

Chairman of the Board of Adjustment
C/O Planning Department City of Portsmouth
1 Junkins Ave.
Portsmouth, NH 03801

Date: November 24, 2020

To the Chairman of the Board of Adjustment,

Please find this Letter of Intent in support of Request for Variance for 303 Thornton St, Portsmouth, NH 03801.

This Letter of Intent is in support of relief from front setback for a proposed addition onto our existing non-conforming home. The intent of this addition is to expand by 12' x 30', adding two stories to our existing structure. As such, based on the current code, I am seeking relief from section 10.521 for the addition to be constructed within the front setback.

My current home is built on a non-complying lot of record located in a "GRA" residential district. The current zoning requirement effective for the "GRA" lot district calls for a 15-foot setback, and although not a requirement for my lot, would keep in spirit of the intent and would remain consistent with "GRA" zoning and my neighborhood. As a result of the site plan, it would require a variance on the west side (front) to allow for a 5-foot setback.

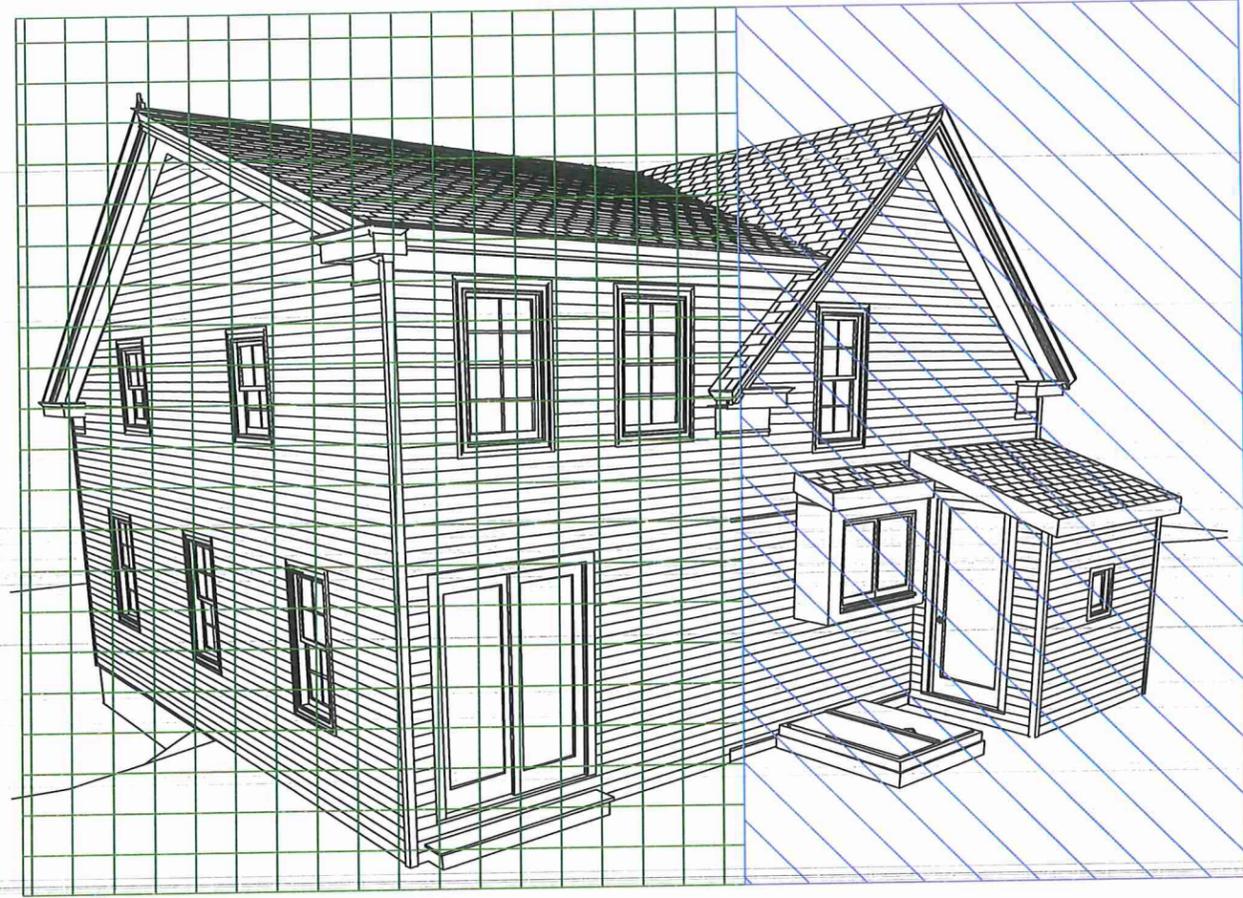
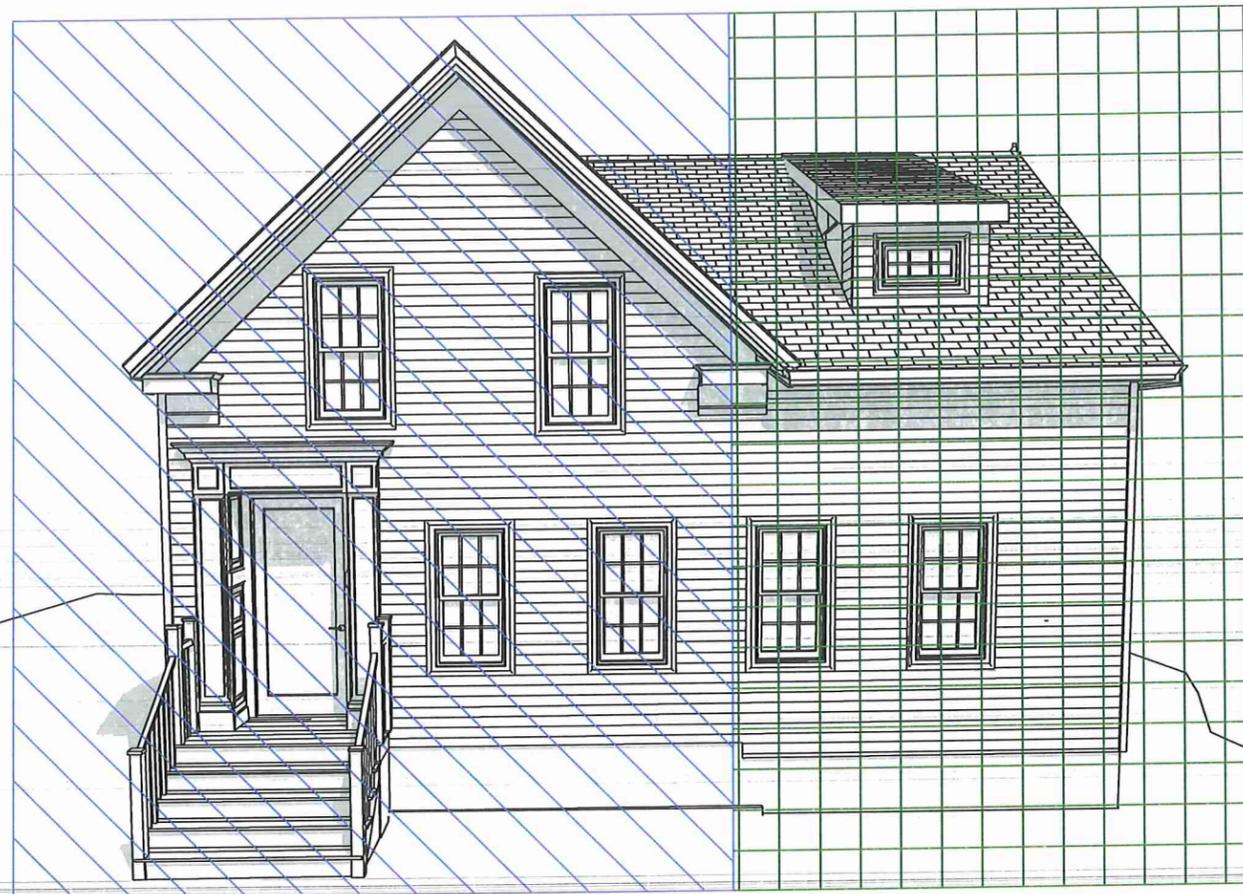
With the proposed addition I am asking for relief in full respect to the board criteria:

- (1) that the new addition is intended to stay within the character of the neighborhood and comply with section 10.233.20 of the city of Portsmouth, NH Zoning ordinance agreement
- (2) with our community growing, the investment to the property would positively impact our existing neighborhood
- (3) the proposed style and structure of the house is in conjunction with the existing neighborhood
- (4) the proposed project would result in an overall increase in property value and tax base created by these improvements.
- (5) given the existing non-conforming placement of the home sitting within the front property setback our hardship cannot be avoided. The only to cost effectively expand our modest footprint on the first floor living space and a second floor to add a 3rd bedroom is to stay within the existing front footprint line. The barriers that exist at the back are the location of the bulkhead and the existing 2nd floor bathroom and additionally the left side of the property is also within setback equally forcing us to seek a variance. After much review, an addition off the front is cost-effective, stays with the spirit of the neighborhood and the original design of the home.

Thank you for your time. I appreciate the Boards' consideration in this matter.

Respectfully submitted,

Sean C Miller
303 Thornton Street
Portsmouth, NH 03801



OVERVIEW FRONT VIEW

SCALE: NTS

SPECIFICATIONS + NOTES

- *ROOFING MATERIAL: TO MATCH EXISTING
- *ALL TRIM PACKAGE: TO MATCH EXISTING
- *SIDING: TO MATCH EXISTING
- *BRACKETS: ProWood Market - Bracket 02T9 - P 32", H:42", T: 5.5" (Pld: WHITE)

*WINDOWS ALL NEW

- _MANUFACTURER: MATTHEW BROTHERS
- _EXT. FINISH: WHITE
- _INT. FINISH: WHITE

*DOORS ALL NEW

- _MANUFACTURER: REEB WOOD (INTERIOR) JELD-WEN (EXT. SLIDER)
- _EXT. FINISH: WHITE
- _INT. FINISH: WHITE

*BATHROOMS:

- _FLOORING: TILE
- _SHOWER FLOOR: TILE
- _SHOWER WALLS: TILE
- _SHOWER HEADS: KOHLER OR EQ.
- _SHOWER NICHE VS. SHELVES
- _SHOWER DOOR
- _NOTE: MAJOR PLUMBING CHANGES

*FLOORING:

- _1ST FLOOR: TO MATCH EX.
- _2ND FLOOR: TO MATCH EX.

*KITCHEN:

- _CABINETS: Specs to be prepared on 11 x 17 doc.
- _BUILT-IN NOTES:
- _APPLIANCES: TO REMAIN
- *MANTLE: TO BE DESIGNED AS CORNER UNIT
- *FIREPLACE: JACKSONS
- _GAS
- _WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK
- _HEARTH: RAISED VS. FLUSH

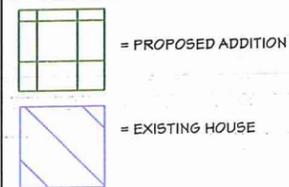
NOTES:

- *CEILING HEIGHTS: 1ST FLOOR: 8' | 2ND FLOOR: EXISTING: 6'2" | ADDITION: 9'6"
- *CORNER BOARDS: 6" TYP
- *WATER TABLE: TO MATCH EXISTING
- *RAKE BOARD: TO MATCH EXISTING
- *SOFFIT - BEADBOARD AZEC OR EQ.
- *ROOF VENT - RIDGE VENT VS. BROSCO LOUVERED VENT VS. SOFFIT VENT
- *ARCHITECTURAL DETAIL:
- *WINDOW TRIM: TO MATCH EXISTING

TOTAL LIVING AREA:

- EXISTING: 956 SF
- PROPOSED: 1,662 SF
- DISTURBED AREA: 353 SF

CAD BLOCK KEY



GENERAL NOTES:

1. DO NOT SCALE DRAWINGS
2. ALL TRASH GENERATED BY THE CONTRACTOR WILL BE PLACED IN A TRASH CONTAINER PROVIDED BY THE CONTRACTOR ON SITE AT THE END OF EACH DAY.
3. VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIAL. NOTIFY DESIGNER OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.
4. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE PERFORMED BY SUB-CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR AND INTERIOR DESIGNER WITH RESPECT TO LIGHTING AND CEILING DETAILS.
5. COORDINATE ALL ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR, AND WALL SPACES. VERIFY LOCATIONS WITH DESIGNER.
6. IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO COMPLETE THE WORK WITHIN THE RECOGNIZED STANDARDS OF THE CONSTRUCTION INDUSTRY.

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



OVERVIEW

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- 18 CABINETRY
- 19 PERSPECTIVES

CLIENT:

SEAN MILLER & DEE VENELLO
503 THORNTON STREET
PORTSMOUTH, NH

CONTACT:

AMY DUTTON HOME
9 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.703.0646

DATE:

12/4/20

SCALE:

SCALED FOR:
24" X 36"

DRAWING SCALE

SHEET:

A1

CALCULATIONS

ZONING MAXIMUMS:

front setback: 15'
 rear setback: 20'
 side setbacks: 10'
 lot coverage: 25%

EXISTING CONDITIONS:

LOT SIZE: 0.14
 ANTICIPATED DISTURBED AREA: 353 SF
 FRONT/REAR HEIGHT: 21'-11" FRONT | 22'-0" BACK
 LIVABLE SF: 956 SF
 FIRST FLOOR 543 SF
 3/4 STORY 413 SF
 BASEMENT 0 SF
 PORCH, ENCLOSED 0 SF
 PORCH, OPEN 0 SF
 GROSS SF: 1,643 SF
 FIRST FLOOR 543 SF
 3/4 STORY 551 SF
 BASEMENT 551 SF
 PORCH, ENCLOSED 40 SF
 PORCH, OPEN 0 SF

EXISTING SETBACKS:

FRONT: 5'-1"
 REAR: 112'-7"
 LEFT: 6'-1"
 RIGHT: 21'-2"

AREA OF FOOTPRINT: 629 SF
 EXISTING LOT COVERAGE: 7.60%

PROPOSED CONDITIONS:

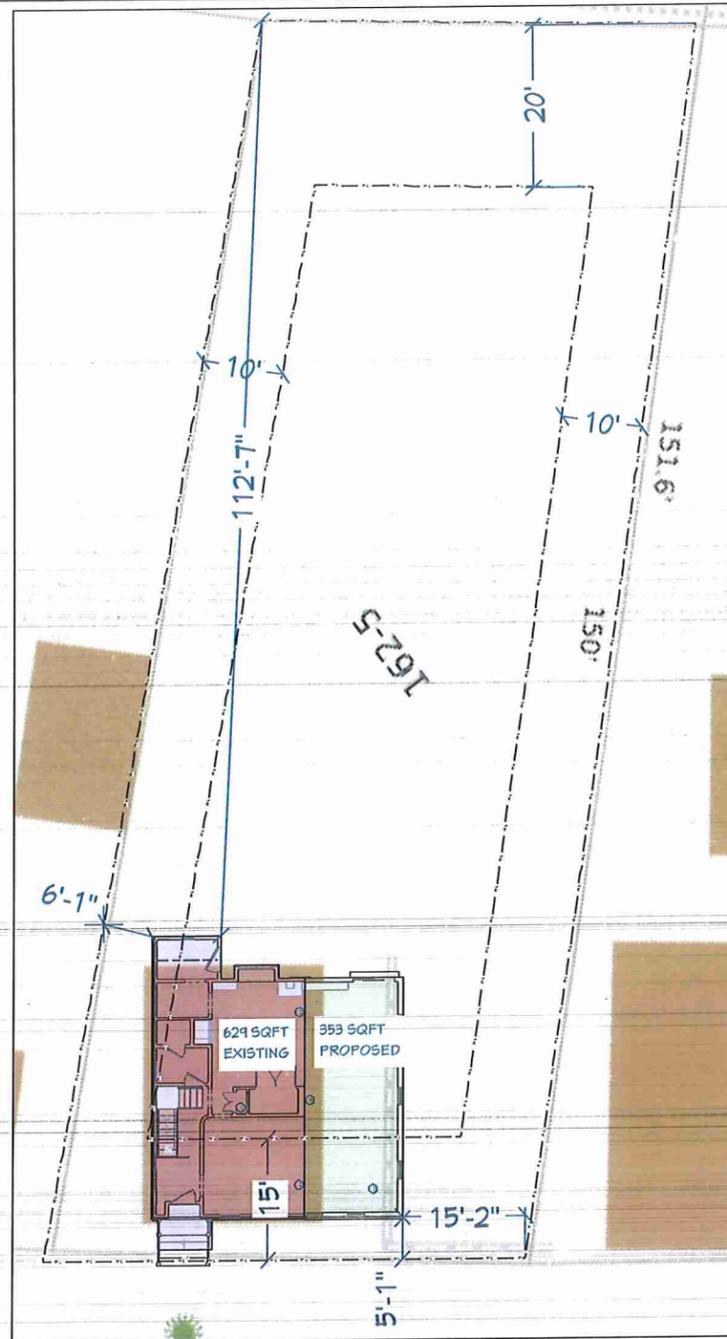
ROOF: 21'-11" FRONT | 22'-0" BACK
 FRONT/REAR HEIGHT:

LIVABLE SF: 1,662 SF
 FIRST FLOOR 846 SF
 3/4 STORY 766 SF
 BASEMENT 0 SF
 PORCH, ENCLOSED 0 SF
 PORCH, OPEN 0 SF
 GROSS SF: 2,752 SF
 FIRST FLOOR 846 SF
 3/4 STORY 904 SF
 BASEMENT 904 SF
 PORCH, ENCLOSED 40 SF
 PORCH, OPEN 0 SF

PROPOSED SETBACKS:

FRONT: 5'-1"
 REAR: 112'-7"
 LEFT: 6'-1"
 RIGHT: 15'-2"

AREA OF FOOTPRINT: 482 SF
 EXISTING LOT COVERAGE: 11.87%

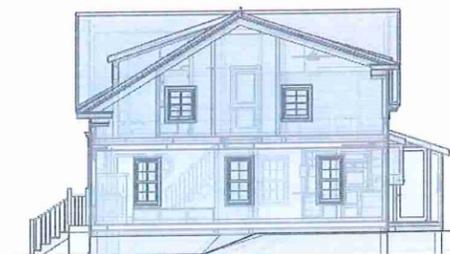


SITE PLAN

SCALE: 1" = 10'-0"



GOOGLE SATELITE SITE PLAN



GLASS HOUSE ELEVATION - SIDE VIEW

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



SITE PLAN

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DRAWING SCALE

SHEET:

A2

DEMOLITION NOTES

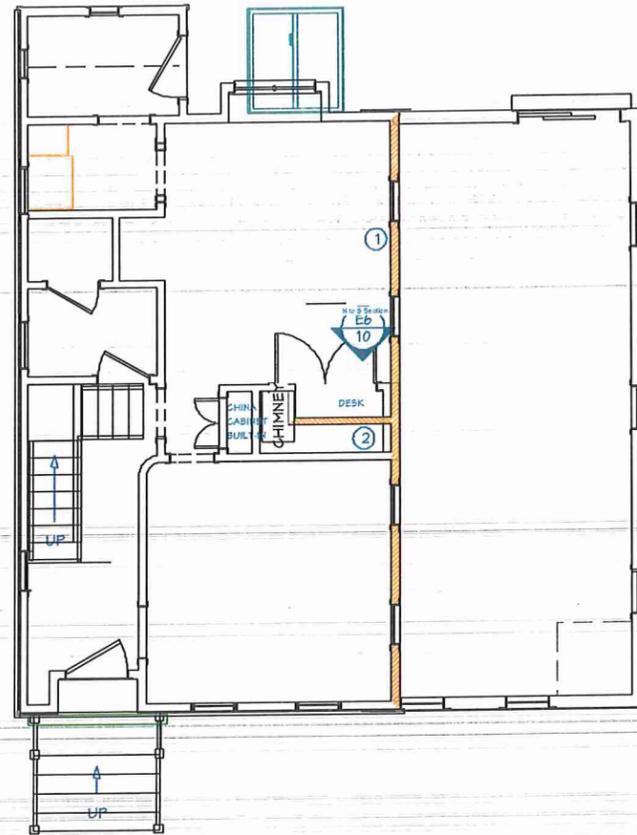
GENERAL NOTES

1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION W/ DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.

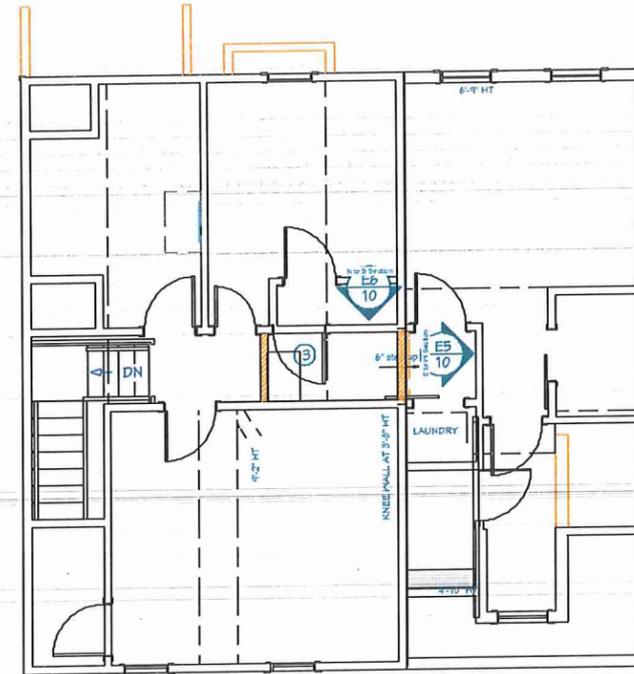
2. CUT EXISTING FOUNDATION TO LOCATION IDENTIFIED AND PREPARE FOR NEW FOUNDATION WALL.

3. EXISTING FOUNDATION WALL TO BE CUT AND REMAIN IN PLACE. REMOVE SILL PLATES OR OTHER LUMBER AND CUT BACK ANCHOR BOLTS TO TOP OF WALL. FILL VOID WITH SAND AND/ OR SOILS CONSISTENT WITH SURROUNDING MATERIALS.

DEMOLITION NOTES	
1	REMOVE EX. EXTERIOR WALL, POST @ 10' WALL IN PANTRY. BURY NEW LVL INTO FLOORING SYSTEM ABOVE
2	REMOVE EXISTING CHIMNEY
3	REMOVE EXISTING WALLS AT SECOND FLOOR OF CLOSETS TO CREATE NEW HALLWAY W/ STEP UP TO MASTER SUITE



FIRST FLOOR



SECOND FLOOR

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

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DEMO

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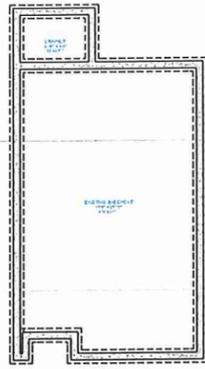
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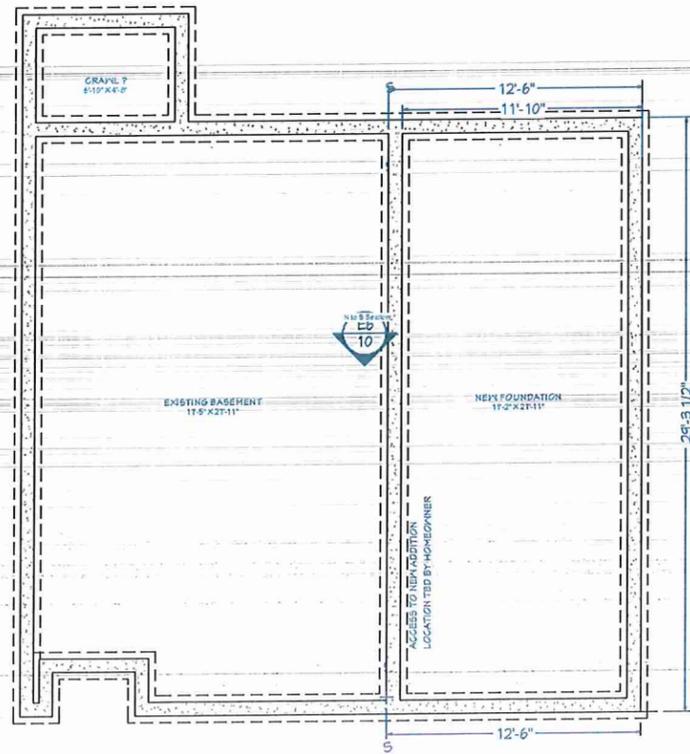
SCALE:
SCALED FOR
24" X 36"
DRAWING SCALE

SHEET:
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EXISTING FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



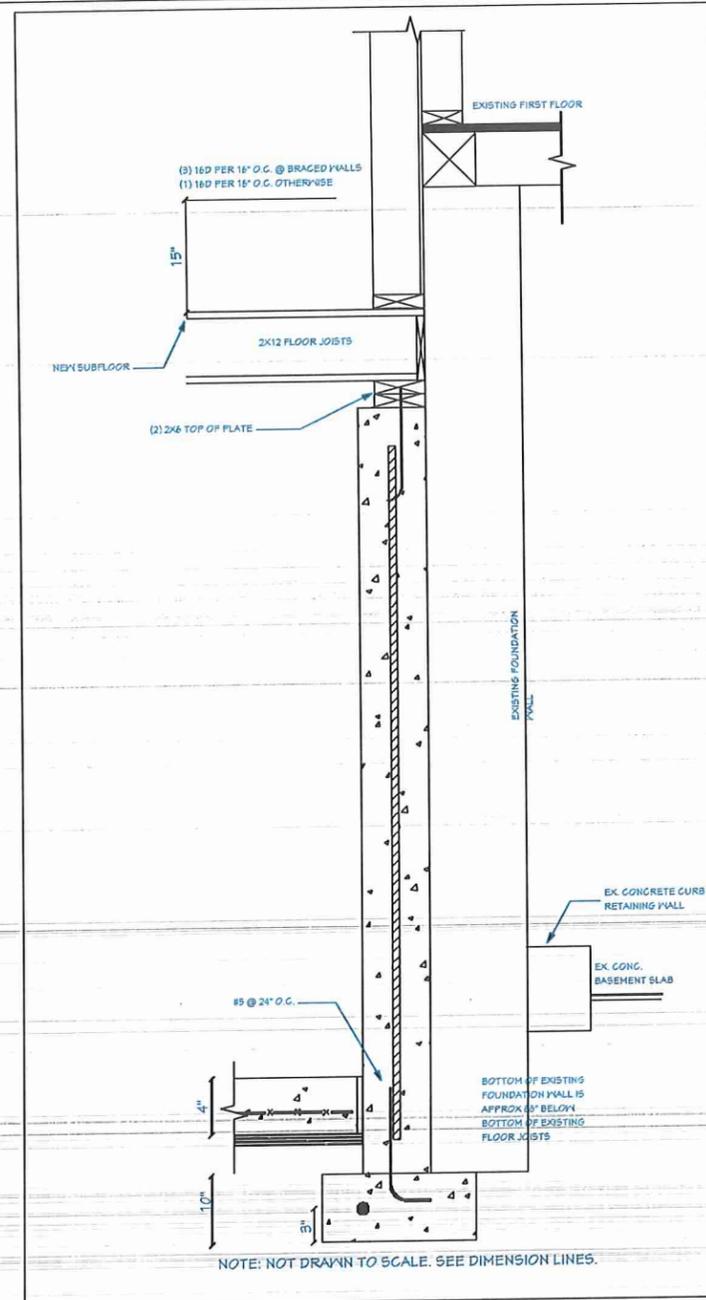
PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NEW FOUNDATION LINEAL FEET: 52'-11 1/2"

DISTURBED AREA FOR ADDITION: 353 SF

LIVING AREA
100 SQ FT



CONNECTION BETWEEN EX. HOUSE FOUNDATION & NEW FOUNDATION

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FOUNDATION

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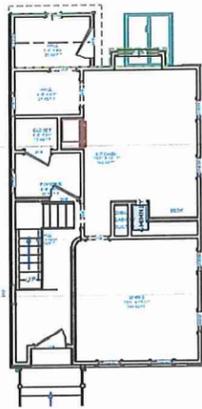
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12/4/20

SCALE:
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DRAWING SCALE

SHEET:

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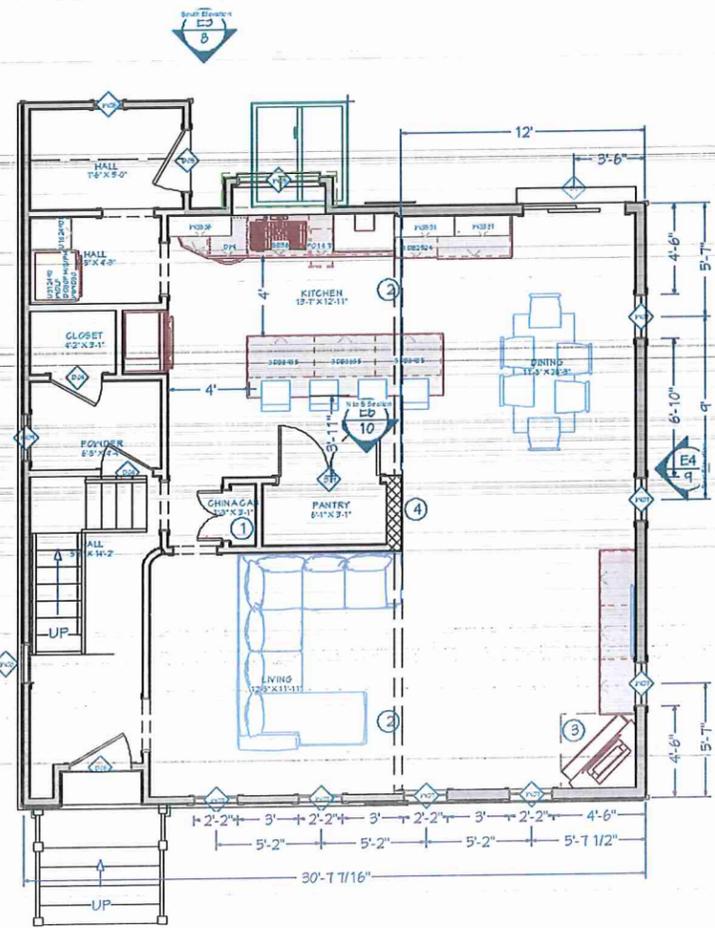
EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



PERSPECTIVE VIEW

SCALE: NTS



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR NOTES	
1	KEEP EXISTING CHINA CABINET
2	14-16" LVL BEAM
3	FIREPLACE UNIT AS SMALL AS POSSIBLE, CABINETS TO BE BUILT AROUND
4	SUPPORT WALL 10" THICK TO HOLD NEW LVLS. ALSO LOCATION FOR LAUNDRY DRAIN IN PANTRY

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 10
	= INTERIOR 6
	= INTERIOR 4
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL

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FIRST FLOOR

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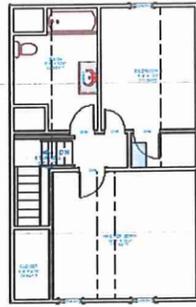
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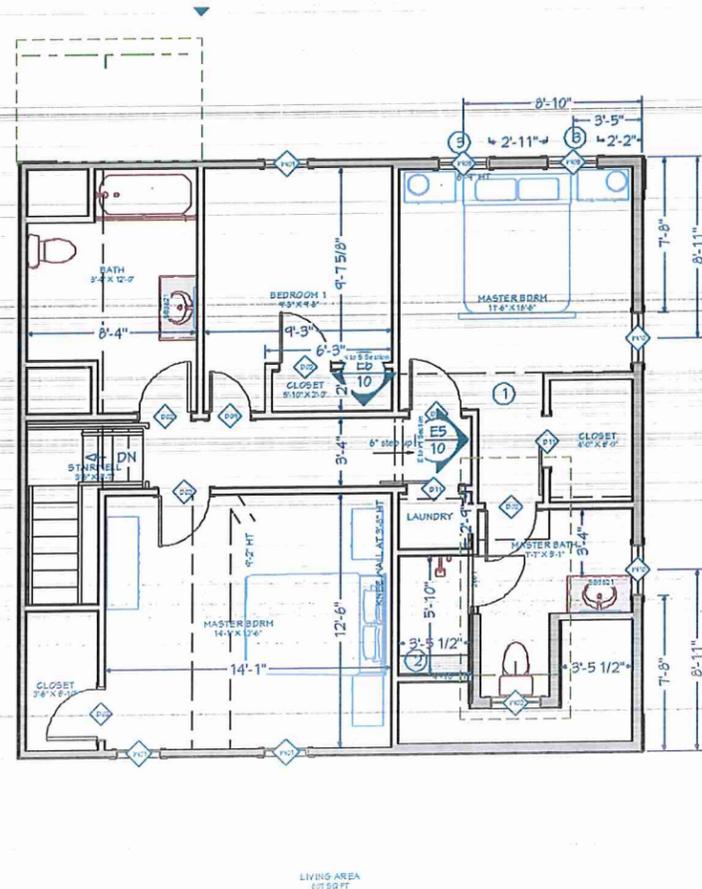
DRAWING SCALE:

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EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



PERSPECTIVE VIEW

SCALE: NTS

SECOND FLOOR NOTES	
1	10'-0" CEILING HT THROUGHOUT 2ND FLOOR ADDITION
2	BENCH SEAT - STONE TO MATCH
3	EGRESS WINDOWS

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL

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SECOND FLOOR

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DRAWING SCALE

SHEET:

A6
SECOND FLOOR PLAN

EXTERIOR ELEVATION	NUMBER	FLOOR	WIDTH	HEIGHT	EGRESS	DESCRIPTION
	W01	3	26"	52"	YES	DOUBLE HUNG
	W02	1	30"	16"		SINGLE AWNING
	W03	2	30"	45"	YES	SINGLE CASEMENT HR
	W05	1	49"	56"		DOUBLE CASEMENT LHLRHR
	W06	1	11"	20"		SINGLE CASEMENT HR
	W07	1	26"	52"		DOUBLE HUNG
	W08	1	24"	24"		FIXED GLASS AT
	W09	1	23"	52"		DOUBLE HUNG
	W10	2	30"	36"		DOUBLE HUNG

WINDOW NOTES:

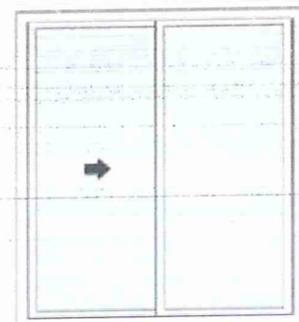
- 1 WOOD INTERIOR WITH GLAD EXTERIOR
- 2 FULL SCREENS ON ALL WINDOWS
- 3 INTERIOR WINDOW COLOR: WHITE
- 4 EXTERIOR WINDOW COLOR: WHITE
- 5 HARDWARE MATERIAL: WHITE
- 6 MANUFACTURER: MATTHEW BROTHERS
- 7 WINDOW ROUGH OPENING: 1/2" FOR TOP/BOTTOM & 1/2" FOR SIDES
- 8 BEDROOM WINDOWS SILL FINISHED MUST BE WITHIN 44" OF THE FLOOR AND PROVIDE MINIMUM CLEAR OPENINGS OF 5.1 SQFT WITH HEIGHT DIMENSION NOT LESS THAN 24" AND WIDTH DIMENSION NOT LESS THAN 20" AS TO MEET EGRESS

DOOR NOTES:

- 1 DOORS SHALL BE 80"
- 2 ALL DOORS SHALL BE SOLID CORE 1-3/4" THICK - BROSCO
- 3 INTERIOR DOORS SHALL BE PTD. OR STAINED, VERIFY WITH DESIGNER
- 4 ALL GLAZING WITHIN 18IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR ARE TO HAVE SAFETY GLAZING
- 5 ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS
- 6 BARN DOORS, MEASURE TO FIT OPENING. ALL HARDWARE TO BE STAINLESS
- 7 EXTERIOR DOOR: JELD WEN SLIDER
- 8 INTERIOR DOOR: REEB PR82A 1-3/8"

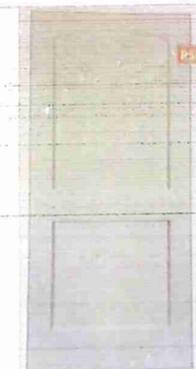
EXTERIOR ELEVATION	NUMBER	FLOOR	WIDTH	HEIGHT	DESCRIPTION	
	D01	1	60"	80"	EXT. SLIDER-GLASS PANEL	
	D02	2	30"	80"	HINGED DOOR P04	
	D04	1	2	30"	HINGED DOOR P04	
	D05	1	1	36"	42"	EXT. HINGED PANEL
	D06	1	1	36"	83"	EXT. HINGED-GLASS PANEL
	D07	1	1	60"	80"	DOUBLE HINGED-DOOR P04
	D09	2	1	24"	80"	HINGED DOOR P04
	D11	2	2	30"	80"	BARN DOOR P04

WINDOW AND DOOR SCHEDULES



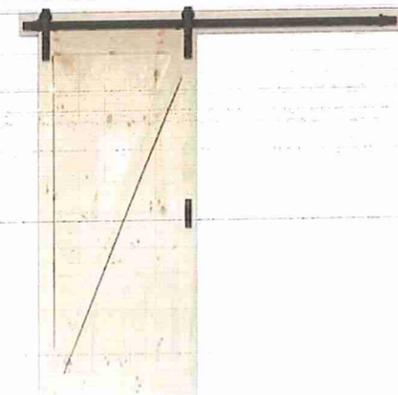
Two Panel Door

GLASS SLIDER - PD5068
MATTHEW BROTHERS



PR82A 1-3/8"
9/16" Raised Panel,
Ovolo Sticking

INTERIOR DOOR
REEB PR82A 1-3/8"



BARN DOOR
LOWES - HARDWARE ATTACHED

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WINDOW & DOOR
SCHEDULE

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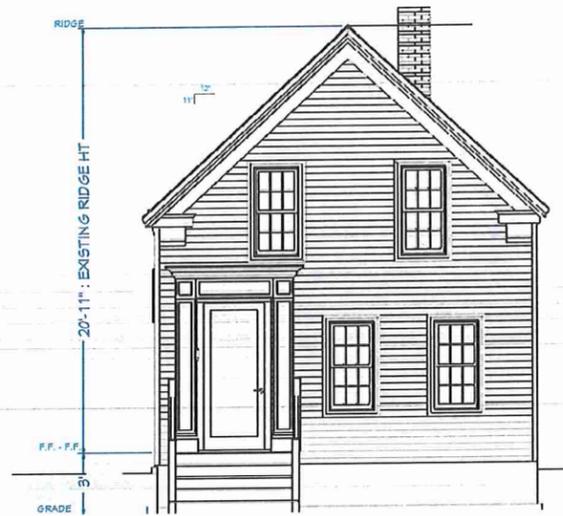
SCALE:

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DRAWING SCALE

SHEET:

A7



NORTH ELEVATION | EXISTING
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION | EXISTING
SCALE: 1/4" = 1'-0"



NORTH ELEVATION | PROPOSED
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION | PROPOSED
SCALE: 1/4" = 1'-0"

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ELEVATIONS

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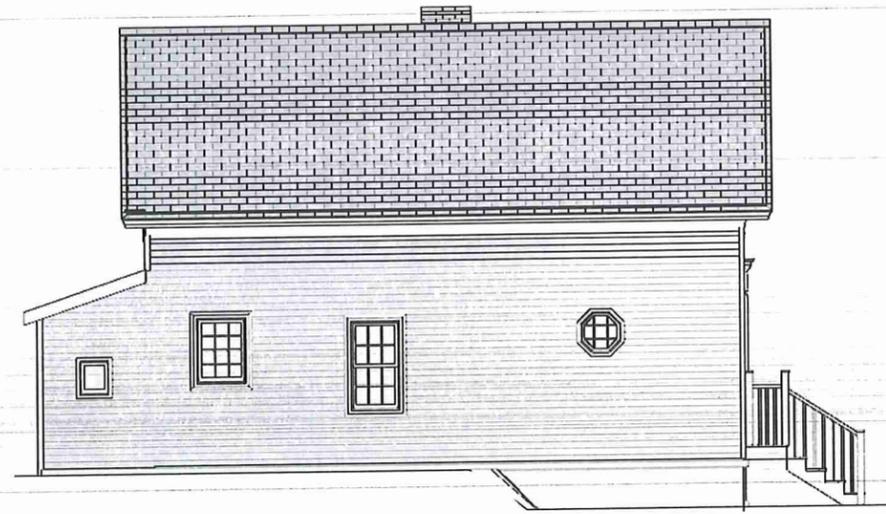
SHEET:

A8
ELEVATIONS



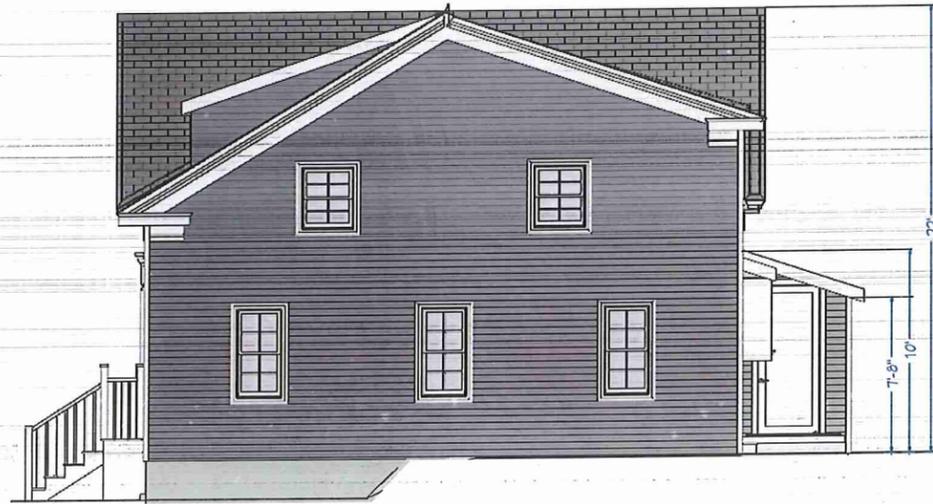
EAST ELEVATION | EXISTING

SCALE: 1/4" = 1'-0"



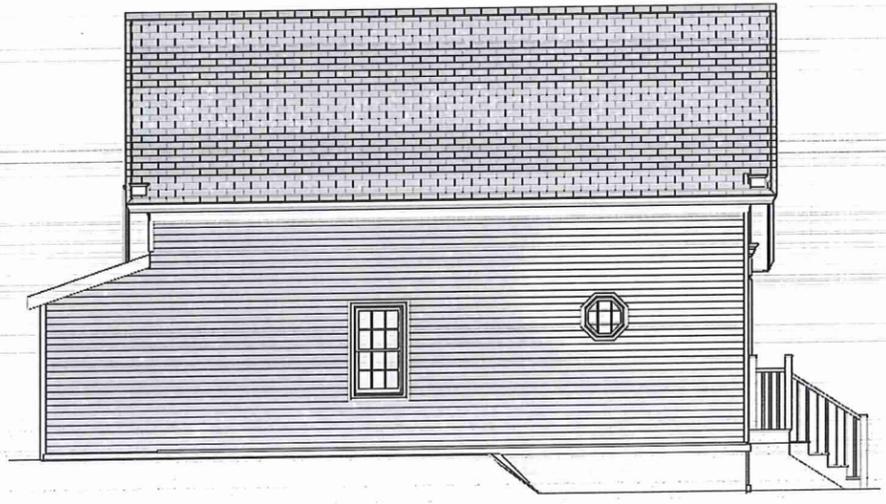
WEST ELEVATION | EXISTING

SCALE: 1/4" = 1'-0"



EAST ELEVATION | PROPOSED

SCALE: 1/4" = 1'-0"



WEST ELEVATION | PROPOSED

SCALE: 1/4" = 1'-0"

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



ELEVATIONS

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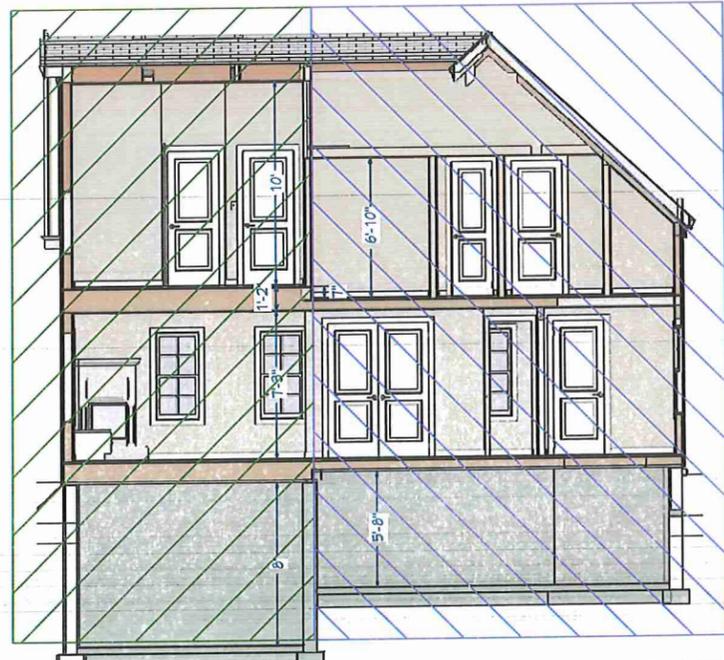
DATE:
12/4/20

SCALE:
SCALED FOR:
24" X 36"

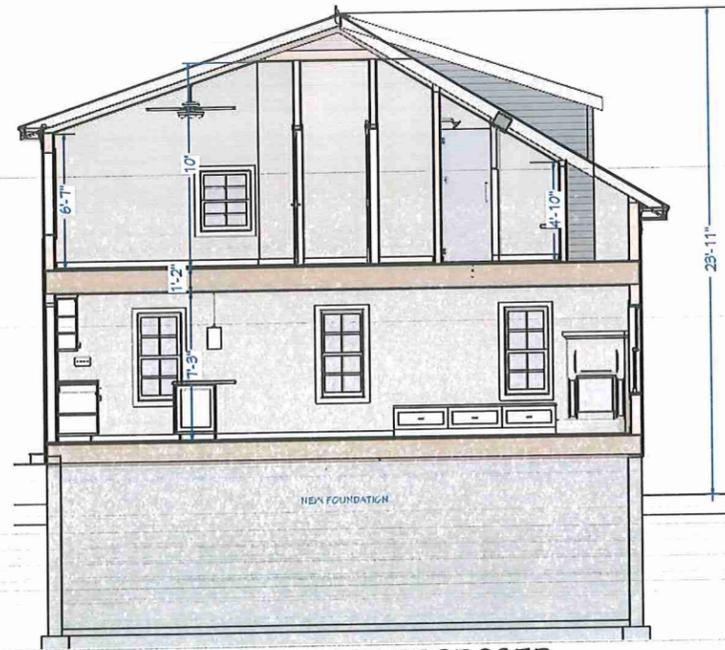
DRAWING SCALE

SHEET:

A9
ELEVATIONS



51 SECTION PROPOSED NEXT TO EXISTING



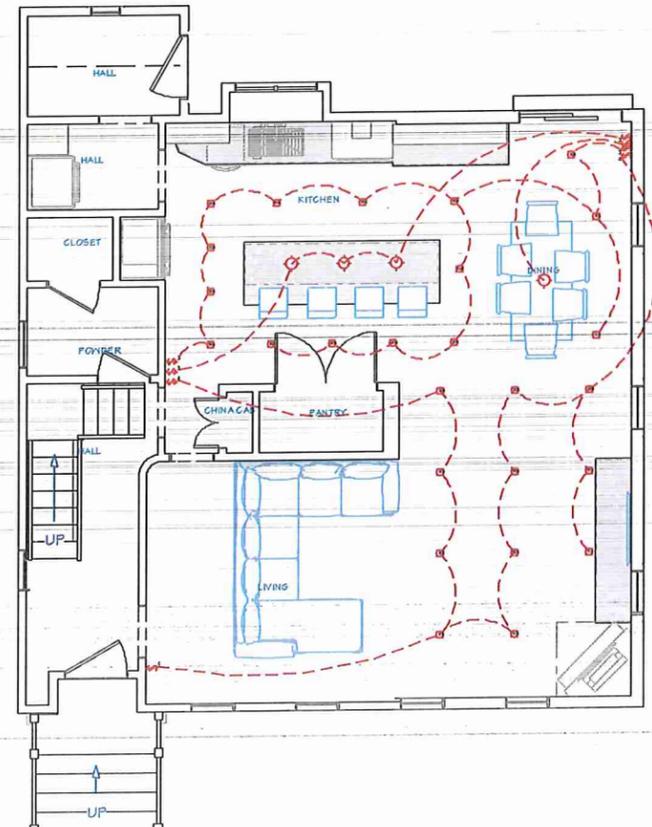
52 SECTION THROUGH PROPOSED

CAD BLOCK KEY

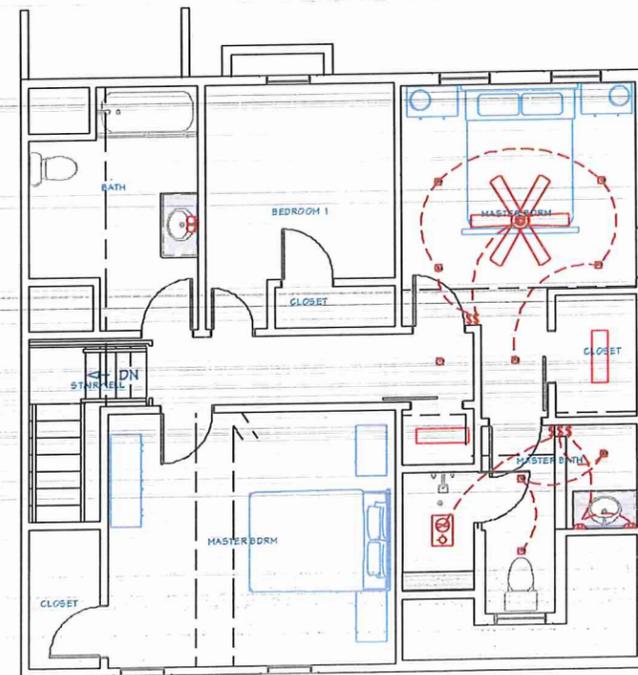
= PROPOSED ADDITION

= EXISTING HOUSE

SECTIONS
SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

- ELECTRICAL NOTES:**
- 1 ALL APPLIANCES TO BE ON DEDICATED CIRCUITS - REFER TO APPLIANCE SPECS FOR AMP/VOLTAGE REQUIREMENTS
 - 2 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, FOUNDATION, AND GARAGE SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS
 - 3 ALL BEDROOM OUTLETS AND LIGHTS BE ARCH FAULT PROTECTED
 - 4 ALL VENTILATION FANS SHALL BE ON TIMER SWITCHES
 - 5 PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER SO THAT WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 - 6 CIRCUITS SHALL BE VERIFIED WITH DESIGNER PRIOR TO WIRE INSTALLATION
 - 7 FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH DESIGNER
 - 8 FIXTURES TO BE SELECTED BY DESIGNER AND HOME OWNER
 - 9 ALL LIGHTING SHALL BE DIMMABLE AND USE LED BULBS

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Garage Door
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer

ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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DATE:
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SCALE:
SCALED FOR
24" X 36"

DRAWING SCALE

SHEET:
A10