

**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

December 3, 2019

Juliet T. H. Walker, AICP, Planning Director  
City of Portsmouth Municipal Complex  
Planning Department  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

Re: **Application for TAC Work Session  
Assessor's Map 135, Lots 29 & 30  
160 & 168-170 Union Street  
Altus Project #P4823**

Dear Juliet:

On behalf of the LCSG, LLC and Natasha & Matthew Goyette, Altus Engineering, Inc. (Altus) is pleased to submit plans for the December 10, 2019 TAC Work Session for the construction of a new single family residence and a four car garage with an apartment above on their property located at 160 & 168-170 Union Street.

In October, the zoning relief was granted to allow the two lots to be merged with a reduced dwelling density and setback relief. We are now developing the site plans for Site Plan Review Approval and look to the Technical Advisory Committee for their input on the design.

Attached are ten copies of the revised site plans (4 full, 6 reduced).

Please call us if you have any questions or need any additional information.

Sincerely,

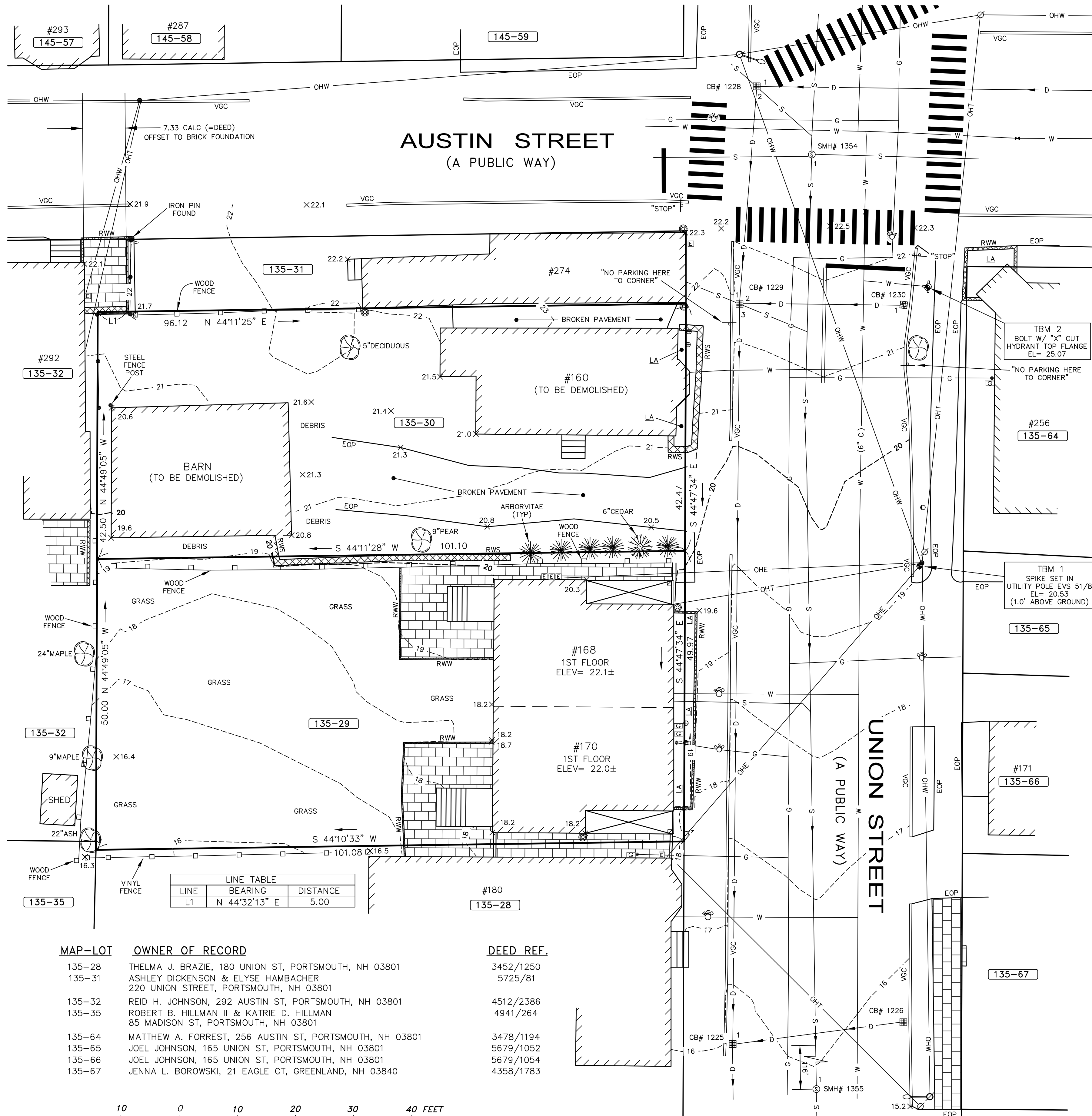
A handwritten signature in black ink, appearing to read "Eric D. Wehrich".

Eric D. Wehrich, PE  
President

wde/4957 TAC work session cvr ltr

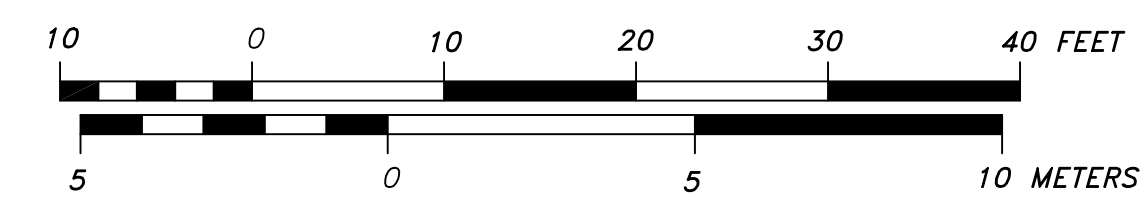
Enclosure

Ecopy: Matthew and Natasha Goyette  
Jeremiah Johnson, McHenry Architecture



LINE	BEARING	DISTANCE
L1	N 44°32'13" E	5.00

MAP-LOT	OWNER OF RECORD	DEED REF.
135-28	THELMA J. BRAZIE, 180 UNION ST, PORTSMOUTH, NH 03801	3452/1250
135-31	ASHLEY DICKENSON & ELYSE HAMBACHER 220 UNION STREET, PORTSMOUTH, NH 03801	5725/81
135-32	REID H. JOHNSON, 292 AUSTIN ST, PORTSMOUTH, NH 03801	4512/2386
135-35	ROBERT B. HILLMAN II & KATRIE D. HILLMAN 85 MADISON ST, PORTSMOUTH, NH 03801	4941/264
135-64	MATTHEW A. FORREST, 256 AUSTIN ST, PORTSMOUTH, NH 03801	3478/1194
135-65	JOEL JOHNSON, 165 UNION ST, PORTSMOUTH, NH 03801	5679/1052
135-66	JOEL JOHNSON, 165 UNION ST, PORTSMOUTH, NH 03801	5679/1054
135-67	JENNA L. BOROWSKI, 21 EAGLE CT, GREENLAND, NH 03840	4358/1783



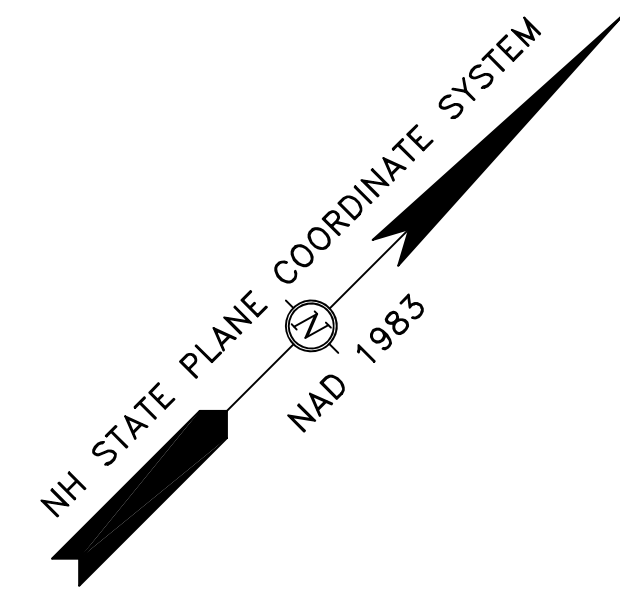
- NOTES:**
- OWNER OF RECORD.....LCSG, LLC  
ADDRESS.....750 BRACKETT RD, RYE, NH 03870  
DEED REFERENCE.....5752/1983  
TAX SHEET / LOT.....135-30  
PARCEL AREA .....4,294 S.F.
  - OWNER OF RECORD.....LCSG, LLC  
ADDRESS.....750 BRACKETT RD, RYE, NH 03870  
DEED REFERENCE.....5613/2372  
TAX SHEET / LOT.....135-29  
PARCEL AREA .....5,052 S.F.
  - THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
  - ZONED:.....GRC  
MINIMUM LOT AREA 3,500 S.F.  
FRONTAGE.....70'  
FRONT YARD SETBACK.....5'  
SIDE YARD SETBACK.....10'  
REAR YARD SETBACK.....20'
  - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
  - ON SITE CONTROL ESTABLISHED USING SURVEY GRADE GPS UNITS.  
HORIZONTAL DATUM: NAD 1983  
VERTICAL DATUM: NAVD 1988  
PRIMARY BM: PORTSMOUTH CONTROL POINT "ROBE"
  - THIS PLAN IS BASED ON A FIELD SURVEY BY JAMES VERRA AND ASSOC., INC.
  - CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.

- REFERENCE PLANS:**
- CONDOMINIUM SITE PLAN FOR JOSEPH & E. DARYL RAUCH OF 306-308 AUSTIN STREET, PORTSMOUTH, N.H. 03801, DATED 7/10/1987, RCRD PLAN D-16712.

- LEGEND:**
- .....CHAIN LINK FENCE
  - .....PRIVACY FENCE
  - .....PRIVACY FENCE
  - EVS.....EVERSOURCE
  - 135-29.....TAX SHEET - LOT NUMBER
  - RCRD.....ROCKINGHAM COUNTY REGISTRY OF DEEDS
  - EOP.....EDGE OF PAVEMENT
  - VGC.....VERTICAL FACED GRANITE CURB
  - RWS.....STONE RETAINING WALL
  - RWW.....WOOD RETAINING WALL
  - ⊕.....BOLLARD
  - ⊕.....SIGN
  - ⊕.....UTILITY POLE
  - ⊕.....UTILITY POLE W/TRANSFORMER
  - ⊕.....UTILITY POLE WITH ARM & LIGHT
  - ⊕.....GUY
  - ⊕.....ELECTRIC METER
  - ⊕.....GAS METER
  - ⊕.....GAS SHUT OFF
  - ⊕.....GAS VALVE
  - ⊕.....WATER GATE VALVE
  - ⊕.....WATER SHUT OFF VALVE
  - ⊕.....HYDRANT
  - ⊕.....CATCH BASIN
  - ⊕.....ROOF DOWNSPOUT
  - ⊕.....SEWER MANHOLE
  - ⊕.....CONIFEROUS TREE
  - ⊕.....DECIDUOUS TREE
  - ⊕.....CONIFEROUS SHRUB
  - W —.....WATER LINE
  - S —.....SEWER LINE
  - D —.....DRAIN LINE
  - G —.....GAS LINE
  - OHW —.....OVERHEAD WIRES
  - OHE —.....OVERHEAD ELECTRIC
  - OHT —.....OVERHEAD TELEPHONE
  - ⊕.....BRICK PAVERS
  - ⊕.....RETAINING WALL
  - LA.....LANDSCAPED AREA
  - x12.5.....SPOT GRADE

**DRAIN & SEWER TABLE**

CB# 1225	RIM EL= 15.66
(1) INV IN 15"CMP= 11.95	
CB# 1226	RIM EL= 15.63
CB# 1228	RIM EL= 23.36
(1) INV IN 12"HDPE= 19.21	
(2) INV OUT 15"CMP= 18.46	
CB# 1229	RIM EL= 21.24
(1) INV IN 15"CMP= 17.72	
(2) INV IN 12"CMP= 17.66	
(3) INV OUT 15"CMP= 15.44	
CB# 1230	RIM EL= 21.30
(1) INV OUT 12"CMP= 18.05	
SMH# 1354	RIM EL= 23.13
(1) INV OUT 8"VCP= 16.46	
SMH# 1355	RIM EL= 14.20
(1) INV IN 8"VCP= 7.48	



**SURVEYOR:**  
James Verra and Associates, Inc.  
LAND SURVEYORS  
101 SHATTUCK WAY - SUITE 8  
NEWINGTON, N.H. 03801 - 7876  
603-436-3557  
JOB NO: 23770  
PLAN NO: 23770

**ENGINEER:**  
**ALTUS ENGINEERING, INC.**  
133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com

**ISSUED FOR:**  
**ENGINEERING DESIGN**

**ISSUE DATE:**  
**OCTOBER 17, 2018**

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
1	ENGINEERING DESIGN	JV	10/17/18

**DRAWN BY:** JCS  
**APPROVED BY:** JV  
**DRAWING FILE:** 23770.DWG

**SCALE:**  
22" x 34" - 1" = 10'  
11" x 17" - 1" = 20'

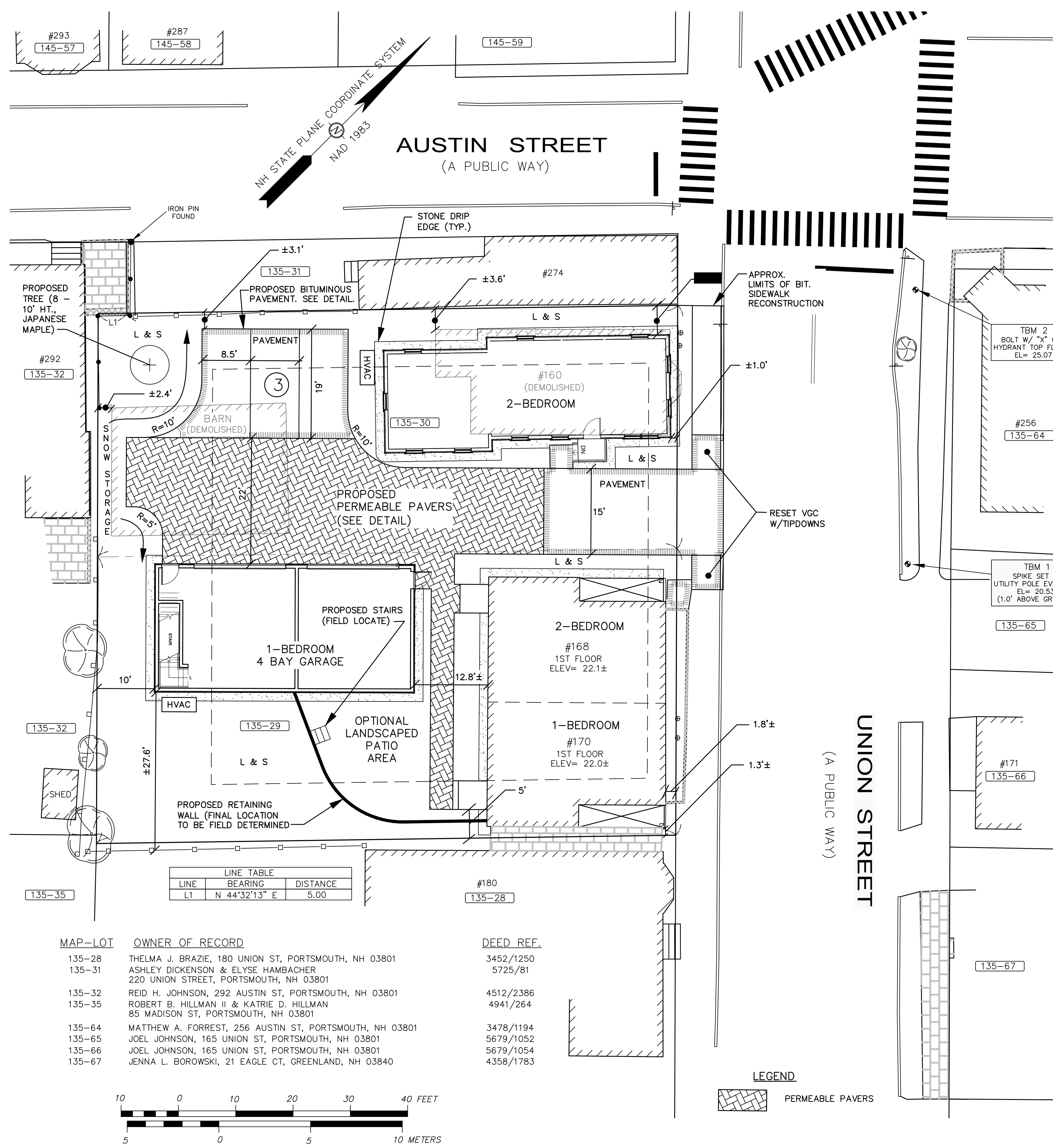
**OWNER/APPLICANT:**  
LCSG, LLC  
160 & 168-170 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCELS  
MAP-LOT 135-30 & 135-29

**DEED REFERENCES:**  
RCRD 5752/1983 & 5613/2372

**PROJECT:**  
**PROPOSED SITE DEVELOPMENT PLANS**  
160 & 168-170 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCELS  
MAP-LOT 135-30 & 135-29

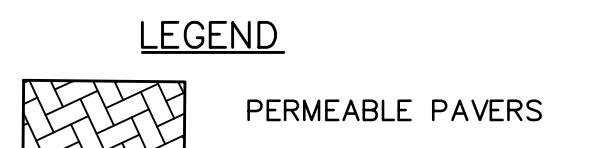
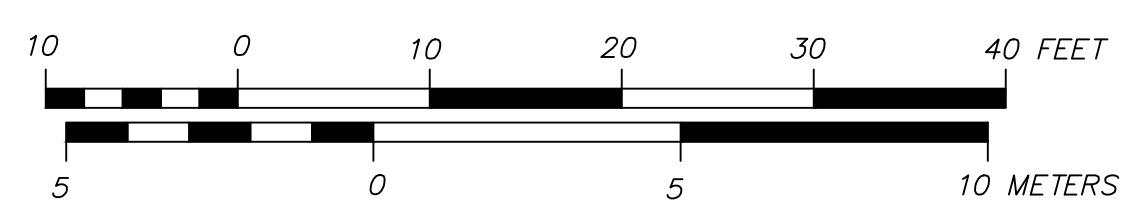
**TITLE:**  
**EXISTING CONDITIONS PLAN**

**SHEET NUMBER:**  
**1 OF 1**



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 44°32'13" E	5.00

MAP-LOT	OWNER OF RECORD	DEED REF.
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**ZONING SUMMARY**

THE PARCEL IS LOCATED IN THE GRC ZONE.  
 MIN. LOT AREA REQUIRED: 3,500 SF  
 LOT AREA PROVIDED: 9,346 SF (COMBINED)  
 MIN. FRONTAGE REQUIRED: 70'  
 FRONTAGE PROVIDED: 92.4'

APPROVED BY THE PORTSMOUTH PLANNING BOARD  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

BUILDING SETBACKS	REQUIRED	PROVIDED
MIN. FRONT YARD:	5'	0' (EXISTING), ±1.0' PROPOSED
MIN. SIDE YARD:	10'	3.6' (EXISTING), 5' PROPOSED
MIN. REAR YARD:	20'	2.4' (EXISTING), 10' PROPOSED
MAX. BLDG. HEIGHT:	35'	<35'
MAX. BLDG. COVERAGE:	35%	35.2%
MIN. OPEN SPACE:	20%	40%

PARKING CALCULATION:  
 1.3 SPACES/UNIT x 4 UNITS = 5.2 SPACES REQUIRED, 7 SPACES PROVIDED

MULTI-FAMILY DWELLING UNITS ALLOWED

LOT AREA PER DWELLING UNIT: 3,500 SF REQUIRED  
 LOT AREA PER DWELLING UNIT PROPOSED : 2,336 SF ± \*

\* ZONING RELIEF GRANTED ON OCTOBER 22, 2019 FROM:  
 SECTION 10.521 TO ALLOW A LOT AREA PER DWELLING UNIT OF ±2,336 SF WHERE 3,500 SF IS REQUIRE  
 SECTION 10.521 TO ALLOW 36% BUILDING COVERAGE WHERE 35% IS ALLOWED  
 SECTION 10.521 TO ALLOW 5'-6" LEFT SIDE YARD WHERE 10'-FEET IS REQUIRED  
 SECTION 10.321 TO ALLOW A NONCONFORMING BUILDING OR STRUCTURE TO BE EXTENDED, RECONSTRUCTED OR ENLARGED WITHOUT CONFORMING TO THE REQUIREMENTS OF THE ORDINANCE

**GENERAL NOTES**

- THE INTENT OF THIS PLAN SET IS TO PROVIDE THE NECESSARY INFORMATION FOR THE REVIEW, PERMITTING AND CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AND 4-BAY GARAGE W/AN APARTMENT ABOVE. THESE PLANS PROVIDE DETAILED INFORMATION FOR THE SITE LAYOUT, GRADING, UTILITIES, STORMWATER MANAGEMENT, AND LANDSCAPE IMPROVEMENTS.
- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THE LANDOWNER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH LOCAL, STATE AND FEDERAL WETLAND PERMITTING REQUIREMENTS INCLUDING PROTECTION OF NATURAL RESOURCES AND THEIR BUFFERS.
- CONTRACTOR SHALL CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A TEMPORARY SECURITY FENCE AROUND THE PERIMETER OF THE WORK AREA THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT AND EROSION CONTROL ITEMS TO PREVENT SEDIMENT FROM CONSTRUCTION ACTIVITIES FROM LEAVING THE SITE. CONTROLS SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER ALL RAIN EVENTS OF 0.25 INCHES OR GREATER. ANY DEFICIENCIES IN THE CONTROLS SHALL BE ADDRESSED IMMEDIATELY AND BROUGHT TO THE ATTENTION OF THE OWNER. ALL STORM DRAINS WITHIN OR ADJACENT TO THE WORK AREA, WITH THE POTENTIAL TO RECEIVE RUNOFF FROM EXPOSED CONSTRUCTION AREAS, SHALL RECEIVE STORM DRAIN INLET PROTECTION. CONTRACTOR SHALL PREVENT TRACKING OF DIRT ONTO ANY PUBLIC OR PRIVATE ROADWAYS. IF TRACKING OF DIRT FROM CONSTRUCTION VEHICLES IS PRESENT ON THE OPEN STREETS, CONTRACTOR WILL BE REQUIRED TO SWEEP THE ROADWAY AT NO ADDITIONAL EXPENSE TO THE OWNER.

**GENERAL SITE NOTES**

- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- ALL CONDITIONS OF THIS APPROVAL SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- AREA OF DISTURBANCE UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN UPLAND AREAS SHOWN THEREON. IF ADEQUATE ON-SITE SNOW STORAGE IS NOT AVAILABLE, THE SNOW SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS -NONE PROPOSED.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF BOTH THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- SITWORK CONTRACTOR SHALL PREPARE A LICENSED LAND SURVEYOR (LLS) STAMPED AS-BUILT SITE PLAN & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.
- THE PROPOSED LIGHTING WILL BE BUILDING MOUNTED AND SHALL BE DARK SKY FRIENDLY.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- TRASH AND RECYCLING SHALL BE STORED INSIDE BUILDINGS.
- NO IRRIGATION IS PROPOSED.

ENGINEER:  
**ALTUS**  
 ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801  
 (603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:  
 TAC WORK SESSION

ISSUE DATE:  
 DECEMBER 3, 2019

NO.	DESCRIPTION	BY	DATE
0	TAC WORK SESSION	EDW	12/03/19

DRAWN BY: \_\_\_\_\_ RLH  
 APPROVED BY: \_\_\_\_\_ EDW  
 DRAWING FILE: 4823-CO-11.DWG

SCALE:  
 22" x 34" - 1" = 10'  
 11" x 17" - 1" = 20'

OWNER/APPLICANT:  
 LCSG, LLC  
 160 & 168-170  
 UNION STREET  
 PORTSMOUTH, N.H.  
 ASSESSOR'S PARCELS  
 MAP-LOT 135-30 & 135-29

C/O LCSG, LLC  
 750 BRACKETT ROAD  
 RYE, NH 03870  
 PORTSMOUTH, N.H.

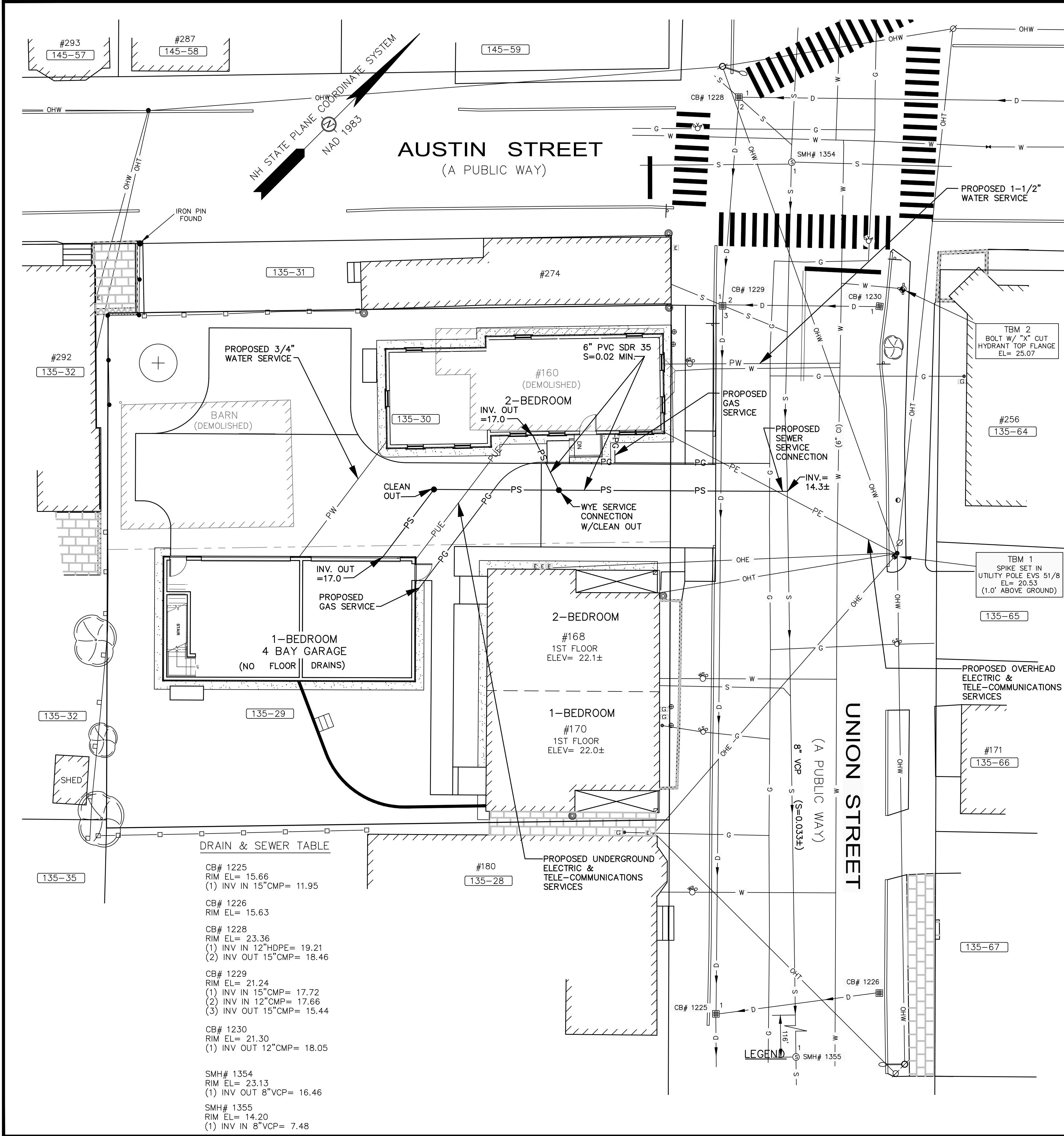
DEED REFERENCES:  
 RCRD 5752/1983  
 & 5613/2372

PROJECT:  
**PROPOSED SITE  
 DEVELOPMENT  
 PLANS**  
 160 & 168-170  
 UNION STREET  
 PORTSMOUTH, N.H.  
 ASSESSOR'S PARCELS  
 MAP-LOT 135-30 & 135-29

TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C-1**

P-4823

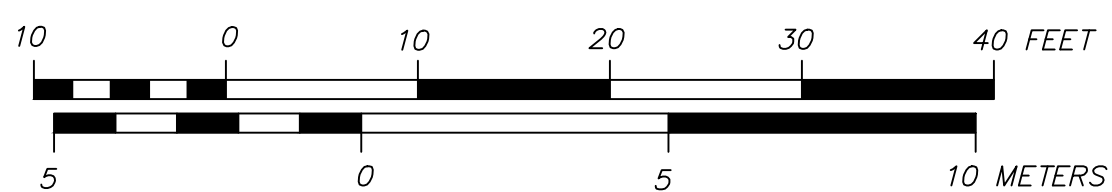


**DEMOLITION/SITE PREPARATION NOTES**

1. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON FIELD LOCATION OF VISIBLE UTILITIES AND INFORMATION PROVIDED BY THE UTILITIES AGENCIES. THE LOCATIONS ARE NOT GUARANTEED BY THE ENGINEER, SURVEYOR OR OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR ANY DAMAGE DONE TO THE UTILITIES, AND RELOCATE EXISTING UTILITIES (IF REQUIRED) AT NO EXTRA COST TO THE OWNER. UTILITY CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER AND UTILITY COMPANY.
2. CONTRACTOR SHALL SAFELY SECURE THE SITE WITH SECURITY FENCING. FENCING SHALL BE LOCKED DURING NON-WORK HOURS.
3. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
4. THESE DEMOLITION PLAN NOTES ARE INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
6. ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
7. ALL STRUCTURES, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED LANDSCAPE AREAS AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPE AND/OR STORMWATER MANAGEMENT PURPOSES AND MEETING THE PROJECT SPECIFICATIONS.
8. WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, MONITORING WELLS, ETC. SHALL BE ADJUSTED TO FINISH GRADE.
9. NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
10. HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
11. SEE EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO; SILT FENCING, STABILIZED CONSTRUCTION SITE EXITS, AND STORM DRAIN INLET PROTECTION.
12. ALL DEMOLISHED MATERIALS OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED.
13. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS AND CODES.
14. LEDGE REMOVAL MAY BE REQUIRED ON THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE CITY WITH A LEDGE REMOVAL PLAN. IF BLASTING IS TO BE PERFORMED, ALL STATE AND LOCAL REQUIREMENTS SHALL BE COMPLIED WITH. NO BLASTING IS ALLOWED WITHOUT A BLAST SURVEY BEING COMPLETED PRIOR TO.
15. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DISCONNECTIONS/INSTALLATIONS WITH EVERSOURCE. CONTACT NICK KOSKO @ 603-332-4227, EXT. 5555334
16. CONTRACTOR SHALL COORDINATE ALL NATURAL GAS DISCONNECTIONS/INSTALLATIONS WITH UNITIL CORPORATION. CONTACT DAVID BEAULIEU @ 603-294-5144
17. CONTRACTOR SHALL COORDINATE ALL CABLE DISCONNECTIONS/INSTALLATIONS WITH COMCAST. CONTACT MIKE COLLINS @ 603-679-5695 EXT 1037
18. CONTRACTOR SHALL COORDINATE ALL TELE-COMMUNICATIONS DISCONNECTIONS AND INSTALLATION WITH CONSOLIDATED COMMUNICATIONS. CONTACT JOE CONSIDINE @ 603-427-5525

**UTILITY NOTES**

3. ALL WATER MAIN INSTALLATIONS AND SERVICE CONNECTIONS SHALL CONFORM TO PORTSMOUTH WATER DEPARTMENT STANDARDS.
4. ALL SEWER INSTALLATIONS AND SERVICE CONNECTIONS SHALL CONFORM TO PORTSMOUTH WATER AND SEWER DEPARTMENT STANDARDS. CONTRACTOR SHALL CONTACT PORTSMOUTH DPW FOR TESTING OF SEWER SERVICE.
5. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL PERMIT CONDITIONS AND REQUIREMENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
7. FIRE ALARM PANEL SHALL BE MONITORED THROUGH A THIRD-PARTY SECURITY COMPANY. CONTRACTOR SHALL COORDINATE ALL PANEL LOCATIONS AND INTERCONNECTIONS WITH FIRE DEPARTMENT, IF REQUIRED.
8. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATION DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE APPLICANT SHALL BE REQUIRED TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES A REPEATER IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY. THE SURVEY SHALL BE COMPLETED AND THE REPEATER, IF DETERMINED IT IS REQUIRED, SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.
9. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
10. SITEWORK CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL DRAWINGS.
11. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDINGS. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
12. FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ARCHITECT.
13. CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS.
14. CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH COMCAST.
15. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
16. CONTRACTOR SHALL CONTACT CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AT 603-427-1530 TO COORDINATE INSPECTION OF SEWER WORK.



ENGINEER:

133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR: TAC WORK SESSION

ISSUE DATE: DECEMBER 3, 2019

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TAC WORK SESSION	EDW	12/03/19

DRAWN BY: RLH  
APPROVED BY: EDW  
DRAWING FILE: 4823-CO-2.DWG

SCALE:  
22" x 34" - 1" = 10'  
11" x 17" - 1" = 20'

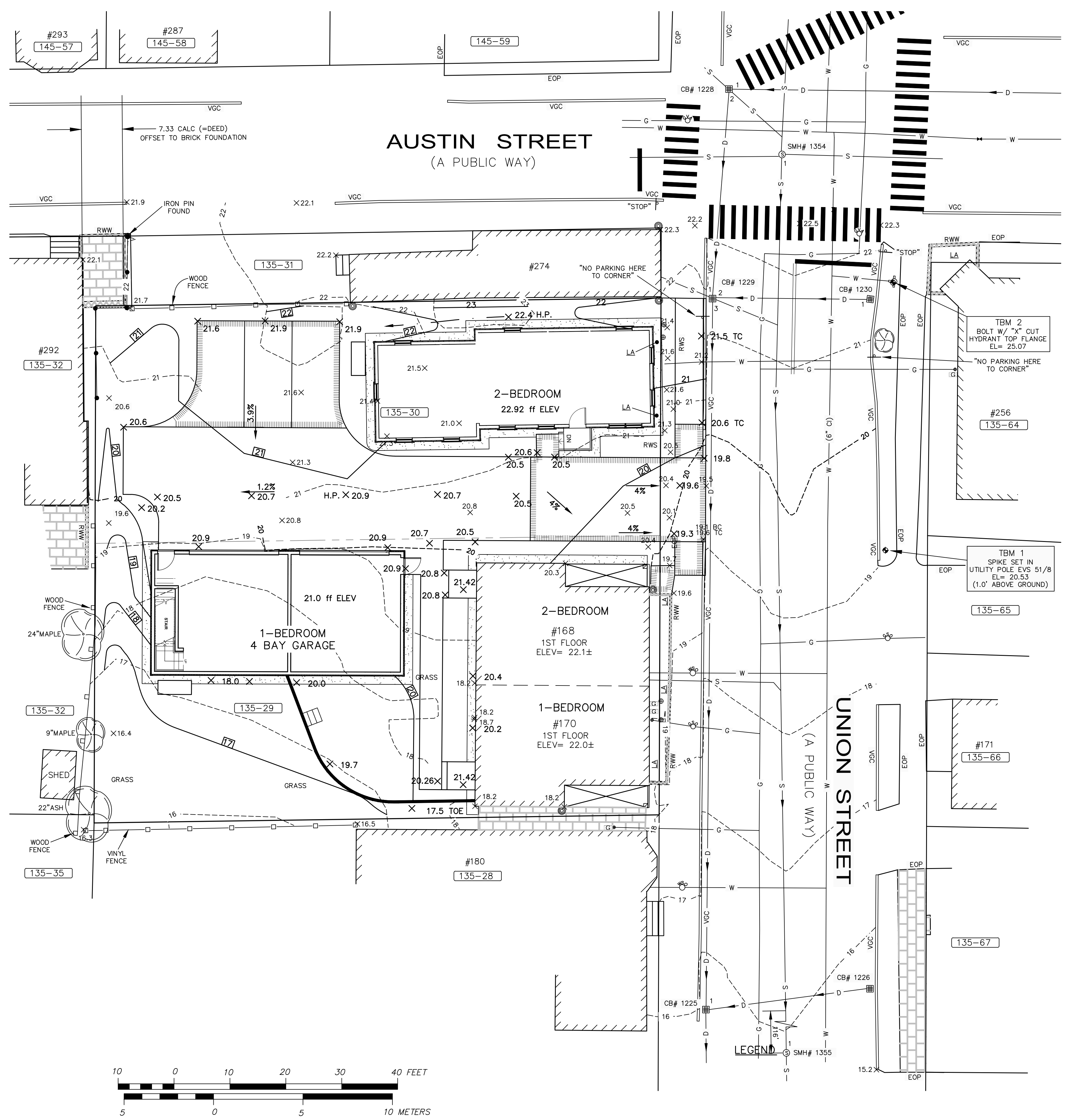
OWNER/APPLICANT:  
LCSG, LLC  
160 & 168-170  
UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCELS  
MAP-LOT 135-30 & 135-29  
  
C/O LCSG, LLC  
750 BRACKETT ROAD  
RYE, NH 03870  
PORTSMOUTH, N.H.  
  
DEED REFERENCES:  
RCRD 5752/1983  
& 5613/2372

PROJECT:  
**PROPOSED SITE DEVELOPMENT PLANS**  
160 & 168-170  
UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCELS  
MAP-LOT 135-30 & 135-29

TITLE:  
**UTILITIES PLAN**

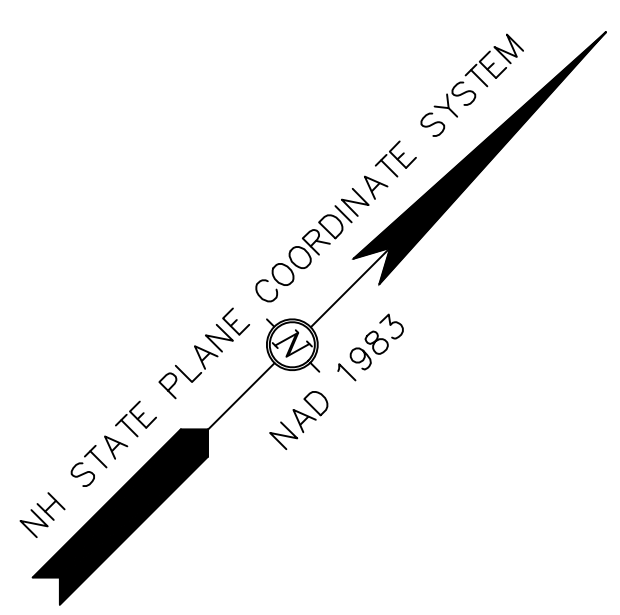
SHEET NUMBER:  
**C - 2**

P-4823



**PROPOSED LEGEND**

- 22--- EXISTING CONTOUR
- 23--- PROPOSED CONTOUR
- X21.7 EXISTING SPOT GRADE ELEVATION
- 22.4 x PROPOSED SPOT GRADE ELEVATION
- PROPOSED STONE DRIP EDGE
- PROPOSED EDGE OF PAVEMENT



**GRADING AND DRAINAGE NOTES**

1. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
2. ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
3. DEWATERING ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH EPA AND NHDES REGULATIONS AND GUIDELINES.
4. PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF THE FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WILL ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
5. IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
6. ALL STORM DRAIN PIPE SHALL BE ADS N-12 OR EQUAL AND APPROVED BY THE ENGINEER.
7. ALL CATCH BASIN, GATE VALVE COVERS, AND MANHOLE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISHED GRADE. ANY RIM OR VALVE COVER ABOVE SURROUNDING FINISHED GRADE WILL NOT BE ACCEPTED.
8. ALL SPOT GRADES ARE AT THE FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
9. UNLESS OTHERWISE SPECIFIED, RETAINING WALL AND BUILDING PERIMETER DRAINS SHALL BE DIRECTED TO THE NEAREST DRAINAGE STRUCTURE. IF DEEMED APPROPRIATE, CONTRACTOR SHALL PROVIDE ADDITIONAL UNDERDRAINS AT THE DIRECTION OF THE ENGINEER.
10. CONTRACTOR SHALL PROTECT ALL RAINGARDENS AND OTHER STORM MANAGEMENT DEVICES FROM CONSTRUCTION STORMWATER RUNOFF. TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED DURING CONSTRUCTION. STORMWATER SHALL NOT BE DIRECTED TO THE RAINGARDENS OR STORMWATER MANAGEMENT AREAS UNTIL THE WATERSHED ARE HAS BEEN STABILIZED.

**DRAIN & SEWER TABLE**

CB# 1225	RIM EL= 15.66
(1) INV IN 15"CMP= 11.95	
CB# 1226	RIM EL= 15.63
CB# 1228	RIM EL= 23.36
(1) INV IN 12"HDPE= 19.21	
(2) INV OUT 15"CMP= 18.46	
CB# 1229	RIM EL= 21.24
(1) INV IN 15"CMP= 17.72	
(2) INV IN 12"CMP= 17.66	
(3) INV OUT 15"CMP= 15.44	
CB# 1230	RIM EL= 21.30
(1) INV OUT 12"CMP= 18.05	
SMH# 1354	RIM EL= 23.13
(1) INV OUT 8"VCP= 16.46	
SMH# 1355	RIM EL= 14.20
(1) INV IN 8"VCP= 7.48	

ENGINEER:

133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR: TAC WORK SESSION

ISSUE DATE: DECEMBER 3, 2019

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TAC WORK SESSION	EDW	12/02/19

DRAWN BY: RLH  
APPROVED BY: EDW  
DRAWING FILE: 4823-CO-2.DWG

SCALE:  
22" x 34" - 1" = 10'  
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OWNER/APPLICANT:  
LCSG, LLC  
160 & 168-170 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCELS  
MAP-LOT 135-30 & 135-29

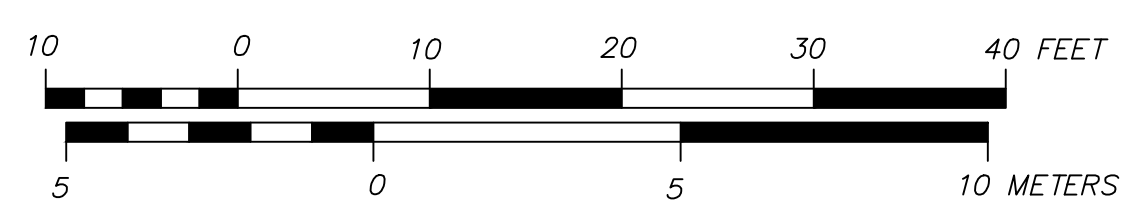
C/O LCSG, LLC  
750 BRACKETT ROAD  
RYE, NH 03870  
PORTSMOUTH, N.H.

DEED REFERENCES:  
RCRD 5752/1983  
& 5613/2372

PROJECT:  
**PROPOSED SITE DEVELOPMENT PLANS**  
160 & 168-170 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCELS  
MAP-LOT 135-30 & 135-29

TITLE:  
**GRADING, DRAINAGE & EROSION CONTROL PLAN**

SHEET NUMBER:  
**C - 3**



P-4823



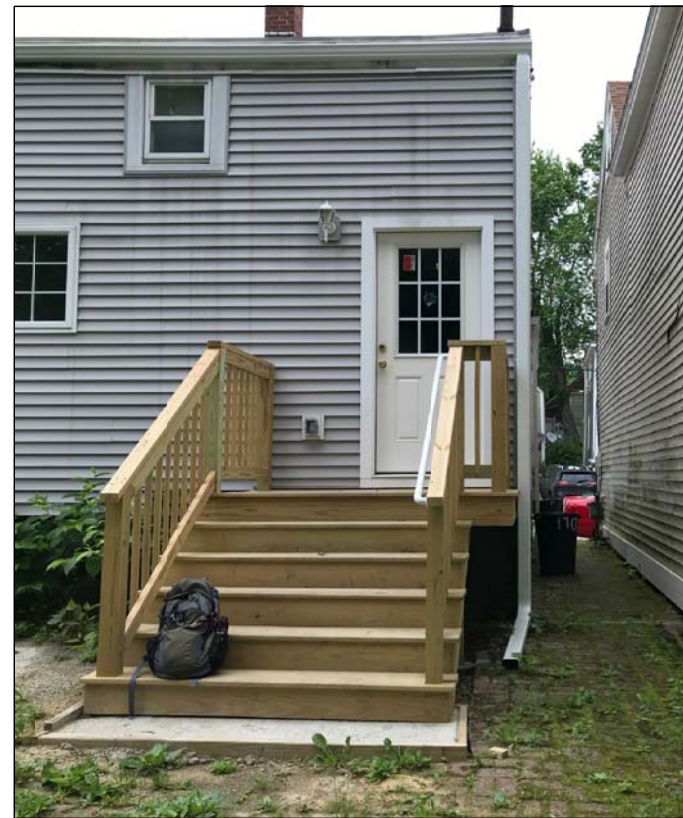
STREET ELEVATION



160 UNION STREET



168-170 UNION STREET



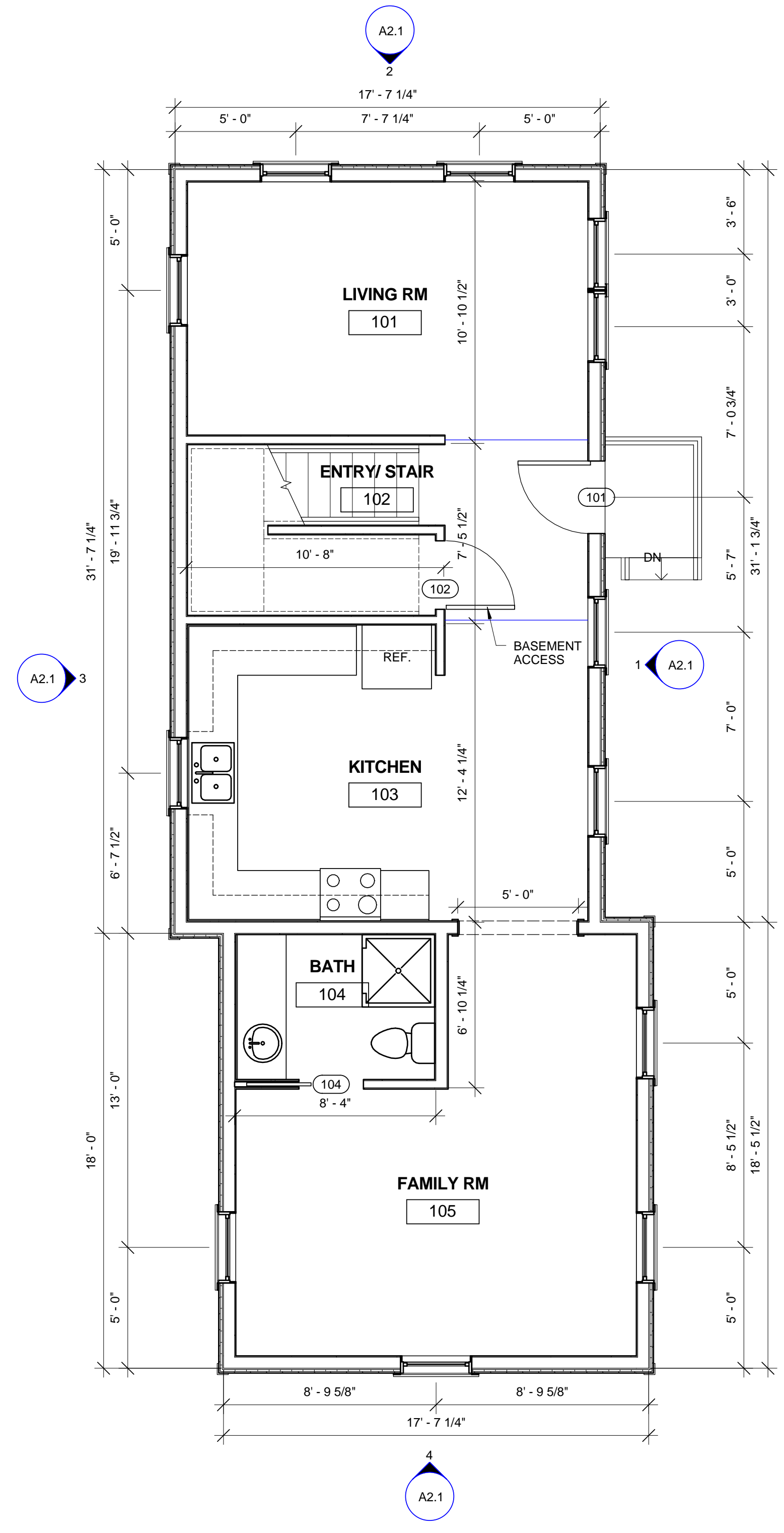
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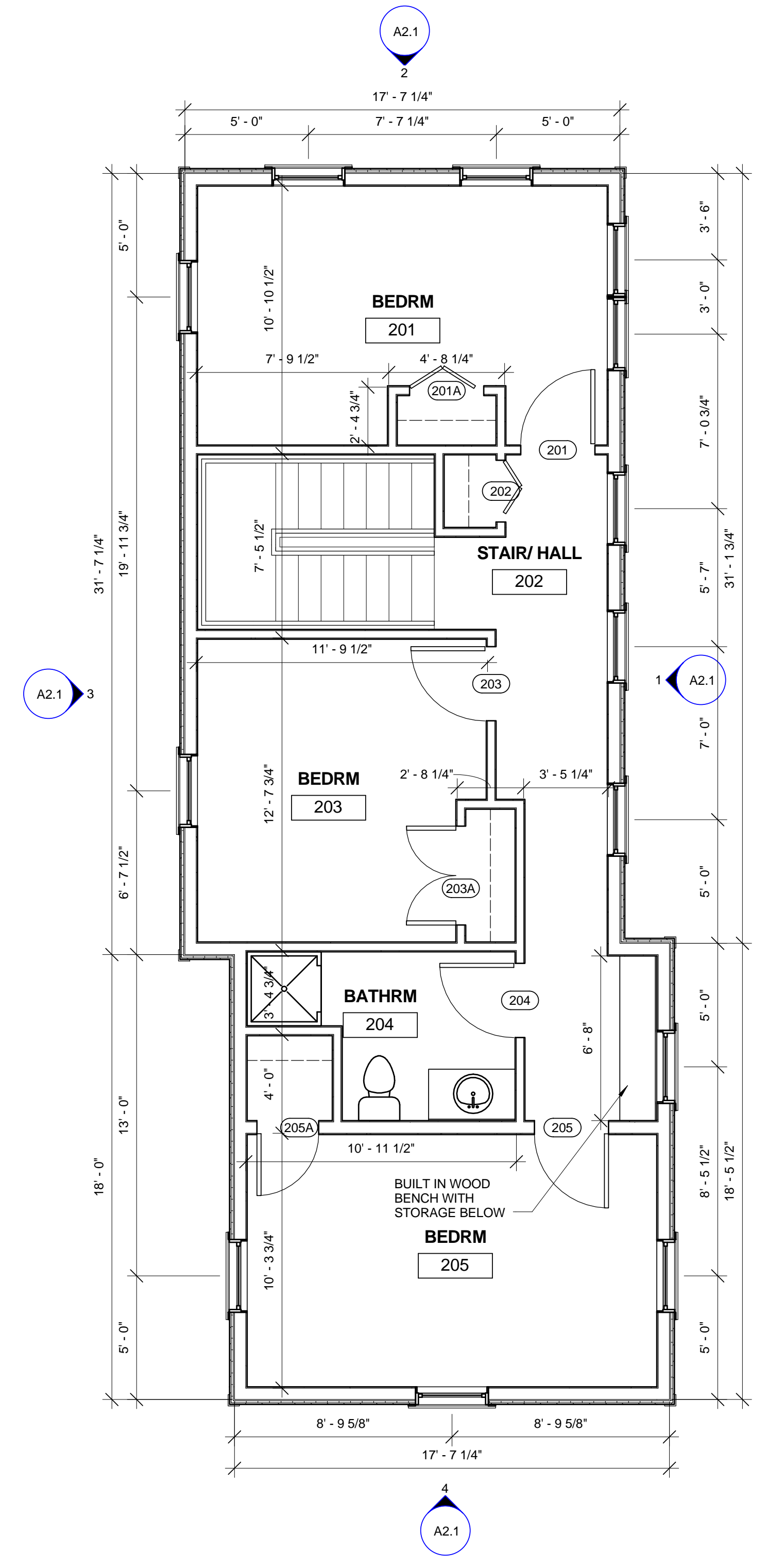
REAR ELEVATION

GENERAL NOTES- SINGLE FAMILY

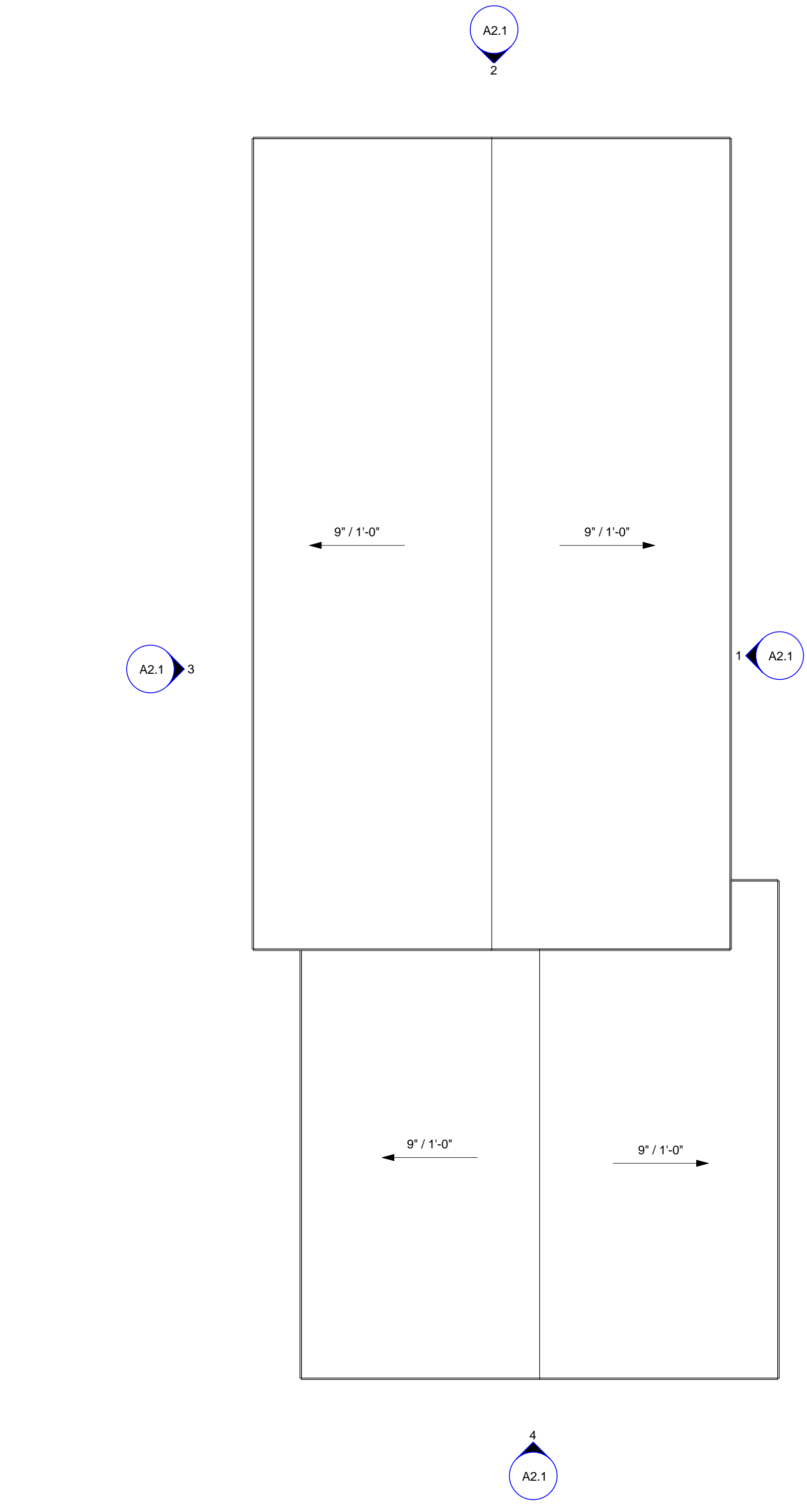
1. FULL BASEMENT TO BE PROVIDED. ACCESS TO BE DETERMINED.



1 Level 1- SINGLE FAMILY  
1/4" = 1'-0"



2 Level 2- SINGLE FAMILY  
1/4" = 1'-0"



3 ROOF PLAN- SINGLE FAMILY  
1/4" = 1'-0"

160-170 Union Street  
Matthew and Natasha Goyette  
Portsmouth, NH

McHENRY  
ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

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REVIEW SET ONLY

No.	Description	Date

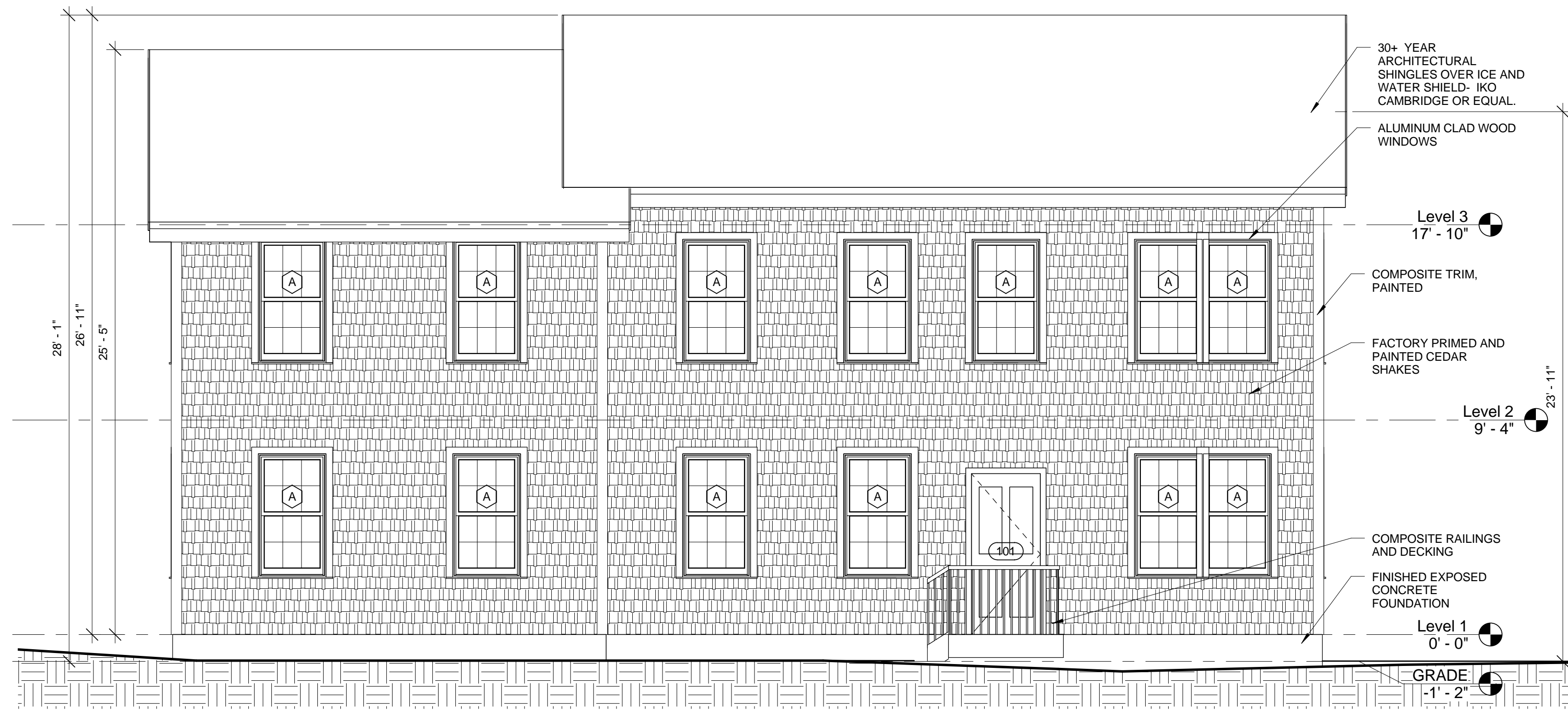
Project Name:  
160-170 Union Street

Drawing Name:  
SINGLE FAMILY FLOOR  
PLANS

Project number: 16093  
Date: 09/04/2019  
Drawn by: MB  
Checked by: JJ

A2

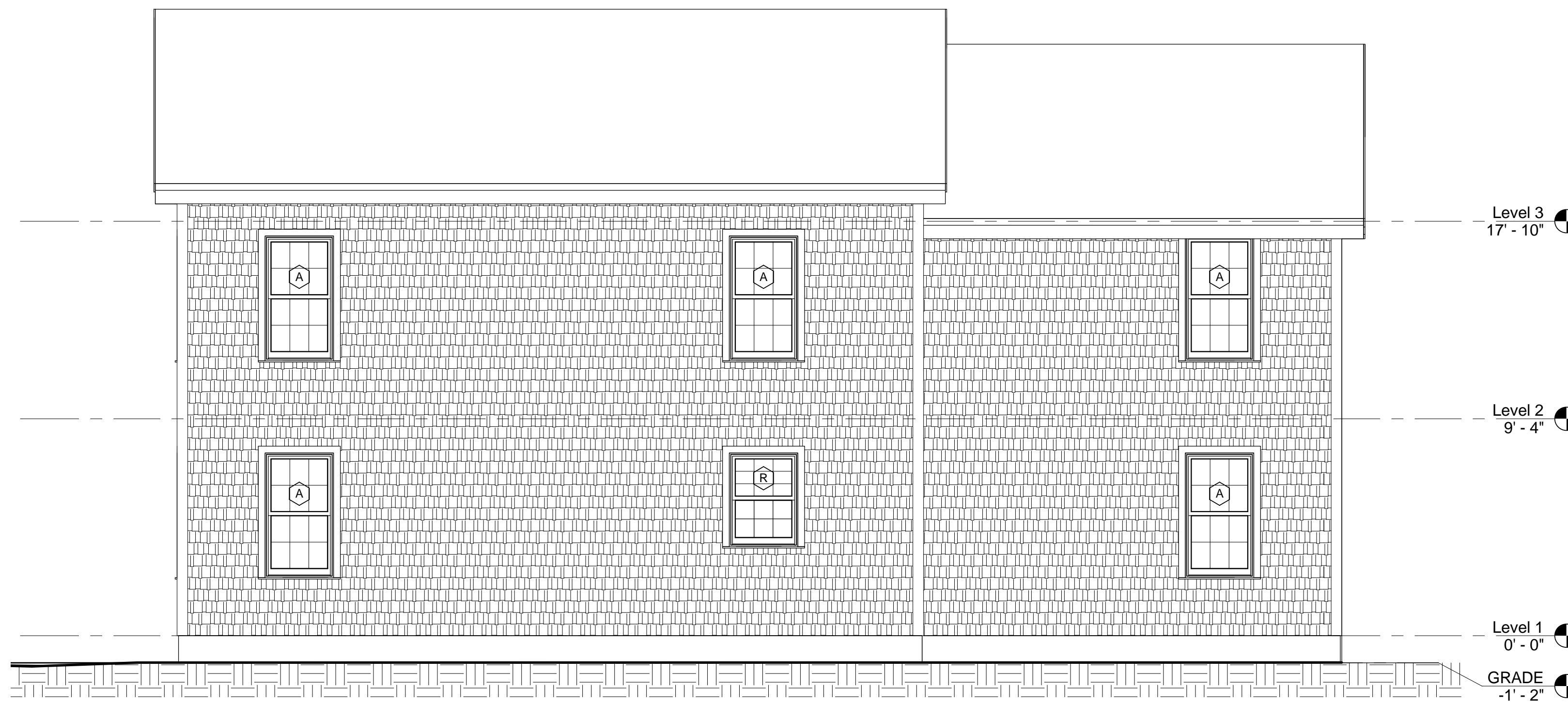
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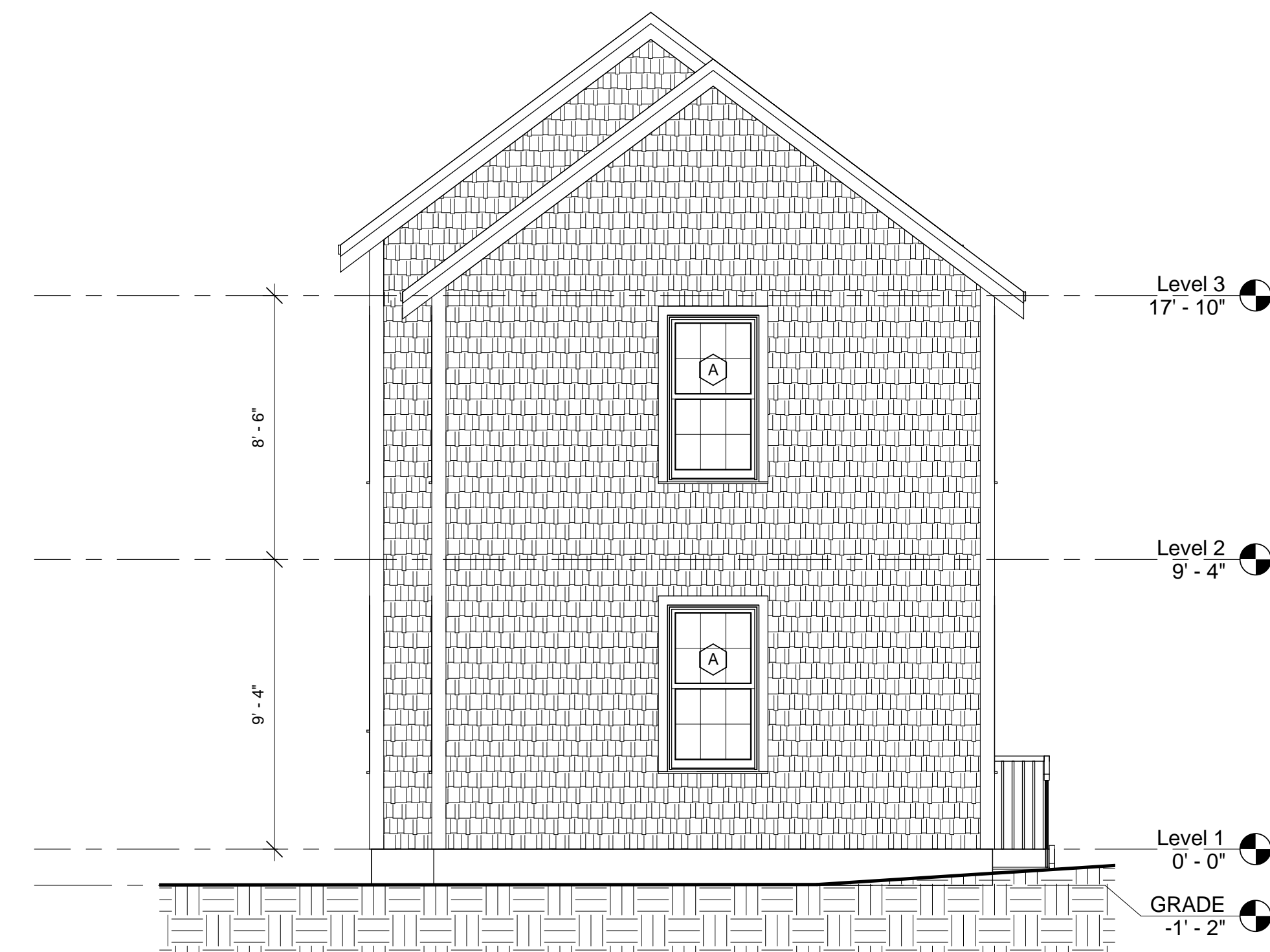
1 East Elevation- Single Family  
1/4" = 1'-0"



2 North Elevation- Single Family  
1/4" = 1'-0"



3 West Elevation- Single Family  
1/4" = 1'-0"



4 South Elevation- Single Family  
1/4" = 1'-0"

160-170 Union Street  
Matthew and Natasha Goyette  
Portsmouth, NH

McHENRY  
ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

**NOT FOR CONSTRUCTION  
REVIEW SET ONLY**

No.	Description	Date

Project Name:  
160-170 Union Street

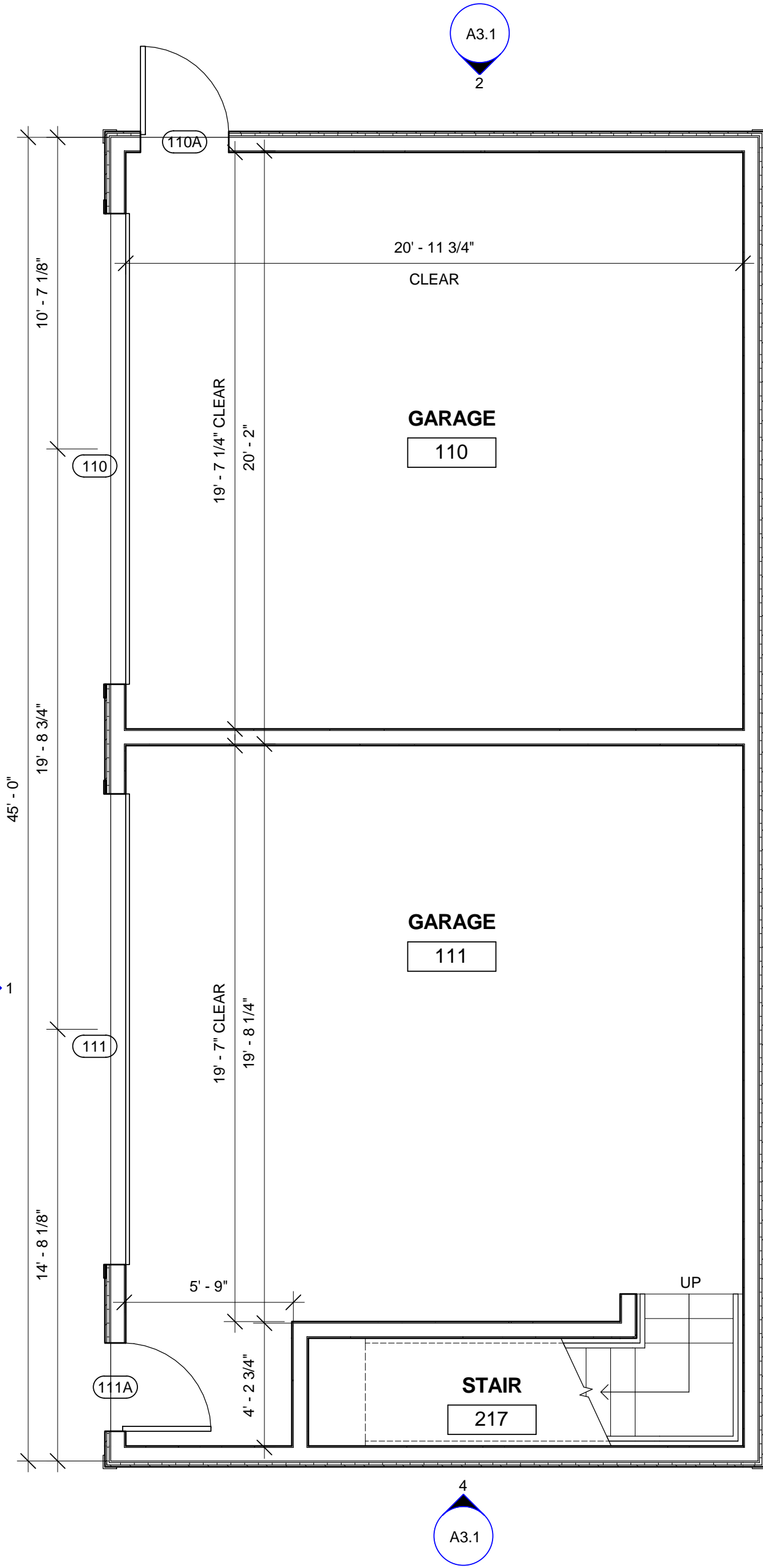
Drawing Name:  
EXTERIOR ELEVATIONS-  
SINGLE FAMILY

Project number: 16093  
Date: 09/04/2019  
Drawn by: MB  
Checked by: JJ

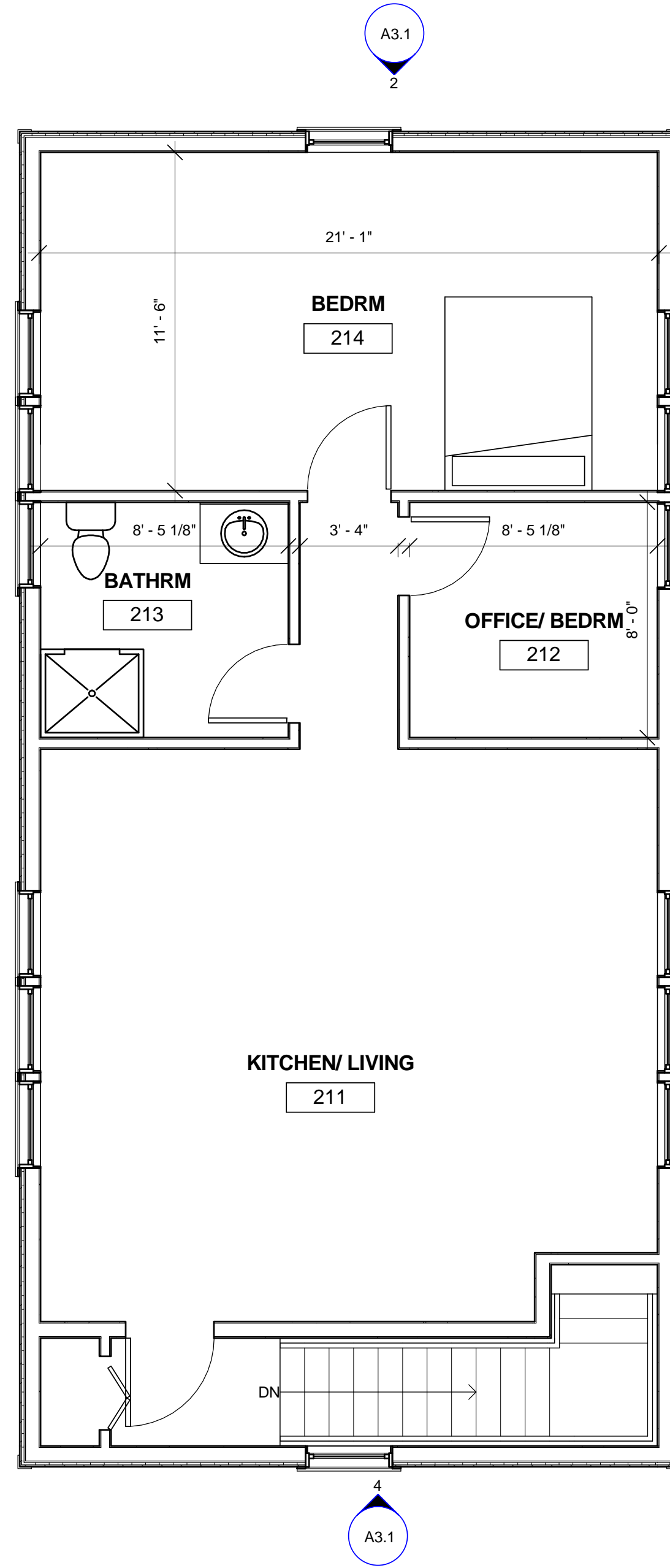
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Scale: 1/4" = 1'-0"

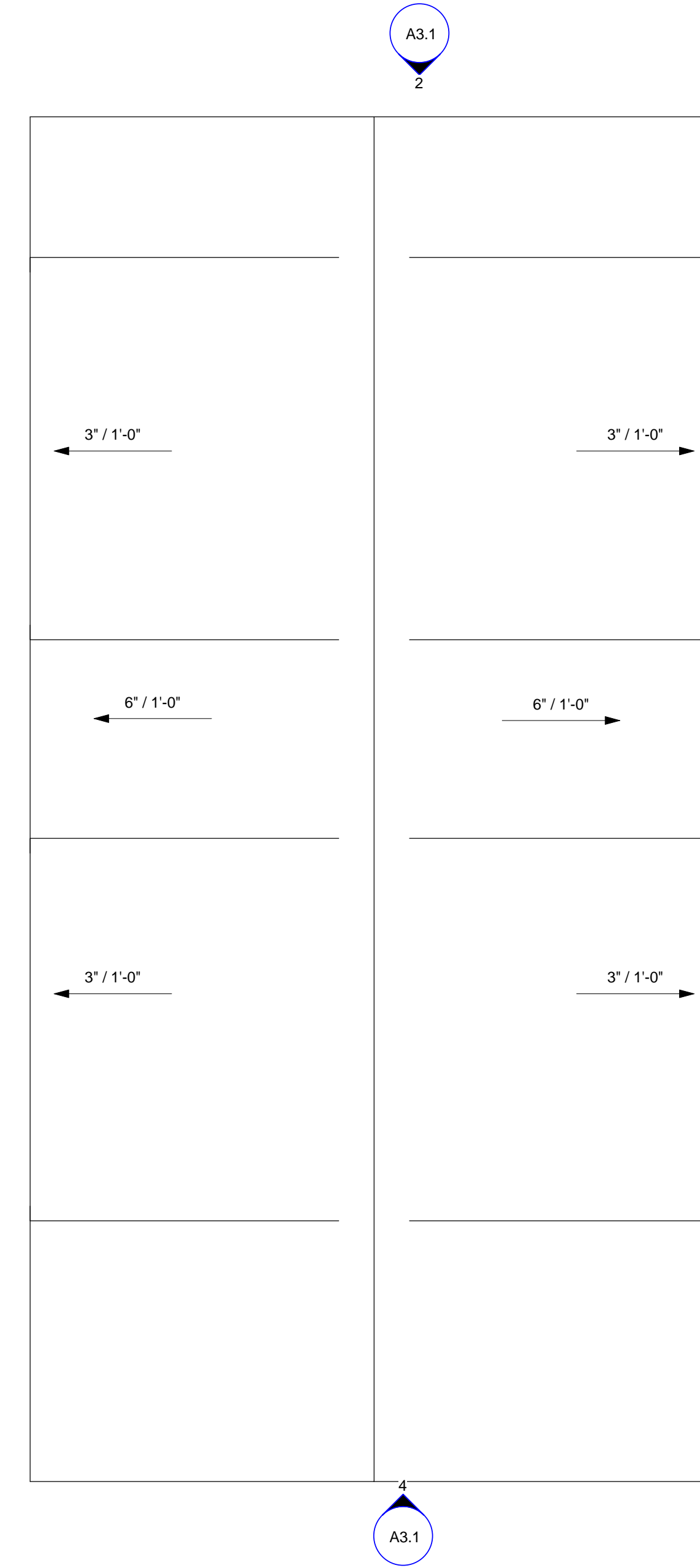




1 Level 1- APARTMENT  
1/4" = 1'-0"



2 Level 2- APARTMENT  
1/4" = 1'-0"



3 ROOF PLAN- APARTMENT  
1/4" = 1'-0"

160-170 Union Street  
Matthew and Natasha Goyette  
Portsmouth, NH

McHENRY  
ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

**NOT FOR CONSTRUCTION  
REVIEW SET ONLY**

No.	Description	Date

Project Name:  
160-170 Union Street

Drawing Name:  
APARTMENT FLOOR  
PLANS (OPTION 2)

Project number: 16093  
Date: 09/04/2019  
Drawn by: MB  
Checked by: JJ

**A3**

Scale: 1/4" = 1'-0"

160-170 Union Street  
 Matthew and Natasha Goyette  
 Portsmouth, NH

McHENRY  
 ARCHITECTURE  
 4 Market Street  
 Portsmouth, New Hampshire  
 603.430.0274

**NOT FOR CONSTRUCTION  
 REVIEW SET ONLY**

No.	Description	Date

Project Name:  
 160-170 Union Street

Drawing Name:  
 EXTERIOR ELEVATIONS-  
 APARTMENT (OPTION 2)

Project number: 16093  
 Date: 09/04/2019  
 Drawn by: MB  
 Checked by: JJ

**A3.1**

Scale: 1/4" = 1'-0"

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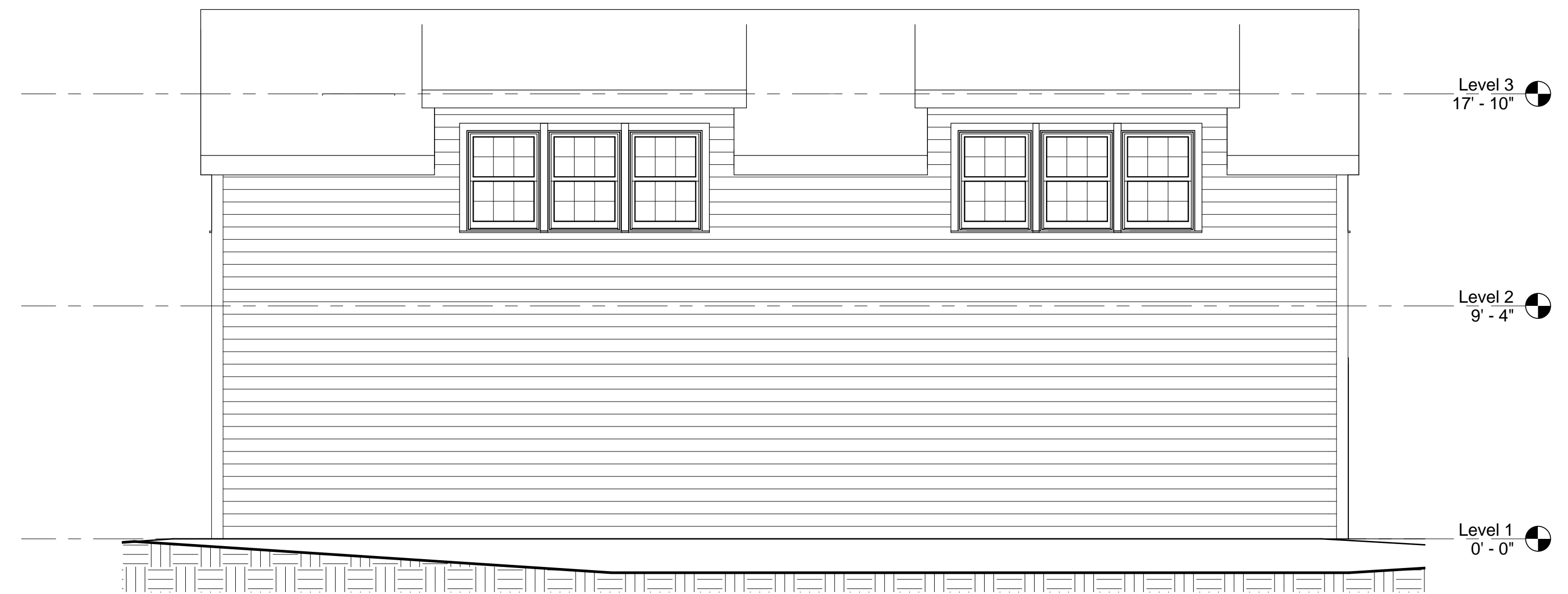
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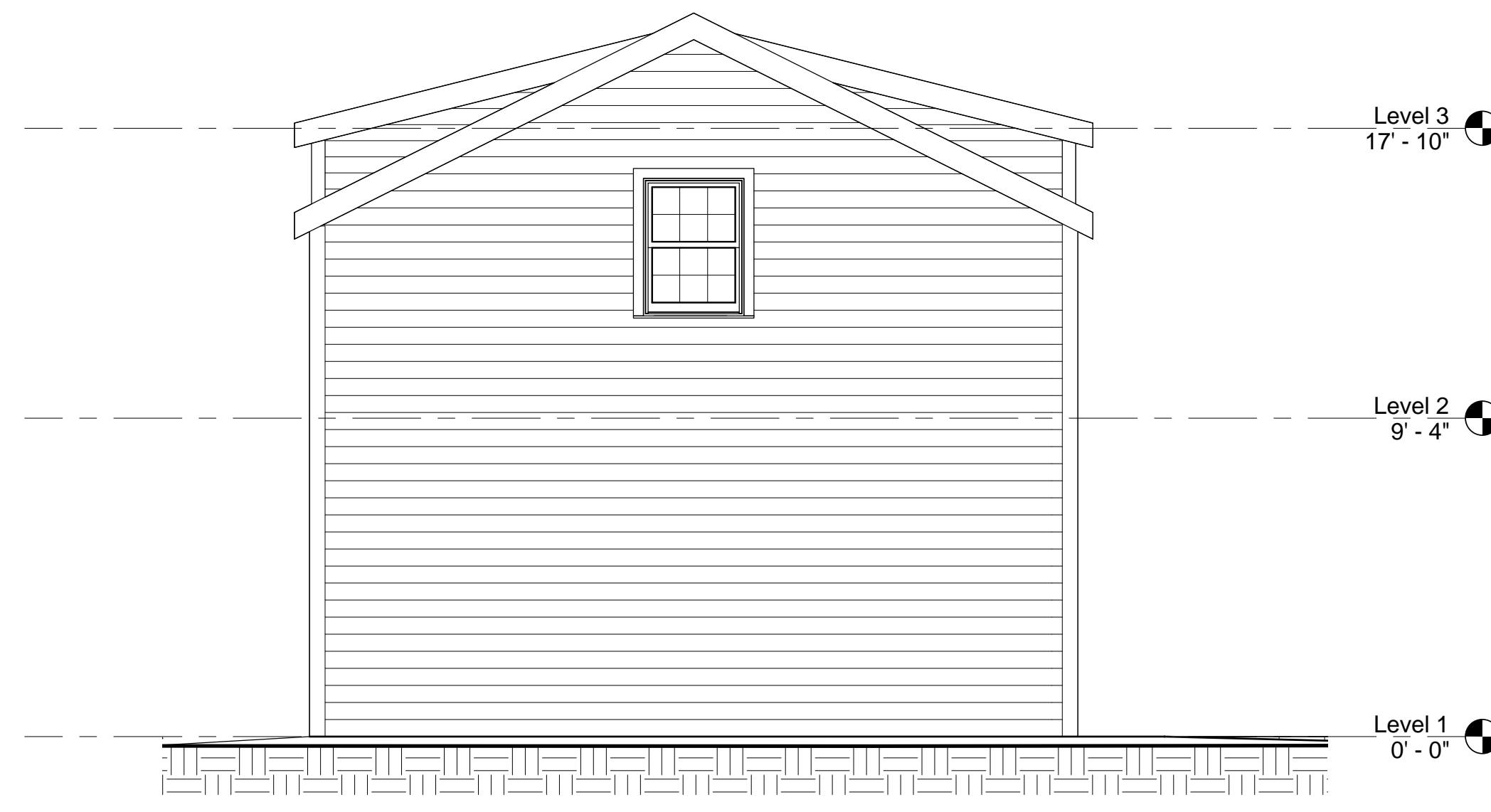
1 West Elevation- Apartment  
 1/4" = 1'-0"



2 North Elevation- Apartment  
 1/4" = 1'-0"



3 East Elevation- Apartment  
 1/4" = 1'-0"



4 South Elevation- Apartment  
 1/4" = 1'-0"