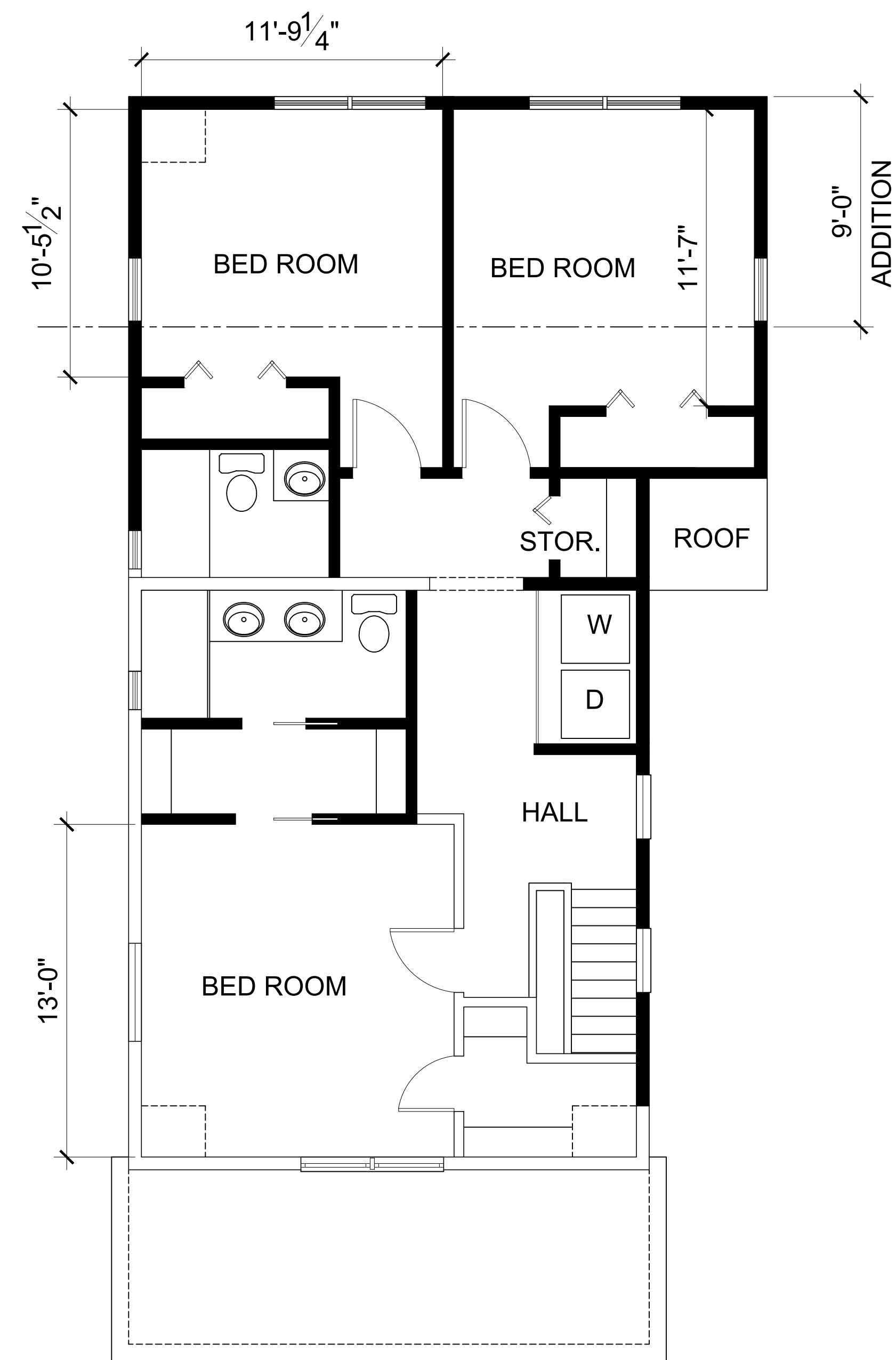
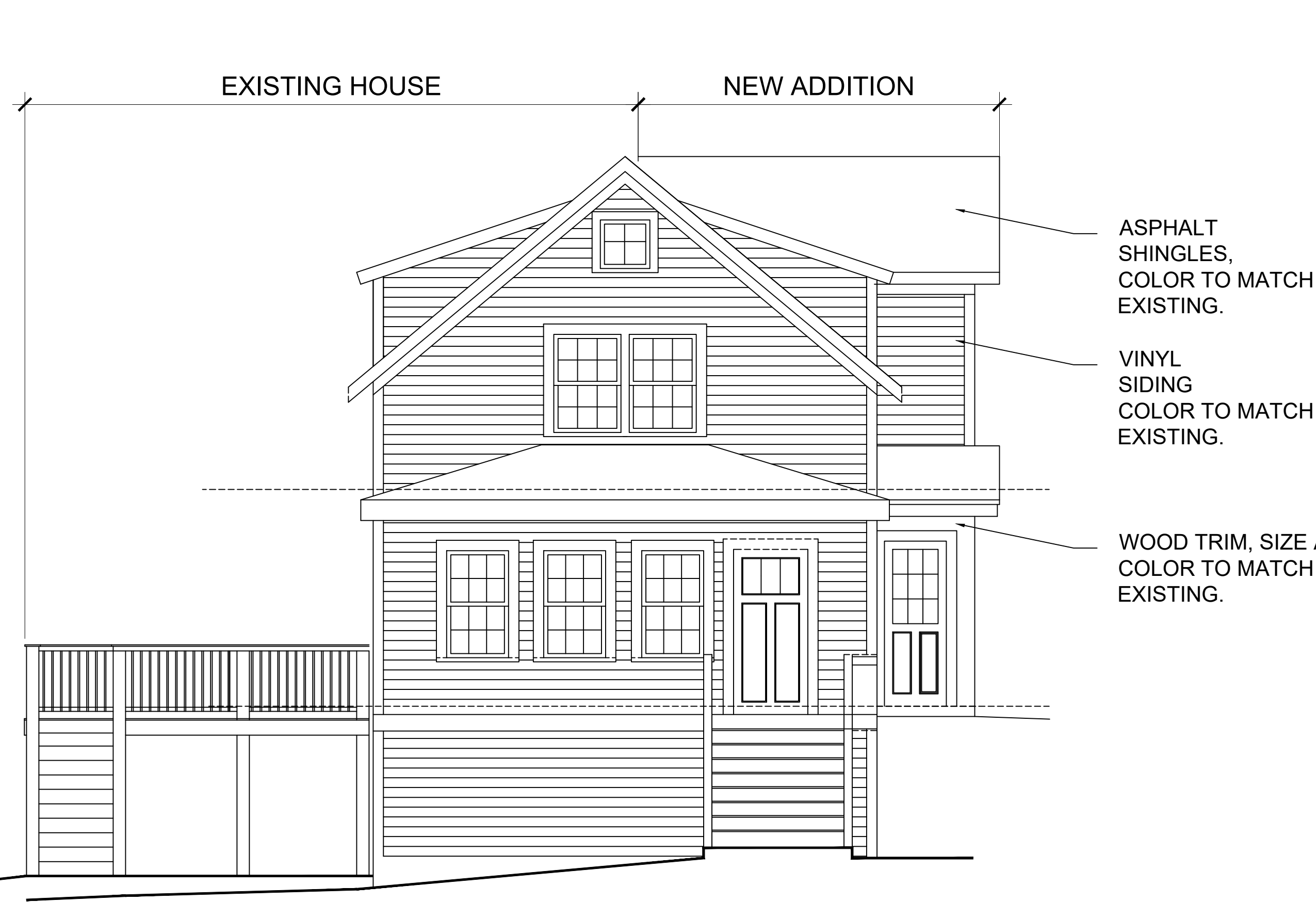


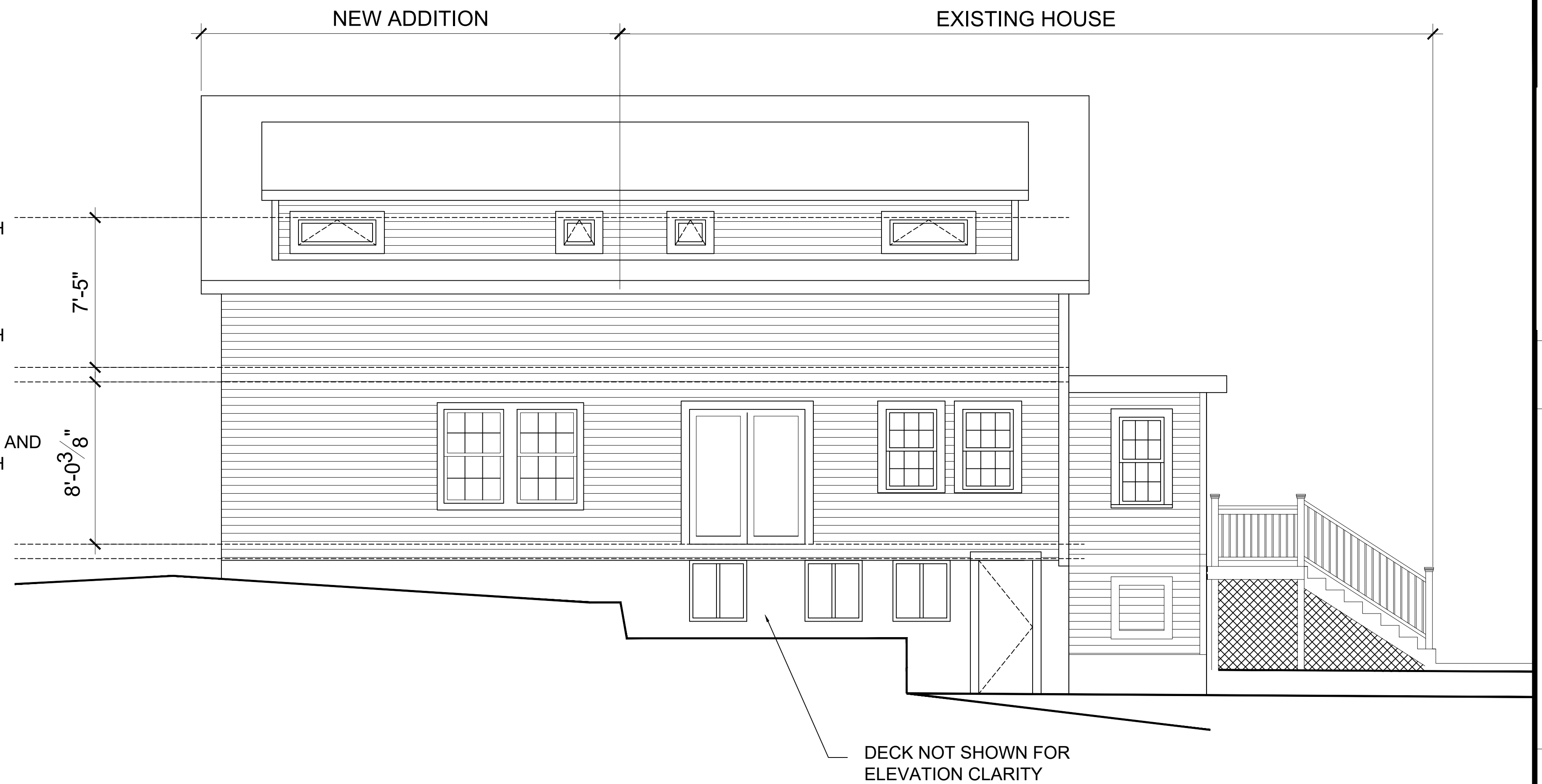
1 PROPOSED FIRST FLOOR
SCALE - 1/4" = 1'-0"



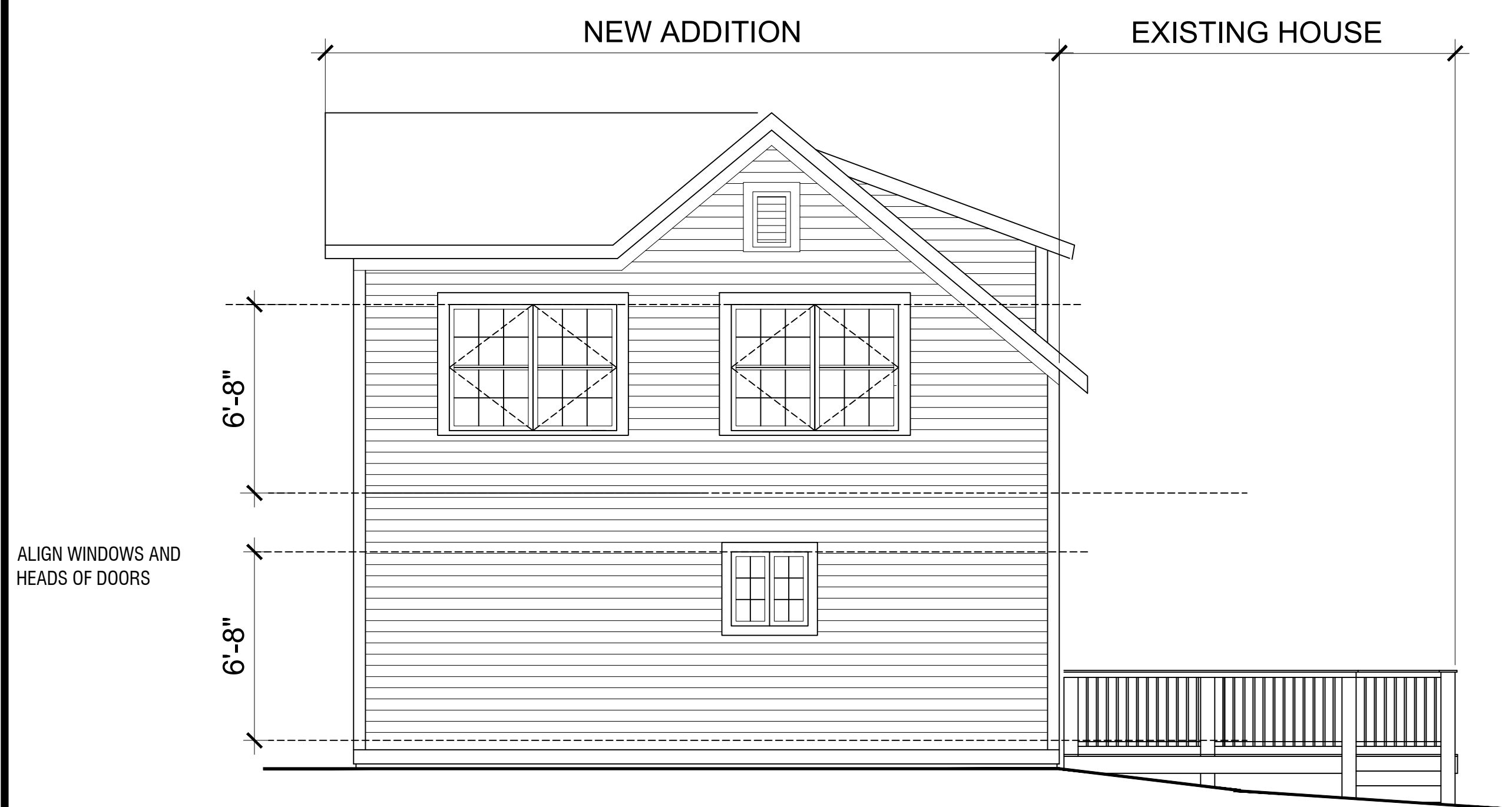
2 PROPOSED SECOND FLOOR
SCALE - 1/4" = 1'-0"



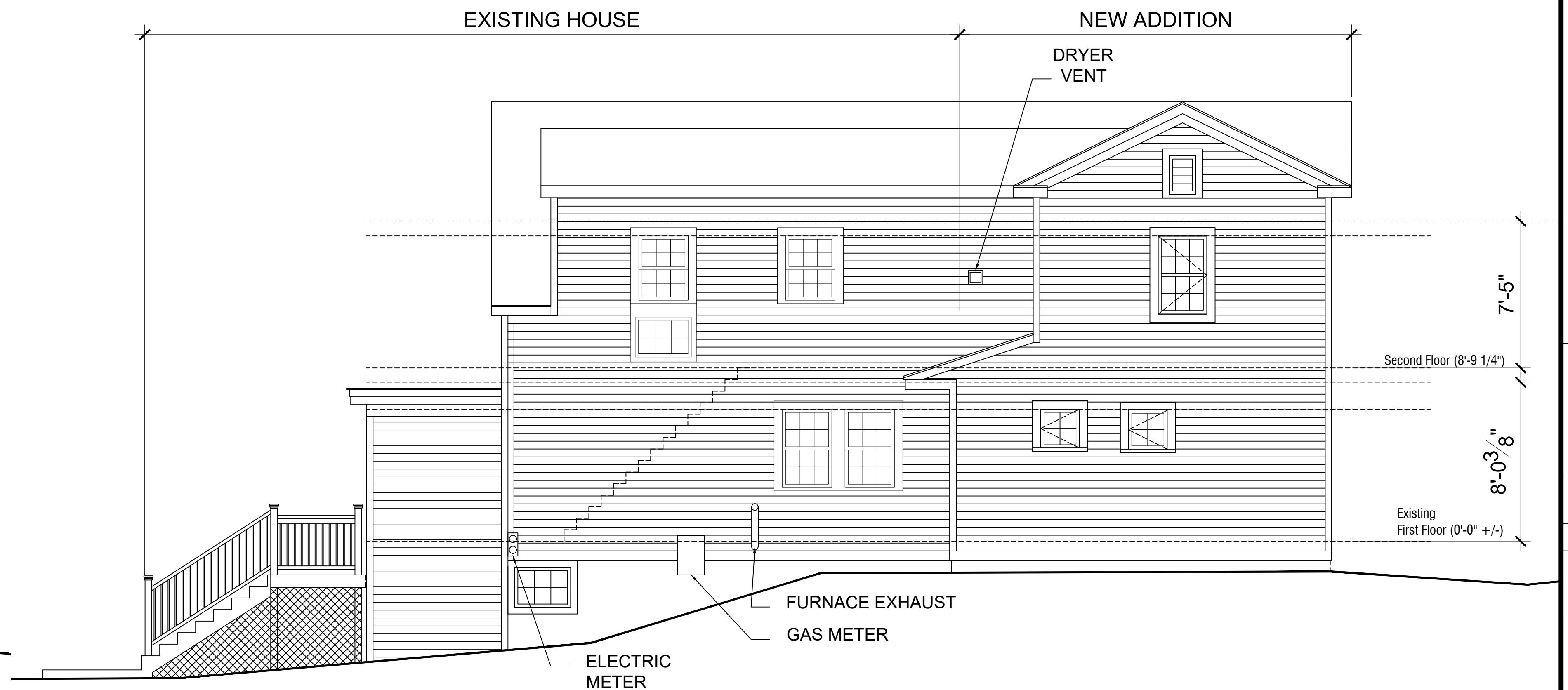
1 NORTH ELEVATION
SCALE - 1/4" = 1'-0"



2 EAST ELEVATION
SCALE - 1/4" = 1'-0"



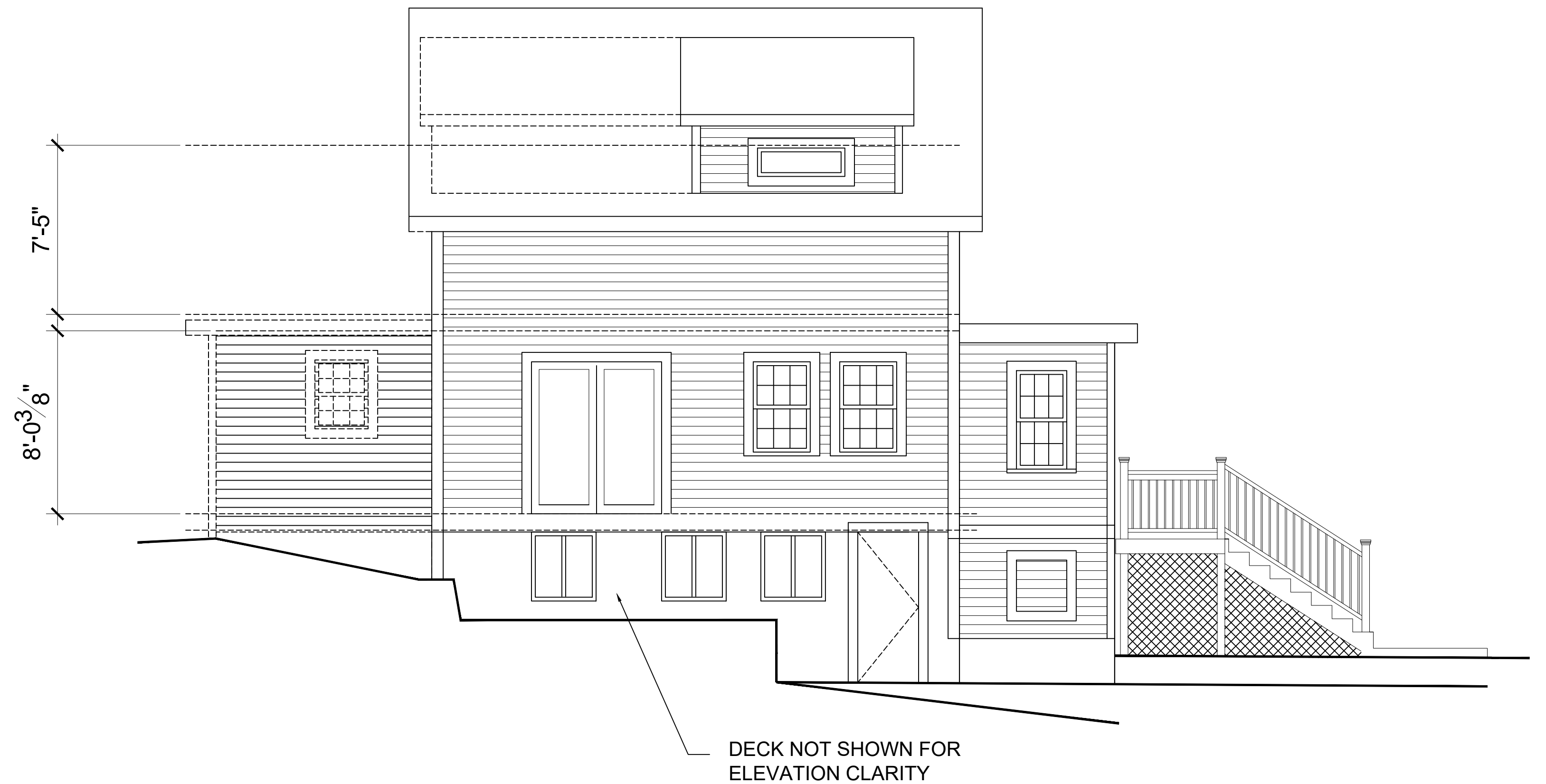
3 WINDOW SCHEDULE
SCALE - 1/4" = 1'-0"



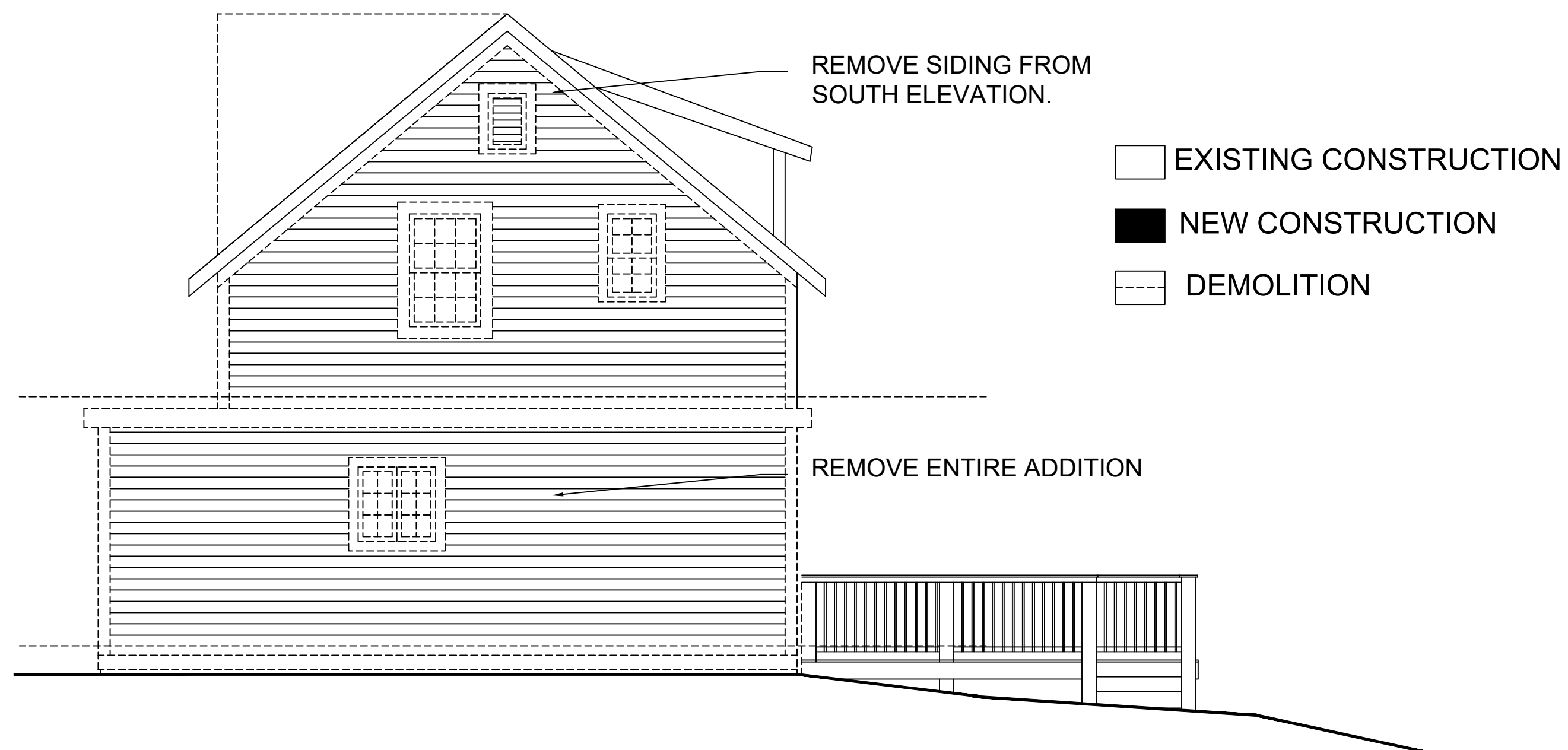
4 WEST ELEVATION
SCALE - 1/4" = 1'-0"



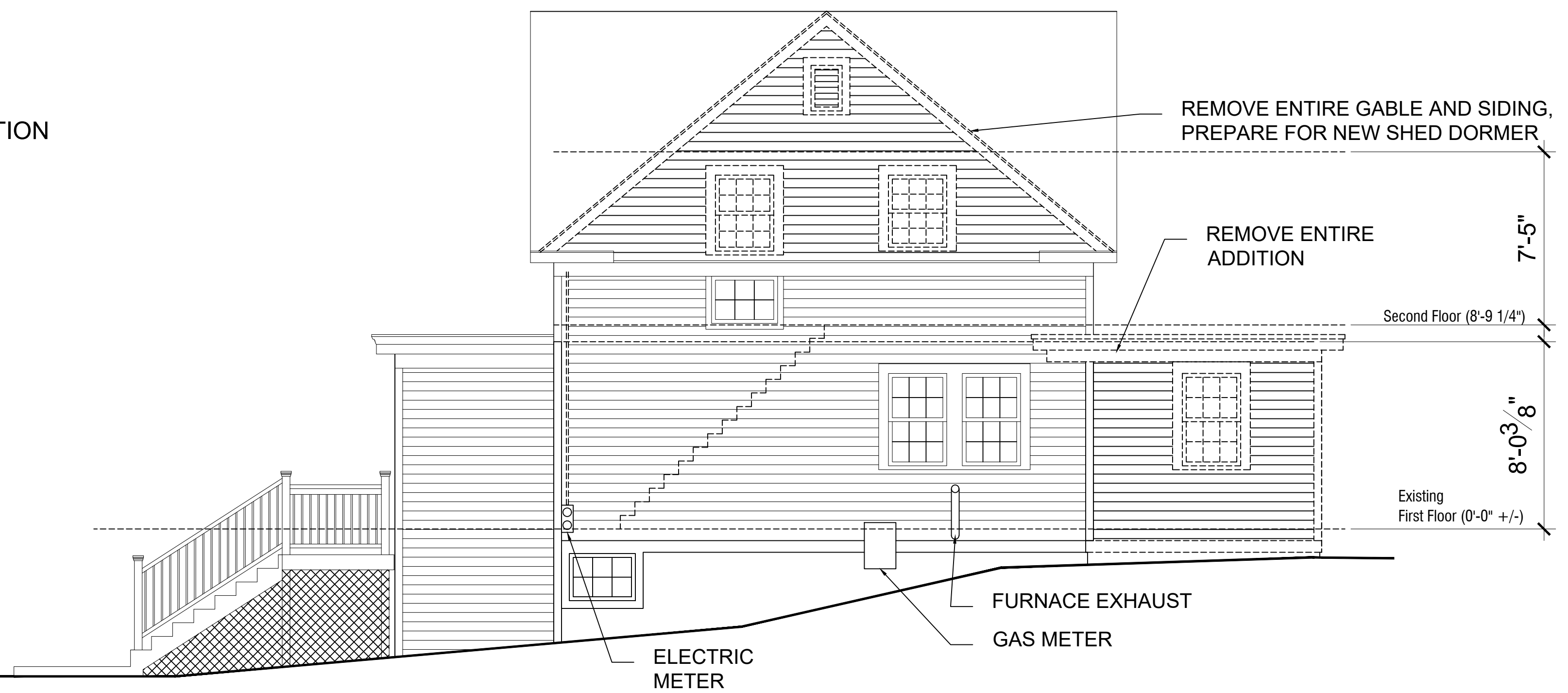
1 DEMO NORTH ELEVATION
SCALE - 1/4" = 1'-0"



3 DEMO EAST ELEVATION
SCALE - 1/4" = 1'-0"



2 DEMO SOUTH ELEVATION
SCALE - 1/4" = 1'-0"



4 DEMO WEST ELEVATION
SCALE - 1/4" = 1'-0"



Existing East Elevation

Existing North Elevation

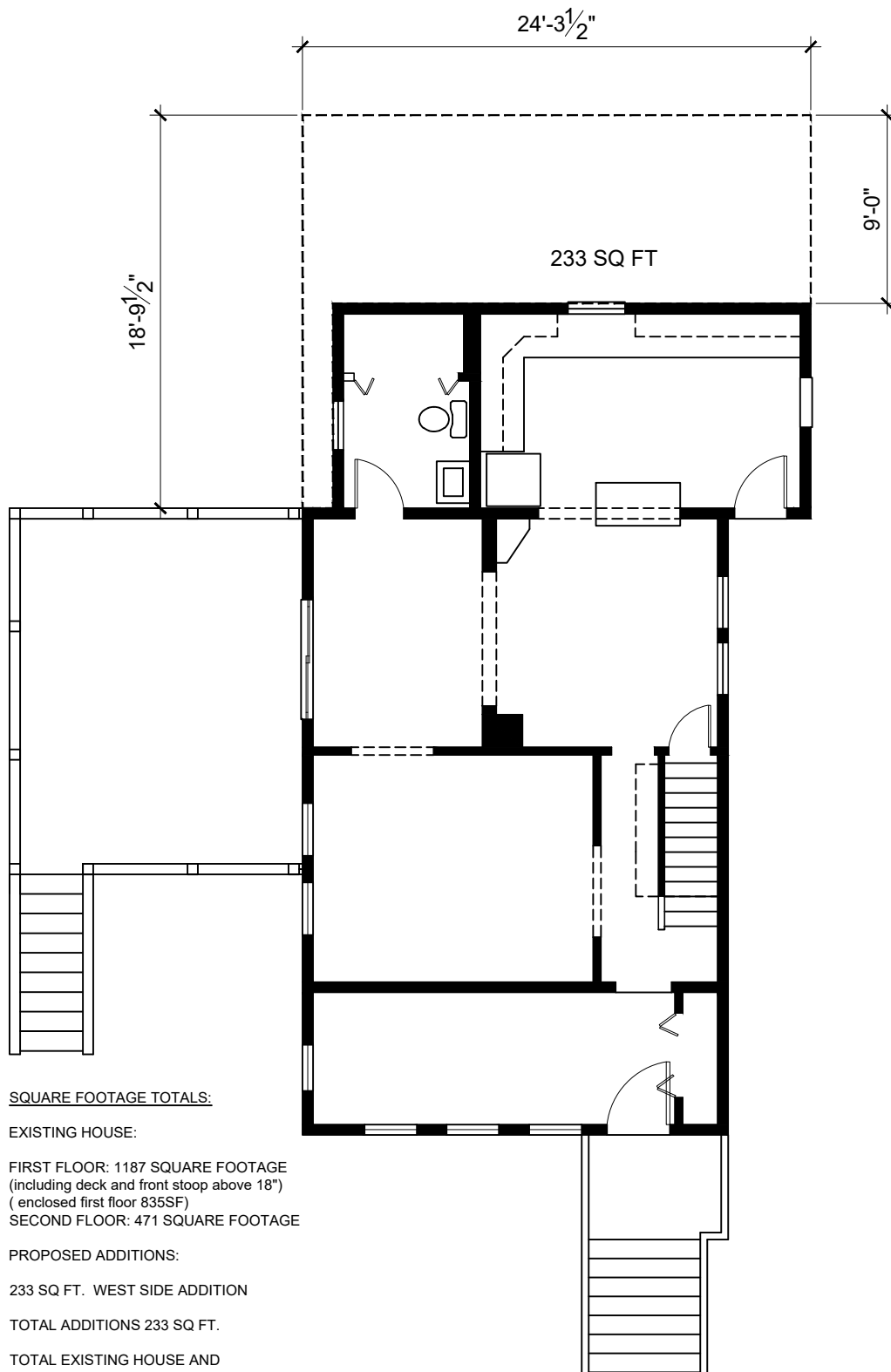




Existing South Elevation



Existing West Elevation



adaptDESIGN

FIRST FLOOR PLAN
REICHL RESIDENCE
5 SYLVESTER STREET
PORTSMOUTH, NH

06.26.2019
Hron Brother's Construction
288 Currier Hill Rd
Gilmanton, N.H. 03220

Project Representative:
Tim Hron
603.630.1525

Requirements for Granting of Variance

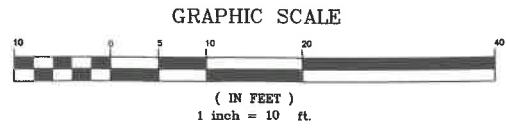
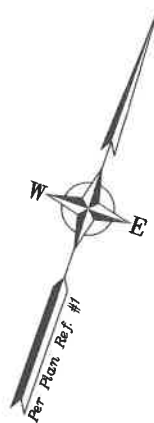
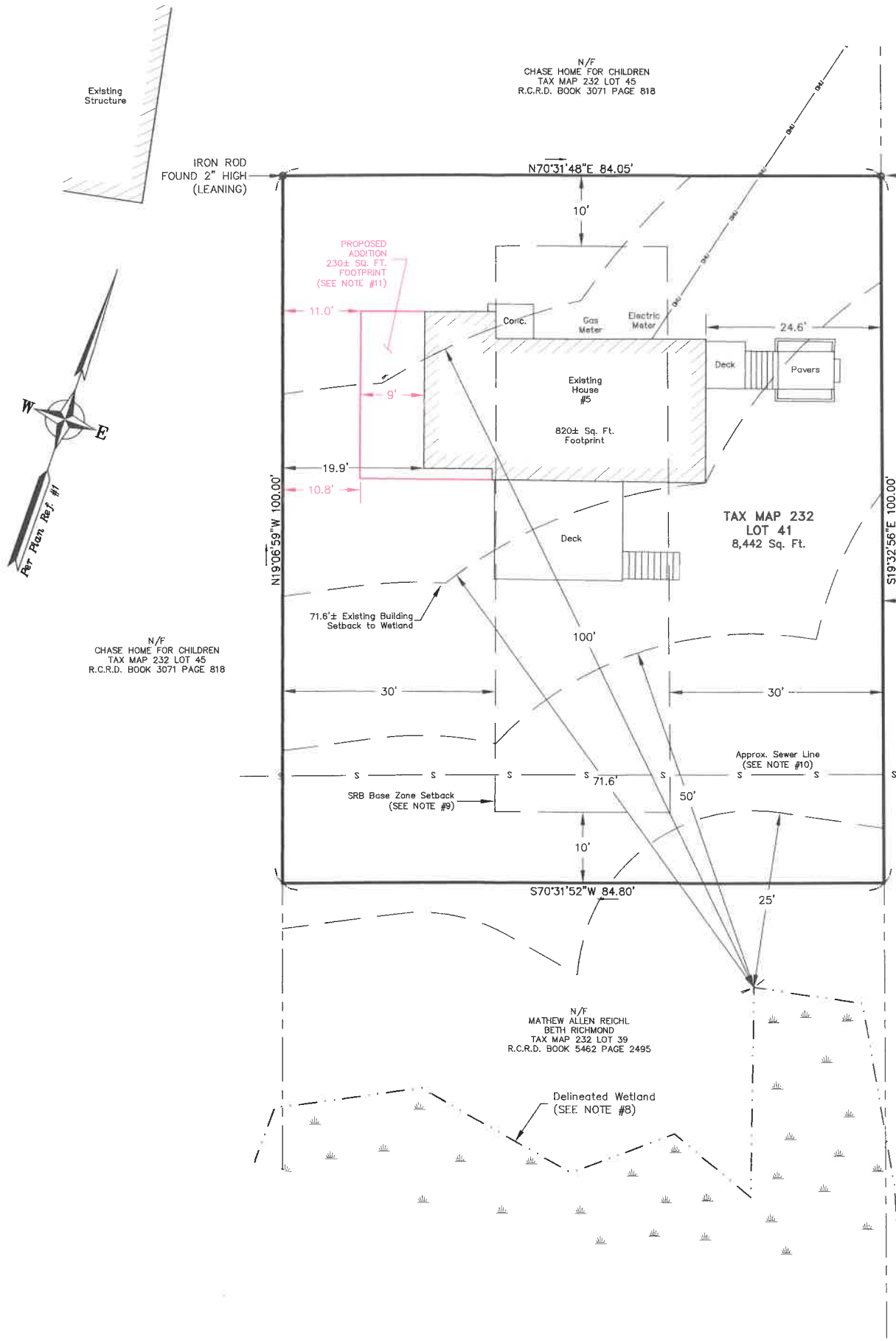
Located at 5 Sylvester St is Lot 41 of Tax Map 232, owned by Matt Reichl and Beth Richmond. Although there is no wetland located on Lot 41, there is approximately 7380 sf of inland wetland buffer situated on the property.

Due to the wetland buffer, the shape of the lot, as well as the location of the existing structure, there are multiple hardships and pre-existing nonconformities. In an attempt to minimize the impact to wetland buffer zones, Hron Brother's Construction is proposing the construction of a 2-story addition (233sf footprint) projecting 9ft off of the rear (west) end of the existing structure. In doing so there would be no new construction within 80ft of wetlands as well as only approximately 200sf of inland wetland buffer zone being built within.

We believe that this approach would not alter the essential character of the neighborhood, nor would it affect public health or safety. As this is a relatively wooded, rural, area of Portsmouth the benefit of the homeowners would not negatively affect the public's interest. In addition, the proposed work would be done to an early 1900's home, who's exterior has been neglected over the years. In doing so, the surrounding property values would only benefit from the proposed work.

As stated previously, the amount of wetland buffer coverage (+/- 80%) on the property, as well as the existing structure being tucked into the southwest corner of the property creates multiple hardships to the home owner's. In an attempt to minimize the impact to wetland buffers as well as keeping with the character of the neighborhood, we feel this would be the best option not only for the home owners, but also the least impactful proposition to abutters and the general public

Thank you,
Tim Hron



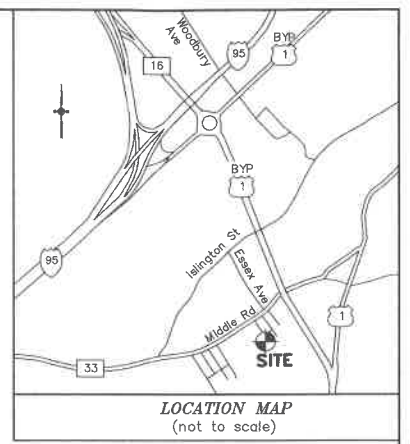
ZONING DATA PER CITY OF PORTSMOUTH ZONING ORDINANCE
(LAST AMENDED: AUGUST 20, 2018 - SEE NOTE #6):

ZONE: SINGLE RESIDENCE B (SRB)

REQUIREMENTS: *

- MINIMUM LOT AREA: 15,000 Sq. Ft.
- PER DWELLING UNIT: 15,000 Sq. Ft.
- CONTINUOUS STREET FRONTAGE: 100 Ft.
- MINIMUM LOT DEPTH: 100 Ft.
- MINIMUM FRONT YARD: 30 Ft.
- MINIMUM SIDE YARD: 10 Ft.
- MINIMUM REAR YARD: 30 Ft.
- MAXIMUM STRUCTURE HEIGHT: 35 Ft.
- MAXIMUM BUILDING COVERAGE: 20%
- MINIMUM OPEN SPACE: 40%

*PER CITY OF PORTSMOUTH ZONING ORDINANCE SECTION 10.521
TABLE OF DIMENSIONAL STANDARDS-RESIDENTIAL AND MIXED
RESIDENTIAL DISTRICTS



- PLAN REFERENCES:**
- "EASEMENT PLAN, PLAN FOR: ACCESS EASEMENT MARJORIE STREET, PORTSMOUTH, NH" PREPARED BY BEAL ASSOCIATES, PLLC, DATED MARCH 2013 AND RECORDED AT THE R.C.R.D. AS PLAN D-37716
 - "A PLAN OF LAND IN PORTSMOUTH, N.H. FOR THE CHASE HOME FOR CHILDREN", PREPARED BY JOHN W. DURGIN ASSOCIATES, INC., DATED SEPTEMBER 10, 1980. PLAN NO.: 5899.
 - "PROSPECT PARK, PORTSMOUTH, N.H., BELONGING TO LEAVITT, WOODWORTH & SWEATT, 30 COURT STREET, BOSTON, MASS.", PREPARED BY JOHN N. MCCLINTOCK, DATED APRIL 30, 1903 AND RECORDED AT THE R.C.R.D. AS PLAN #00225.
 - "PLAN OF LAND PORTSMOUTH, N.H., FOR MAX MILTON", PREPARED BY JOHN W. DURGIN, DATED JULY, 1974.
 - "EXISTING CONDITIONS PLAN FOR PROPERTY AT 5 SYLVESTER STREET, PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE, OWNED BY MATTHEW ALLEN REICHL & BETH RICHMOND", PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED 11/13/18.
- NOTES:**
- OWNERS OF RECORD:
TAX MAP 232 LOT 41
MATHEW ALLEN REICHL
BETH RICHMOND
R.C.R.D. BOOK 5462 PAGE 2495
DATED JULY 19, 2013
 - TOTAL EXISTING PARCEL AREA:
TAX MAP 232 LOT 41
8,442 SQ. FT.
 - BASIS OF BEARING IS PER PLAN REFERENCE #1.
 - APPROXIMATE ABUTTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
 - EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
 - ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE CITY OF PORTSMOUTH PRIOR TO DESIGN OR CONSTRUCTION.
 - THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS, FIELD EVIDENCE AND PAROL TESTIMONY RECOVERED AT THE TIME OF SURVEY AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE.
 - THE WETLAND BOUNDARY AS DEPICTED ON THIS PLAN WAS DELINEATED/FLAGGED BY JOSEPH W. NOEL, ME CERTIFIED SOIL SCIENTIST #209, IN OCTOBER 2018. THE FLAGS WERE SURVEY LOCATED BY NORTH EASTERLY SURVEYING INC. IN OCTOBER 2018. THE DELINEATION WAS CONDUCTED IN ACCORDANCE WITH THE U.S. ARMY CORPS OF ENGINEERS DOCUMENT CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, (1987) ALONG WITH THE REQUIRED REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND MANUAL: NORTHCENTRAL AND NORTHEAST REGION, (VERSION 2, JANUARY 2012).
 - HYDRIC SOIL DETERMINATIONS WERE CONDUCTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE DOCUMENT FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 7.0 (2010) ALONG WITH THE MANUAL FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND (VERSION 3, APRIL 2004).
 - PLANT SPECIES INDICATOR STATUS WAS BASED ON THE U.S. ARMY CORPS OF ENGINEERS PUBLICATION THE NATIONAL WETLAND PLANT LIST (2013).
 - REFERENCE IS MADE TO "GRANT OF DRIVEWAY EASEMENT" RECORDED AT THE R.C.R.D. AT BOOK 5432 PAGE 704.
 - LOT IS SUBJECT TO A SEWER EASEMENT. LOCATION SHOWN IS APPROXIMATE PER PLAN REFERENCE #4.
 - REFER TO DESIGN DRAWINGS PROVIDED BY HRON BROTHER'S CONSTRUCTION FOR BUILDING DIMENSIONS AND SPECIFICATIONS.

BUILDING COVERAGE CALCULATION:		
	EXISTING	PROPOSED
LOT AREA:	8,442 SQ. FT.	8,442 SQ. FT.
HOUSE	820± SQ. FT.	1,050± SQ. FT.
DECKS	290± SQ. FT.	290± SQ. FT.
TOTAL	1,110± SQ. FT. (13.1%)	1,340± SQ. FT. (15.9%)
OPEN-SPACE COVERAGE CALCULATION:		
LOT AREA:	8,442 SQ. FT.	
HOUSE	820± SQ. FT.	1,050± SQ. FT.
DECKS	290± SQ. FT.	290± SQ. FT.
STEPS/PAVERS	100± SQ. FT.	100± SQ. FT.
CONC.	27± SQ. FT.	27± SQ. FT.
TOTAL	1,237± SQ. FT.	1,467± SQ. FT.
OPEN SPACE	7,205± SQ. FT. (85.3%)	6,975± SQ. FT. (82.6%)



PROPOSED SITE PLAN

FOR PROPERTY AT

5 Sylvester Street

Portsmouth, Rockingham County, New Hampshire

OWNED BY

Mathew Allen Reichl
Beth Richmond

5 Sylvester Street, Portsmouth, NH 03801

North

EASTERLY

SURVEYING, Inc.

SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1
(207) 439-6333 KITTERY, MAINE 03904

SCALE: 1" = 10'	PROJECT NO. 18738	DATE: 6/26/19	SHEET: 1 OF 1	DRAWN BY: A.M.P.	CHECKED BY: P.L.A.
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DRAWING No: 18738_SITE
FIELD BOOK No: "Portsmouth #17"

Tax Map 232 Lot 41

REV.	DATE	STATUS	BY	CHKD	APPD.