20 feet will not be out of character with the neighborhood. The proposed project is designed to be compatible with the existing streetscape and will not negatively impact the character of the neighborhood.

We have attached a detailed site plan illustrating the proposed location of the second driveway, demonstrating how it will safely integrate with our property while minimizing any potential impact on abutters. We are committed to working with the City of Portsmouth to ensure all construction adheres to the highest standards and complies with all relevant regulations.

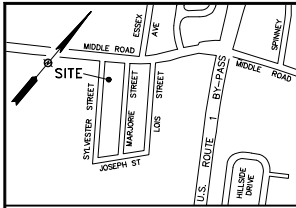
Thank you for your time and consideration of our request.

Sincerely,

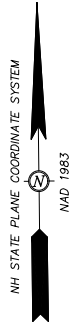
Karolina and Paul Roggenbuck







LOCUS  
(N.T.S.)



**(232-122)**  
JENSEN LESLIE  
JACOB ESTES  
639 MIDDLE ROAD  
PORTSMOUTH, NH 03801  
BK: 6508 PG: 2314

**(232-123)**  
JEREMY GRES  
623 MIDDLE ROAD  
PORTSMOUTH, NH 03801  
BK: 4789 PG: 1130

**(232-125)**  
IAN & EMMA ASHBY  
585 MIDDLE RD  
PORTSMOUTH, NH 03801  
BK: 5384 PG: 44

**(232-33)**  
JIM HAM IOZZO  
410 MIDDLE ROAD  
PORTSMOUTH, NH 03801  
BK: 4201 PG: 2196

**(232-32)**  
BREAUME BODREAU VARNNEY  
1 MARJORIE STREET  
PORTSMOUTH, NH 03801  
BK: 6559 PG: 533

**(232-30)**  
LISA TURNER  
MATTHEW TURNER  
3 MARJORIE ST  
PORTSMOUTH, NH 03801  
BK: 4455 PG: 2138

**(232-35)**  
15,798 S.F. ±  
0.363 ACRES ±

**(232-29)**  
GAUDREAU FAMILY REVOCABLE TRUST  
STEVEN R. & JENNIFER GAUDREAU, TRUSTEES  
3 MARJORIE ST  
PORTSMOUTH, NH 03801  
BK: 6162 PG: 1007

**(232-36)**  
JAMES SMONE  
SHEILA MURRAY  
6 SYLVESTER ST  
PORTSMOUTH, NH 03801  
BK: 6540 PG: 2151

**(232-43)**  
TAYLOR P. ANDREWS  
1 SYLVESTER STREET  
PORTSMOUTH, NH 03801  
BK: 6434 PG: 43

#### LEGEND:

- IRON ROD
- BOLT
- IRON PIPE
- WOOD FENCE
- EOP: EDGE OF PAVEMENT
- CATCH BASIN
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- WATER LINE
- SEWER LINE
- DRAIN LINE
- OVERHEAD WIRES
- CRUSHED STONE
- CONCRETE BLOCK RETAINING WALL
- CONCRETE PAVERS WALKWAY
- CONCRETE SIDEWALK

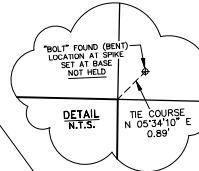
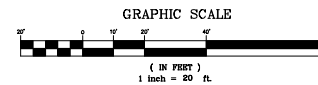
#### SURVEYOR'S CERTIFICATION

"I, HEREBY CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTY THOUSAND (1:15,000)."

LICENSED LAND SURVEYOR

DATE

3 Sylvester Street  
0.15 ACRES  
2 DRIVEWAYS




#### NOTES:

- OWNER OF RECORD: PAUL ROGGENBUCK & KAROLINA ROGGENBUCK  
ADDRESS: 2 SYLVESTER STREET, PORTSMOUTH, NH 03801  
DEED REFERENCE: BK: 6544 PG: 2045  
TAX SHEET / LOT: 232/35
- ZONED:  
MIN. LOT AREA: 15,000 S.F. FRONT & REAR YARD SETBACKS: 30'  
FRONTAGE: 100' SIDE YARD SETBACK: 10'  
BUILDING COVERAGE: 20%  
MINIMUM OPEN SPACE: 40%  
HEIGHT: SLOPED ROOF 35'
- THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY OF THE SUBJECT PARCEL AND THE IMPROVEMENTS THEREON.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (E.C. CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS OF RECORD, AND PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD83, VERTICAL DATUM: NAVD83, ESTABLISHED BY SURVEY GRADE GPS OBSERVATIONS, UNITS: US SURVEY FOOT.
- THE PLAN IS BASED UPON A FIELD SURVEY UPDATED IN SEPTEMBER - OCTOBER OF 2024 WITH TRIMBLE S5 ROBOTIC TOTAL STATION, CARLSON BRX7 RTK GPS UNITS, PANASONIC FZ-M1/TRIMBLE TSC7 DATA COLLECTORS.
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 3301500270F, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.

#### REFERENCE PLANS:

- "PLAN OF LAND & LIMITED ELEVATIONS, 4 SYLVESTER STREET, PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCEL, 232-36 FOR JARED J. SAULNIER," DATED DECEMBER 13, 2022, PREPARED BY AND OF FILE WITH THIS OFFICE. JVA JOB #24021.
- "PROSPECT PARK, ANNEX NO. 3, PORTSMOUTH, NH, FOR LEAVITT, WOODWORTH & SWEATT" SURVEYED APRIL 30, 1903 AND PREPARED BY JOHN N. MCCLINTOCK, RORD PLAN 00225.
- "PLAN OF LAND, PORTSMOUTH, N.H. FOR MAX MILTON," DATED JULY 1974, AND PREPARED BY JOHN W. DURGIN, NOT RECORDED. FN: 72A, PN: 4336, ON FILE THIS OFFICE.
- "A PLAN OF LAND IN PORTSMOUTH, N.H., FOR THE CHASE HOME FOR CHILDREN" DATED SEPTEMBER 10, 1980 AND PREPARED BY JOHN W. DURGIN, NOT RECORDED AND ON FILE WITH THIS OFFICE JMD FN: 71A PN: 5890.
- "EASEMENT PLAN, PLAN FOR: ACCESS EASEMENT, MARJORIE STREET, PORTSMOUTH, NH," DATED MARCH 2013 AND PREPARED BY BEALS ASSOCIATES, PLLC, RORD PLAN #0-37716.
- "PLAN OF LAND PREPARED FOR ARNE, LLC, (TAX MAP 232 LOT 43-1) 3 SYLVESTER STREET, PORTSMOUTH, NH," DATED FEBRUARY 15, 2019 AND PREPARED BY BODREAU LAND SURVEYING INC. RORD PLAN #0-41324.
- "SUBDIVISION PLAN, TAX MAP 232 - LOT 35 FOR LISA & BRETT COMACK, 2 SYLVESTER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE," LAST REVISED NOVEMBER 4, 2014 AND PREPARED BY AMBIT ENGINEERING, INC. NOT RECORDED, AMBIT JOB #2397.

PRELIMINARY  
SUBJECT TO CHANGE

REV. NO.	DATE	DESCRIPTION	APPROV.
<b>BOUNDARY PLAN</b> <b>2 SYLVESTER STREET</b> <b>PORTSMOUTH, NEW HAMPSHIRE</b> <b>TAX MAP 232 LOT 35</b> <b>PREPARED FOR AND LAND OF:</b> <b>PAUL AND KAROLINA ROGGENBUCK</b>			
		DATE: 11/04/2024	
DRAWN BY: [Signature]		JOB NO: 24-2067	
PROJECT MGR: [Signature]		SCALE: 1" = 20'	
		DWG NAME: 24-2067.DWG	
		PLAN NO: 24-2067.DWG	
		SHEET: V1	

101 SHATTUCK WAY, SUITE 8, NEWINGTON, N.H., 03801 - 603-436-3557 - ©2024

# 2 SYLVESTER PORTSMOUTH, NH



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860-716-3802

ROGGENBUCK

2 SYLVESTER PORTSMOUTH, NH

Scale: 1/4" = 1'-0"  
Date: 5/14/2025  
Project Number: 2024-X

REVISIONS		
NO.	DESCRIPTION	DATE

CONCEPT 3  
COVER SHEET

A0

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NORTHWEST PERSPECTIVE

## ABBREVIATIONS

ADJ.	ADJUSTABLE	G.F.I.	GROUND FAULT	PTD	PAINTED
A.F.F.	ABOVE FINISH FLOOR		INTERRUPTER	R.E.	REFERENCE ELEVATION
ALUM.	ALUMINUM	G.W.B.	GYPSUM WALL BOARD	REQD	REQUIRED
AT	AT	HORIZ	HORIZONTAL	RND	ROUND
BD	BOARD	ICCF	INSULATED CONCRETE	R.O.	ROUGH OPENING
B.I.	BUILT-IN		FORMS	S.D.L.	SIMULATED DIVIDED LITE
CCSF	CLOSED CELL SPRAY	INSUL	INSULATION	S.L.	SIDE LITE
	FOAM INSULATION	INT	INTERIOR	SQ	SQUARE
C.L.	CENTER LINE	L.V.L.	LAMINATED VENEER	T&G	TONGUE AND GROOVE
CONC.	CONCRETE		LUMBER	T.J.I.	TRUSS JOIST INSTITUTE
CONST	CONSTRUCTION	MAX	MAXIMUM	T.T.A	TO THE WEATHER
DEG	DEGREE	MIL	MILLIMETER	TYP	TYPICAL
DIA	DIAMETER	MM	MILLIMETER	U.N.O.	UNLESS NOTED OTHERWISE
EQ	EQUAL	MPGR	MANUFACTURER	VERT	VERTICAL
E.S.	EACH SIDE	MIN	MINIMUM	W	WIDTH
EXT	EXTERIOR	O.N.	ON CENTER	W.I.	WALK-IN
F.C.	FIBER CEMENT	P.X.	PULL-DOWN		
FDN	FOUNDATION	PERF	PERFORATED		
FIN	FINISH	PL	PLATE		
FT	FOOT	P.S.I.	POUNDS PER		
GALV	GALVANIZED		SQUARE INCH		
G.B.	GLASS BLOCK	P.T.	PRESSURE TREATED		

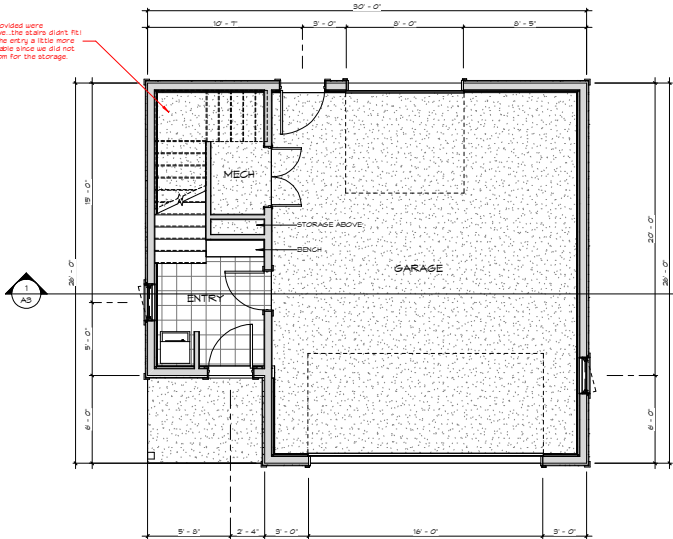
CONCEPT 3  
5/14/2025

DRAWING INDEX		
NUMBER	SHEET NAME	DISCIPLINE
A0	COVER SHEET	ARCHITECTURAL
A1	FLOOR PLANS	ARCHITECTURAL
A2	ELEVATIONS	ARCHITECTURAL
A3	BUILDING SECTIONS	ARCHITECTURAL

CONCEPTUAL DESIGN - NOT FOR CONSTRUCTION

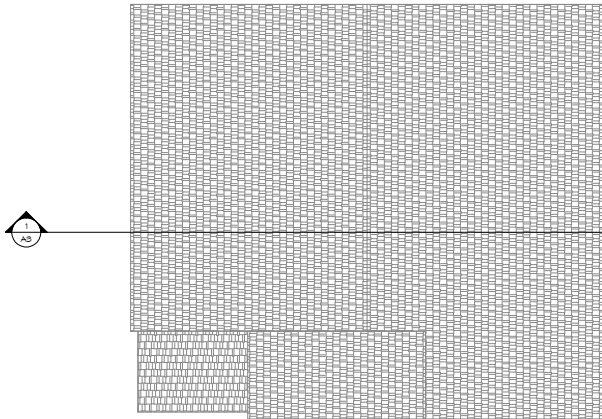


Plans provided were  
deceptive, the stairs didn't fit!  
I made the entry a little more  
comfortable since we did not  
have room for the storage.

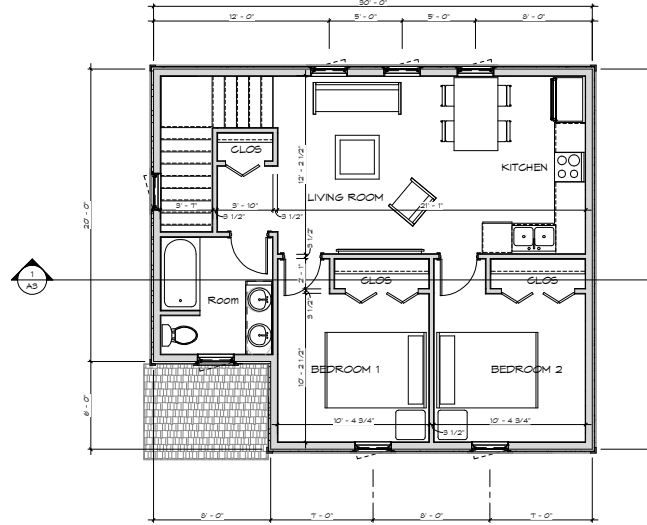


ADU FLOOR AREA = 616sf  
TOTAL FLOOR AREA = 6106sf  
PERIMETER SF = 1326sf

① GARAGE PLAN  
1/4" = 1'-0"



③ ROOF PLAN  
1/4" = 1'-0"



ADU FLOOR AREA = 679sf

② SECOND FLOOR PLAN  
1/4" = 1'-0"

**GENERAL UNIT RCP NOTES**

GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DRAWINGS.

**GENERAL PLAN NOTES**

- GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DRAWINGS.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD, TYP.
- INTERIOR DIMENSIONS ARE GIVEN FROM FACE OF FINISH TO FACE OF FINISH.
- EXTERIOR OPENINGS ARE DIMENSIONED TO CENTER LINE OF OPENING UNLESS NOTED OTHERWISE.
- ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL CODES AS WELL AS STATE AND FEDERAL GUIDELINES.

**LIABILITY/Disclaimer**

WHILE GREAT EFFORT HAS BEEN EXPENDED TO INSURE THAT THIS PLAN IS COMPLETE AND ACCURATE, WILLOW AND SAGE LLC, IN NO WAY ASSUMES NO LIABILITY FOR ANY BUILDING CONSTRUCTION DOCUMENTS PROVIDED BY WILLOW AND SAGE DESIGN LLC ARE PROVIDED AS IS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR OWNER TO PERFORM BUILDING REVISIONS BEFORE BEGINNING CONSTRUCTION. THESE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- A) VERIFY ALL DIMENSIONS.
- B) REVIEW ALL BUILDING REQUIREMENTS.
- C) VERIFY COMPLIANCE WITH THE LOCAL BUILDING CODES.

ON-VEHICLE ACT SITE CONDITIONS. ANY DISCREPANCIES ON HIS PLAN MUST BE RESOLVED BY THE CONTRACTOR/OWNER PRIOR TO CONSTRUCTION. CONSTRUCTION OF ANY BUILDING SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A QUALIFIED BUILDING PROFESSIONAL.

THE CONTENT OF THIS PLAN SHEET IS PROVIDED BY WILLOW AND SAGE DESIGN LLC FOR THE PURPOSE OF CONVEYING THE DESIGNER'S INTENT TO THE ENGINEER OF RECORD, CONTRACTOR OR HOME OWNER. IF NO STRUCTURAL ENGINEER STAMP APPEARS ON THIS PLAN SHEET THE CONTRACTOR AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR ASSURING THE STRUCTURAL INTEGRITY OF THE BUILDING.



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2 SYLVESTER PORTSMOUTH, NH

Scale: 1/4" = 1'-0"  
Date: 5/14/2025  
Project Number: 2024-X

REVISIONS		
NO.	DESCRIPTION	DATE

CONCEPT 3  
FLOOR PLANS

A1

CONCEPTUAL DESIGN - NOT FOR CONSTRUCTION

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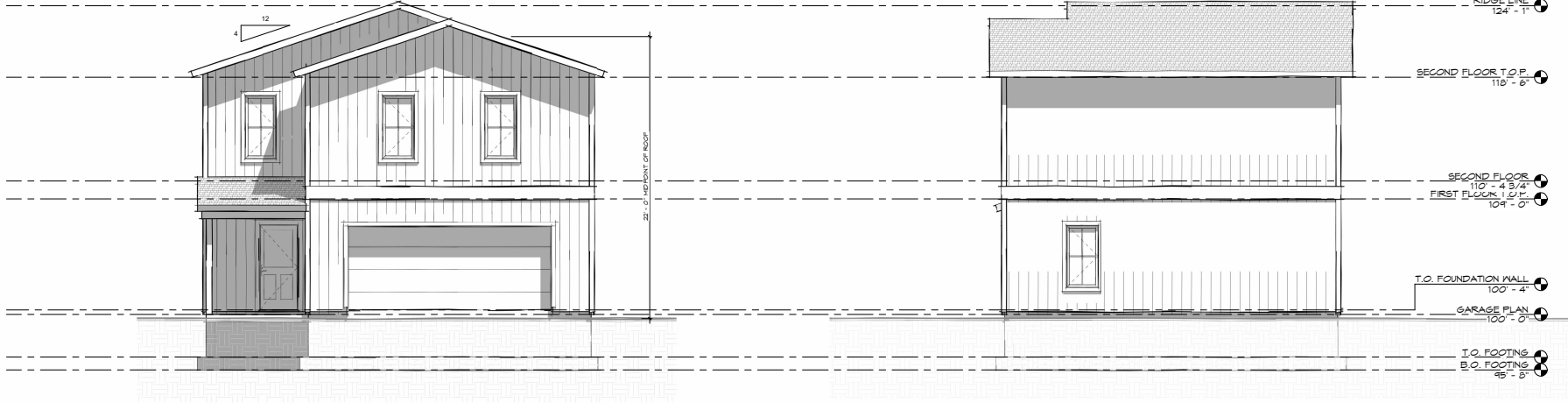
REVISIONS		
NO.	DESCRIPTION	DATE

CONCEPT 3

ELEVATIONS

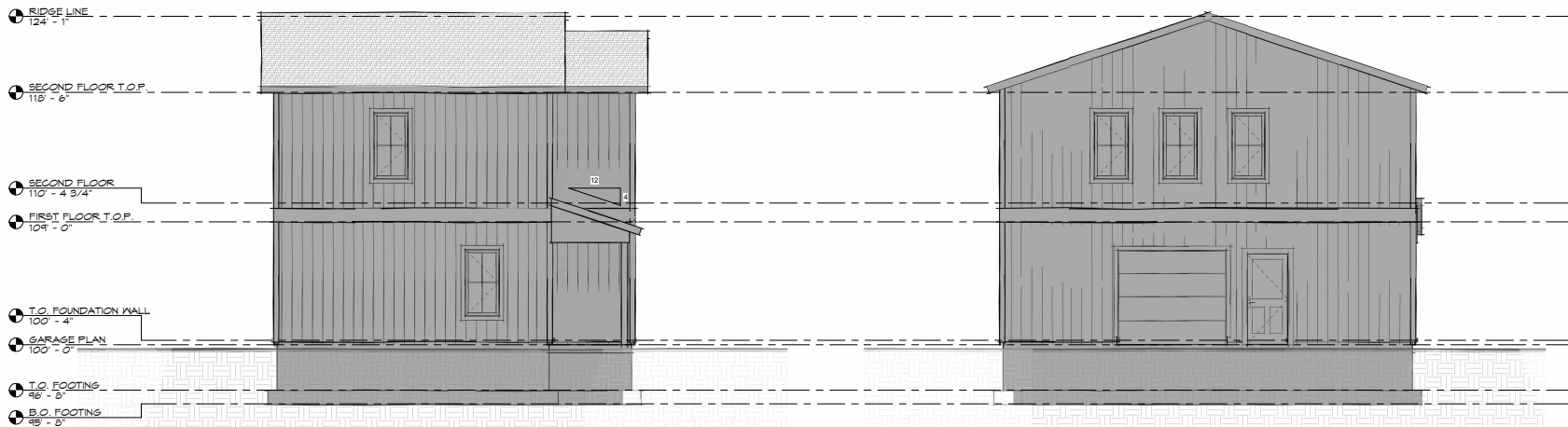
A2

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④ EAST ELEVATION  
1/4" = 1'-0"

① WEST ELEVATION  
1/4" = 1'-0"



② NORTH ELEVATION  
1/4" = 1'-0"

③ SOUTH ELEVATION  
1/4" = 1'-0"

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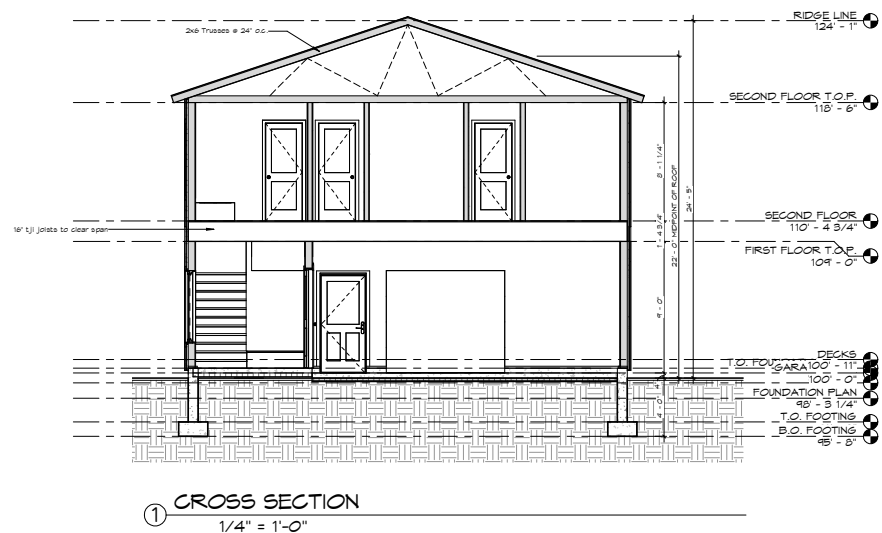
REVISIONS		
NO.	DESCRIPTION	DATE

CONCEPT 3

BUILDING  
SECTIONS

A3

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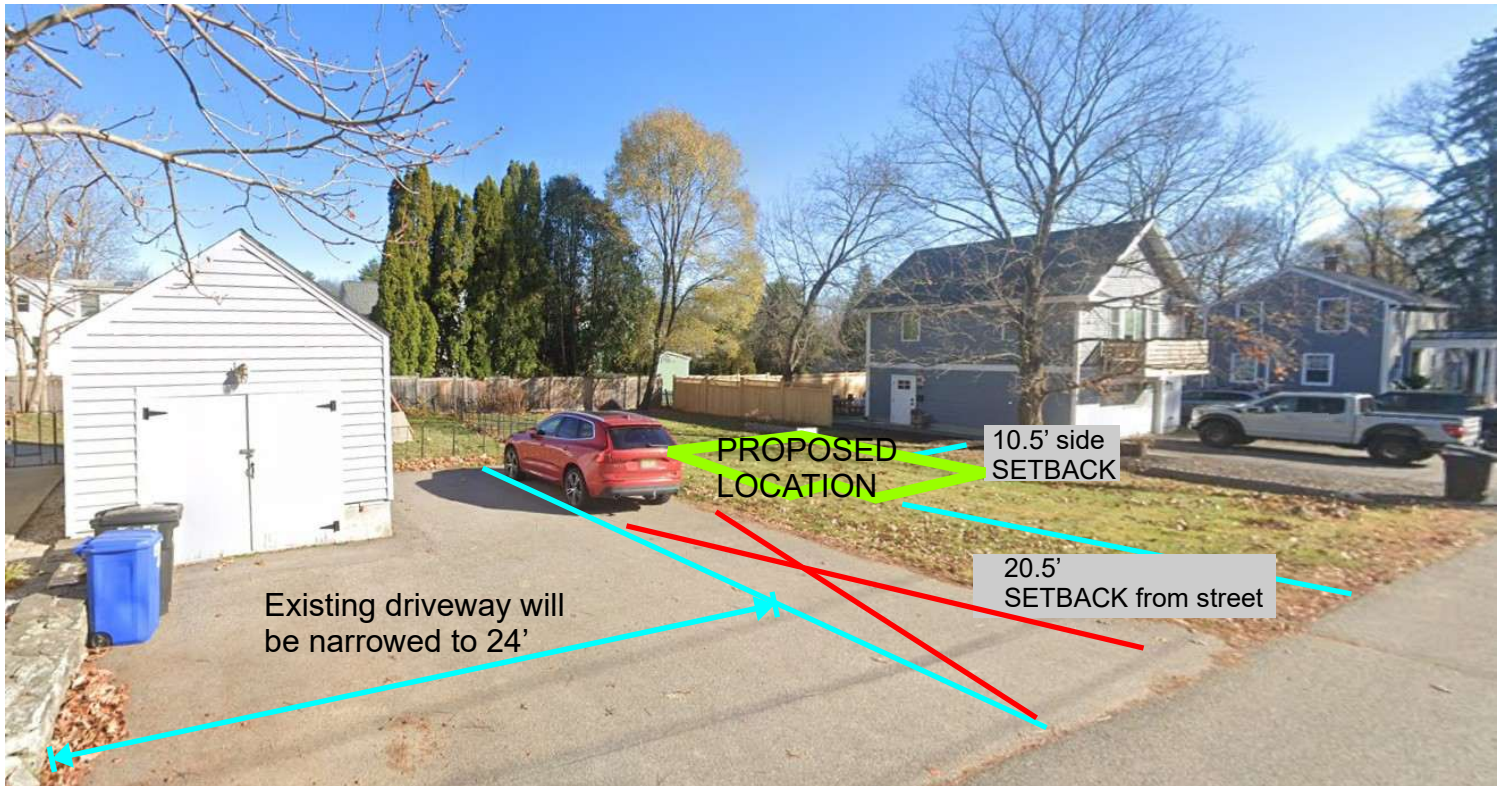
CONCEPTUAL DESIGN - NOT FOR CONSTRUCTION



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2 Sylvester Street  
Portsmouth, NH 03801

proposed Detached Accessory Dwelling Unit location  
(not to scale)

photo 1

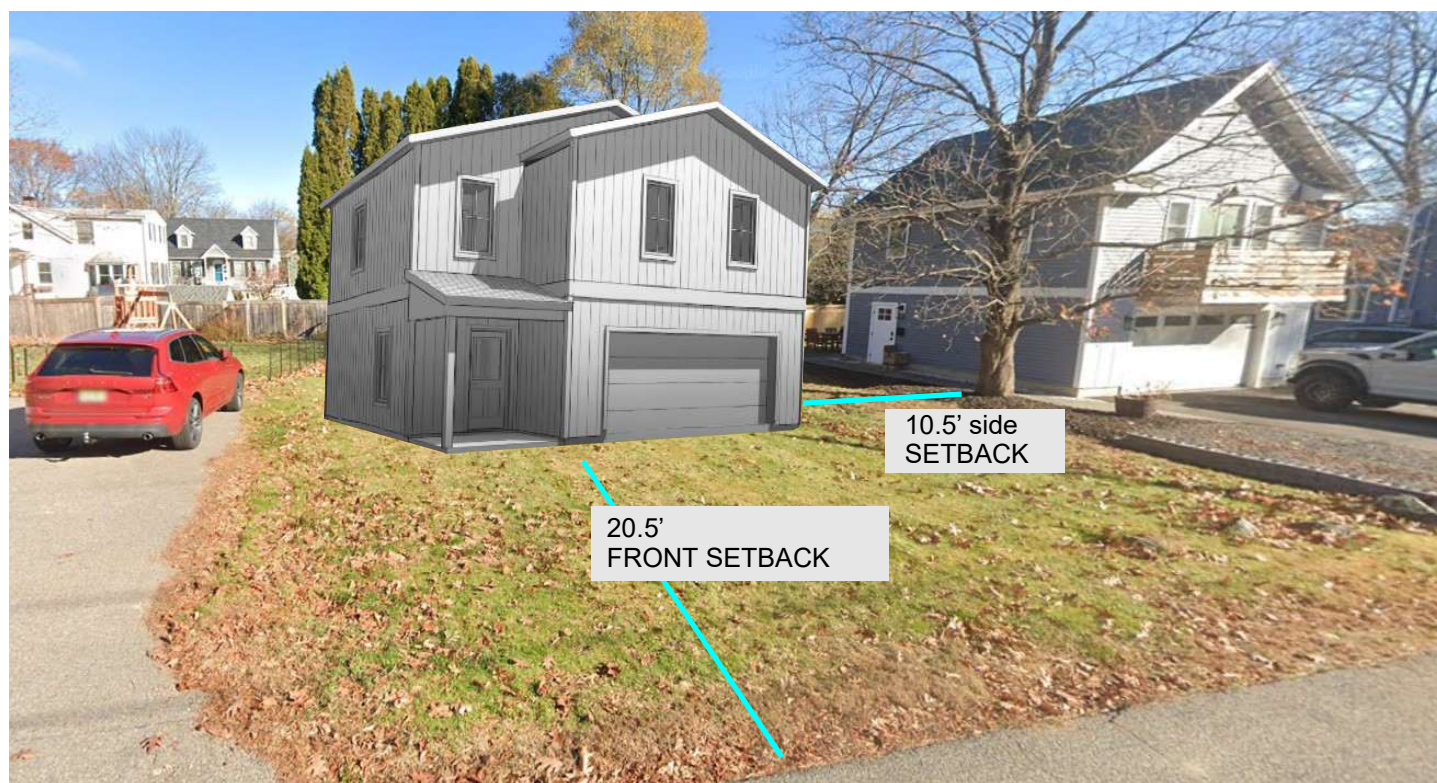




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(not to scale)

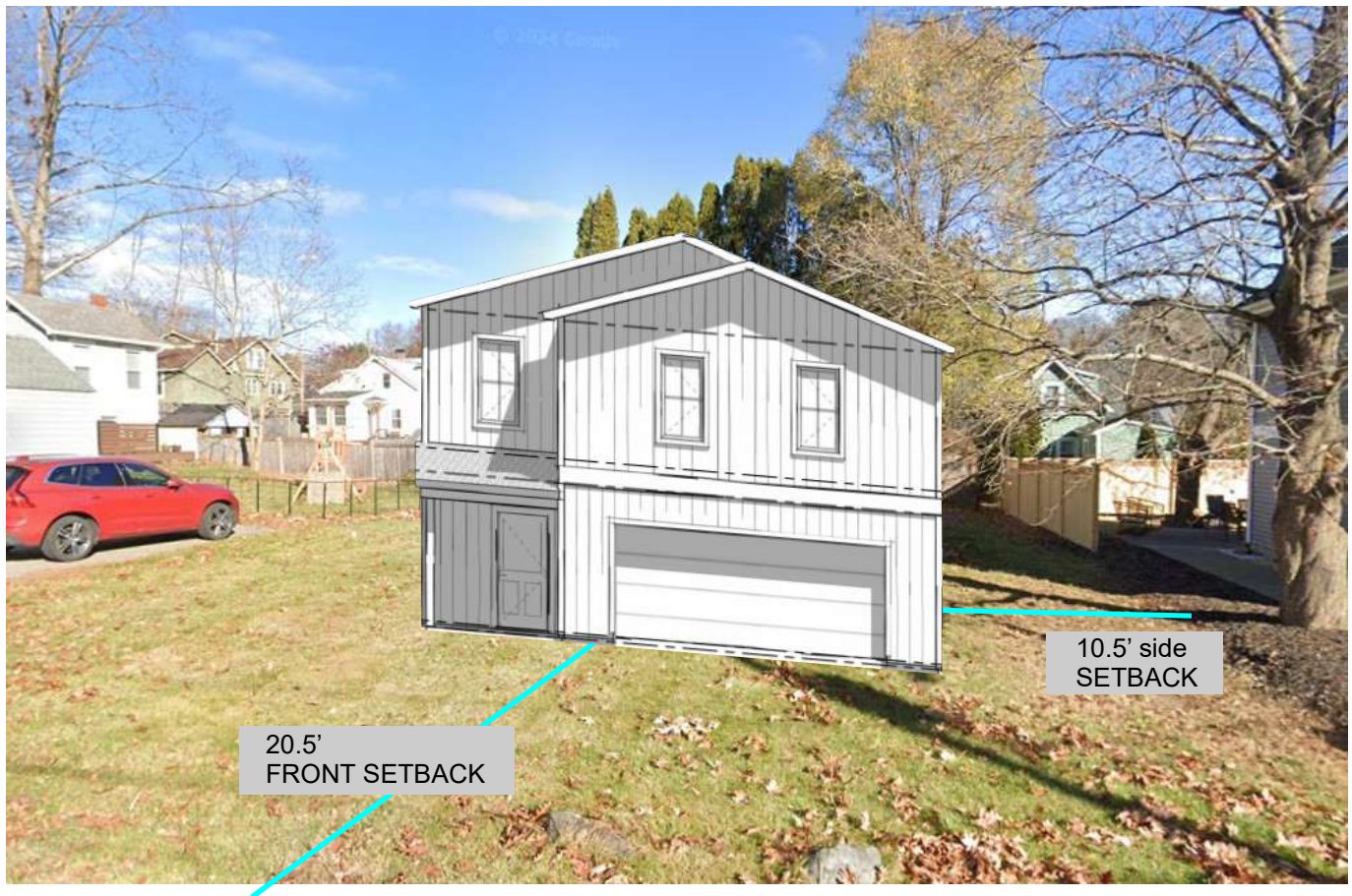
photo 2



Karolina and Paul Roggenbuck  
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proposed Detached Accessory Dwelling Unit location  
(not to scale)

photo 3





Karolina and Paul Roggenbuck  
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site photos (page 1 of 7)





Karolina and Paul Roggenbuck  
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site photos (page 2 of 7)





Karolina and Paul Roggenbuck  
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site photos (page 3 of 7)





Karolina and Paul Roggenbuck  
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site photos (page 4 of 7)





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site photos (page 5 of 7)





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site photos (page 6 of 7)





Karolina and Paul Roggenbuck  
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site photos (page 7 of 7)

