

**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

Juliet T. H. Walker, AICP, Planning Director  
City of Portsmouth Municipal Complex  
Planning Department  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

Re: **Application for Site Plan Approval  
Assessor's Map 145, Lot 292  
32 Union Street  
Altus Project #P4972**

Dear Juliet:

On behalf of Gwyn Burdell and Francis Delbene, Altus Engineering, Inc. (Altus) respectfully submits an application for Site Plan Review for the development of a one car garage and an apartment above at 32 Union Street where an existing duplex exists and will remain. The applicants obtained variances from the Board of Adjustment to allow for the project to proceed.

On November 5<sup>th</sup>, the Technical Advisory Committee voted to recommend approval to the Planning Board. Altus has revised the plans as recommended. The revisions include:


- Increasing the sewer service size from 4" to 6";
- Identify that parking stalls 1 and 2 will be assigned to the garage apartment. This is noted on site plan note 21.
- Modify the design to provide overhead electric and tele-communications services which requires a waiver.
- Realign the gas service to be more direct to the new building.

Enclosed please find two copies of the following:

- Site Plans (1 full sized, 1 reduced);
- Waiver request for overhead electrical service;
- Drainage memorandum;

Altus looks forward to presenting this project at the November 21<sup>st</sup> Planning Board hearing. Please call us if you have any questions or need any additional information.

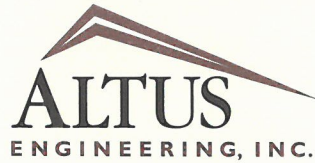
Sincerely,



Eric D. Weinrieb, PE  
President

wde/4972 PB cvr ltr  
Enclosure

Ecoby: Frank Delbene and Gwyn Burdell



**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

**WAIVER REQUESTS  
Assessor's Map 145, Lot 292  
32 Union Street**

*November 8, 2019*

On behalf of Gwyn Burdell and Frank Delbene, Altus Engineering, Inc. request the following a waiver from the City of Portsmouth, New Hampshire Site Plan Review Regulations.

*Article 8 Utility Standards*

*Section 8.1.2 All new and relocated wires, conduits and cables shall be located underground*

The project was presented to the Technical Advisory Committee (TAC) having the proposed electrical, tele-communications, and cable services serviced underground from the utility pole on the east side of Union Street. TAC requested that we redesign the services to locate them overhead. TAC's reasoning is that Union Street at some point in the future will be reconstructed. The Department of Public Works would prefer not to have the utility services interfering with any potential new utility services in the street. Additionally, DPW indicated that the majority of the properties in this area is serviced with overhead utilities.

Wde/4972 waiver



# City of Portsmouth, New Hampshire

## Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Owner/Applicant: Frank Delbene & Gwyn Burdell Date Submitted: 10/21/19

Phone Number: 603-812-8379 E-mail: burdie1107@hotmail.com

Site Address: 32 Union Street Map: 145 Lot: 29

Zoning District: GRC Lot area: 5,529 sq. ft.

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Fully executed and signed Application form. (2.5.2.3)	Application	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF). (2.5.2.8)	Application package	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1A)	In application package	
<input checked="" type="checkbox"/>	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1B)	Architectural plans	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1C)	Title block, all civil sheets	N/A
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1D)	Cover sheet, application package, above	N/A



**Site Plan Review Application Required Information**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1E)	Existing Conditions Plan, middle right	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1F)	Cover sheet, plan title block	N/A
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1G)	Existing Conditions Plan, middle right	N/A
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1H)	Demolition notes 16 thru 19.	N/A

**Site Plan Specifications**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. (2.5.4.1A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Existing conditions plan, note 6	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale. (2.5.4.1D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be prepared and stamped by a NH licensed civil engineer. (2.5.4.1D)	Excluding survey plan and architectural plan	N/A
<input checked="" type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	NA - no wetlands on lot	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Title block, all sheets, scale & north all sheets excluding details, legend ec plan	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	Cover sheet, title block	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)	Existing conditions plan	N/A



**Site Plan Specifications**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	Note 15, sheet C-1	N/A
<input checked="" type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> <li>a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds."</li> <li>b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director."</li> </ul> (2.13.3)	Site Plan, sheet C-1 Note 13 Note 12	N/A
<input checked="" type="checkbox"/>	Plan sheets showing landscaping and screening shall also include the following additional notes: <ul style="list-style-type: none"> <li>a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials."</li> <li>b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair."</li> <li>c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director."</li> </ul> (2.13.4)	Site Plan, sheet C-1 Notes 16 thru 18	N/A

Site Plan Specifications – Required Exhibits and Data			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	1. Existing Conditions: (2.5.4.3A)		
<input checked="" type="checkbox"/>	a. Surveyed plan of site showing existing natural and built features;	Existing Conditions Plan	
<input checked="" type="checkbox"/>	b. Zoning boundaries;	None - all in GRC district	
<input checked="" type="checkbox"/>	c. Dimensional Regulations;	Existing Conditions Plan	
<input checked="" type="checkbox"/>	d. Wetland delineation, wetland function and value assessment;	NA	
<input checked="" type="checkbox"/>	e. SFHA, 100-year flood elevation line and BFE data.	Note 8 Existing Conditions Plan	
	2. Buildings and Structures: (2.5.4.3B)		
<input checked="" type="checkbox"/>	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;	Sheet A1	
<input checked="" type="checkbox"/>	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;	Sheet A1	
<input checked="" type="checkbox"/>	c. Total Floor Area;	Site Plan, Sheet C-1 - in building	
<input checked="" type="checkbox"/>	d. Number of Usable Floors;	Sheet A1	
<input checked="" type="checkbox"/>	e. Gross floor area by floor and use.	Site Plan, Sheet C-1	
	3. Access and Circulation: (2.5.4.3C)		
<input checked="" type="checkbox"/>	a. Location/width of access ways within site;	Site Plan, Sheet C-1	
<input checked="" type="checkbox"/>	b. Location of curbing, right of ways, edge of pavement and sidewalks;	Site Plan, Sheet C-1	
<input checked="" type="checkbox"/>	c. Location, type, size and design of traffic signing (pavement markings);	None	
<input checked="" type="checkbox"/>	d. Names/layout of existing abutting streets;	Site Plan, Sheet C-1	
<input checked="" type="checkbox"/>	e. Driveway curb cuts for abutting prop. and public roads;	Site Plan, sheet C-1	
<input checked="" type="checkbox"/>	f. If subdivision; Names of all roads, right of way lines and easements noted;	NA	
<input checked="" type="checkbox"/>	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	NA	
	4. Parking and Loading: (2.5.4.3D)		
<input checked="" type="checkbox"/>	a. Location of off street parking/loading areas, landscaped areas/buffers;	Site Plan, Sheet C-1	
<input checked="" type="checkbox"/>	b. Parking Calculations (# required and the # provided).	Site Plan, Sheet C-1, top right	
	5. Water Infrastructure: (2.5.4.3E)		
<input checked="" type="checkbox"/>	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;	Utilities Plan, Sheet C-2	
<input checked="" type="checkbox"/>	b. Location of wells and monitoring wells (include protective radii).	NA	
	6. Sewer Infrastructure: (2.5.4.3F)		
<input checked="" type="checkbox"/>	a. Size, type and location of sanitary sewage facilities & Engineering data.	Utilities Plan, Sheet C-2	
	7. Utilities: (2.5.4.3G)		
<input checked="" type="checkbox"/>	a. The size, type and location of all above & below ground utilities;	Utilities Plan, sheet C-2	
<input checked="" type="checkbox"/>	b. Size type and location of generator pads, transformers and other fixtures.	Utilities Plan, Sheet C-2	

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H)		
<input checked="" type="checkbox"/>	a. The size, type and location of solid waste facilities.	Note 19, Sheet C-1	
	9. Storm water Management: (2.5.4.3I)		
<input checked="" type="checkbox"/>	a. The location, elevation and layout of all storm-water drainage.	Grading Plan, sheet C-3	
	10. Outdoor Lighting: (2.5.4.3J)		
<input checked="" type="checkbox"/>	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan.	Building mounted only, Note 19, Site Plan, Sheet C-1	
<input checked="" type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	Note 19, Site Plan, Sheet C-1	
	12. Landscaping: (2.5.4.3K)		
<input checked="" type="checkbox"/>	a. Identify all undisturbed area, existing vegetation and that which is to be retained;	Grading Plan, Sheet C-3	
<input checked="" type="checkbox"/>	b. Location of any irrigation system and water source.	Site Plan, Sheet C-1, Note 20	
	13. Contours and Elevation: (2.5.4.3L)		
<input checked="" type="checkbox"/>	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.	Grading Plan, Sheet C-3	
	14. Open Space: (2.5.4.3M)		
<input checked="" type="checkbox"/>	a. Type, extent and location of all existing/proposed open space.	Site Plan, Sheet C-1	
<input checked="" type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	NA	
<input checked="" type="checkbox"/>	16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)	Site Plan, Sheet C-1 and Note 8	
<input checked="" type="checkbox"/>	17. Character/Civic District (All following information shall be included): (2.5.4.3Q)	NA	
	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);		
	b. Applicable Special Requirements (10.5A21.30);		
	c. Proposed building form/type (10.5A43);		
	d. Proposed community space (10.5A46).		



Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application) (3.2.1-2)	NA	
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	See green statement, application package	
<input checked="" type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	NA - project not in wellhead protection district	
<input checked="" type="checkbox"/>	Indicate where measures to minimize impervious surfaces have been implemented. (7.4.3)	See green statement, application package	
<input checked="" type="checkbox"/>	Calculation of the maximum effective impervious surface as a percentage of the site. (7.4.3.2)	See drainage memorandum	
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. (Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application) (7.4.4.1)	Application package	

Final Site Plan Approval Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> <li>a. Waivers;</li> <li>b. Driveway permits;</li> <li>c. Special exceptions;</li> <li>d. Variances granted;</li> <li>e. Easements;</li> <li>f. Licenses.</li> </ul> (2.5.3.2A)	variance relief stated on cover sheet and site plan	
<input checked="" type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> <li>a. Calculations relating to stormwater runoff;</li> <li>b. Information on composition and quantity of water demand and wastewater generated;</li> <li>c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>d. Estimates of traffic generation and counts pre- and post-construction;</li> <li>e. Estimates of noise generation;</li> <li>f. A Stormwater Management and Erosion Control Plan;</li> <li>g. Endangered species and archaeological / historical studies;</li> <li>h. Wetland and water body (coastal and inland) delineations;</li> <li>i. Environmental impact studies.</li> </ul> (2.5.3.2B)	<ul style="list-style-type: none"> <li>a. drainage computations in application</li> <li>b. one bedroom apartment, 70 gpd/occupant</li> <li>c. NA</li> <li>d. NA</li> <li>e. NA</li> <li>f. drainage computations</li> <li>g. NA</li> <li>h. NA</li> <li>i. NA</li> </ul>	

**Final Site Plan Approval Required Information**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	To be provided	
<input checked="" type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	None required	

Applicant's Signature: Eric D. Weinrieb, PE Date: 10/16/19

*Eric D. Weinrieb, PE*

# PROPOSED 1-UNIT APARTMENT

FOR  
FRANK DELBENE

&

GWYN BURDELL

32 Union Street

Portsmouth, New Hampshire

Assessor's Parcel 145-29

OCTOBER 21, 2019

Issued for TAC

NOVEMBER 8, 2019

Issued for PB

*Owner/Applicant:*

Frank Delbene  
Gwyn Burdell  
165 Grant Avenue  
Portsmouth, NH 03801

*Surveyor:*

James Verra and  
Associates, Inc.  
LAND SURVEYORS  
101 SHATTUCK WAY - SUITE 8  
NEWINGTON, N.H. 03801 - 7876  
603-436-3557

*Civil Engineer:*

**ALTUS**  
ENGINEERING, INC.  
133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com



Locus Map  
Scale: Not to Scale

*Sheet Index*

Title	Sheet No.:	Rev.	Date
Existing Conditions Plan (by James Verra and Assoc., Inc.)	1 OF 1	1	05/15/19
Site Plan	C-1	2	11/08/19
Utilities Plan	C-2	2	11/08/19
Grading Plan	C-3	2	11/08/19
Detail Sheet	C-4	2	11/08/19
Architectural Floor Plans and Elevations (Newmarket Plains, LLC)	A1	0	09/16/19

*Building Designer:*

NEWMARKET PLAINS, LLC  
443 Wadleigh Falls Road  
Newmarket, NH 03857

*Permit Summary*

Zoning Relief – The following Variances were Granted on June 19, 2018:

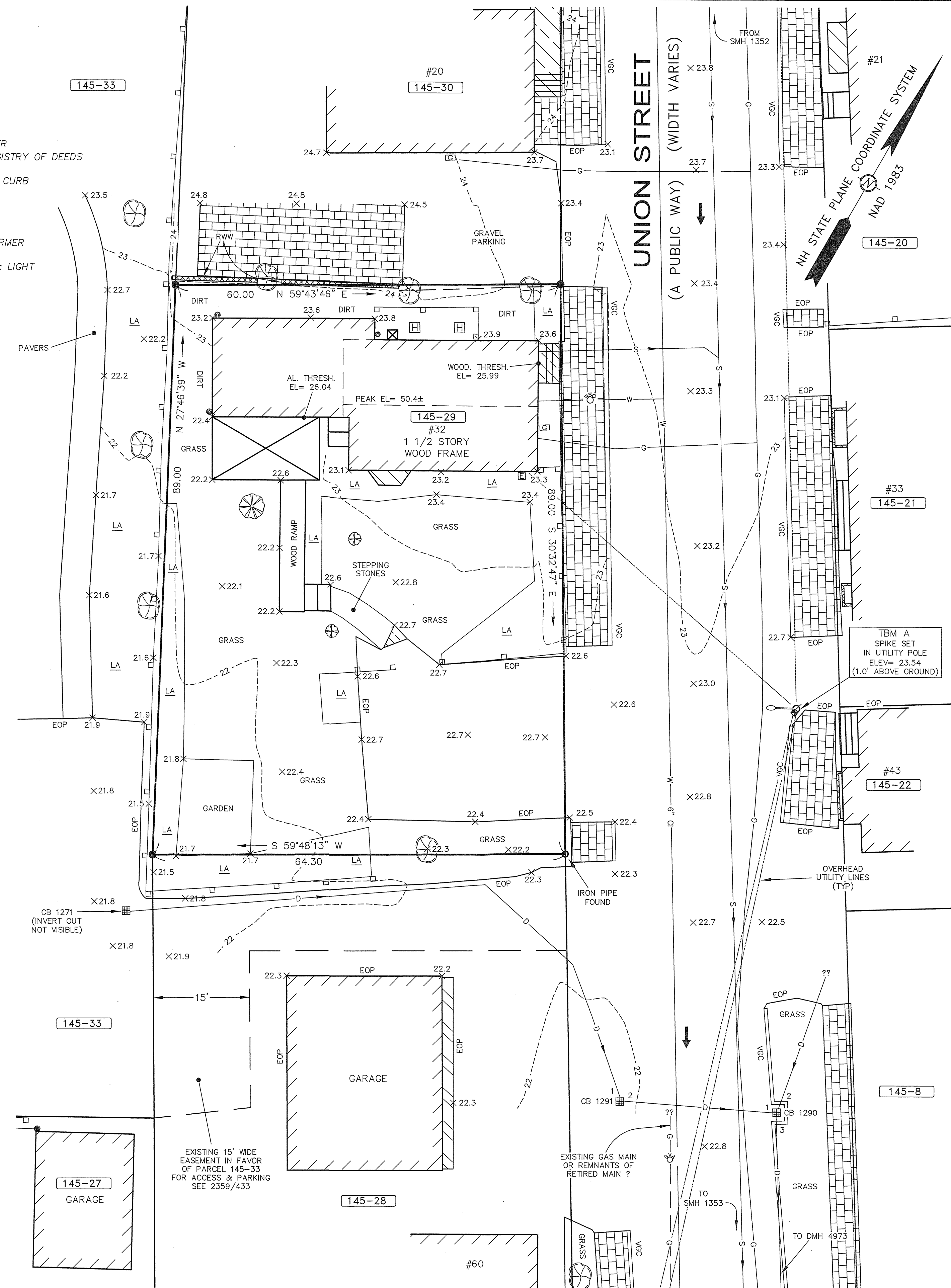
Section 10.521 to allow the construction of a 26' x 32' carriage house with a third dwelling with a lot area per dwelling unit of ±1,887 sf where 3,500 sf is required and a ±6-foot rear yard where 20-feet is required.

Zoning Relief – The following Variance was Granted on July 16, 2019:

Section 10.521 to allow a lot area per dwelling unit of 1,843 sf where 3,500 sf is required.



- LEGEND:**
- IRON ROD TO BE SET
  - IRON PIPE FOUND
  - CHAIN LINK FENCE
  - FENCE
  - 110-5 TAX SHEET - LOT NUMBER
  - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
  - EOP EDGE OF PAVEMENT
  - VGC VERTICAL FACED GRANITE CURB
  - RWW WOOD RETAINING WALL
  - RWG GRANITE RETAINING WALL
  - HANDICAP SPACE
  - UTILITY POLE
  - UTILITY POLE W/ TRANSFORMER
  - LIGHT POLE
  - UTILITY POLE WITH ARM & LIGHT
  - GUY
  - ELECTRIC METER
  - HVAC UNIT
  - GAS METER
  - GAS SHUT OFF
  - GAS VALVE
  - WATER GATE VALVE
  - WATER SHUT OFF VALVE
  - HYDRANT
  - CATCH BASIN
  - DRAIN MANHOLE
  - ROOF DOWNSPOUT
  - SEWER MANHOLE
  - DECIDUOUS TREE
  - DECIDUOUS SHRUB
  - W WATER LINE
  - S SEWER LINE
  - D DRAIN LINE
  - G GAS LINE
  - CEMENT CONCRETE
  - BRICK PAVERS
  - RETAINING WALL
  - LA LANDSCAPED AREA
  - X12.5 SPOT GRADE



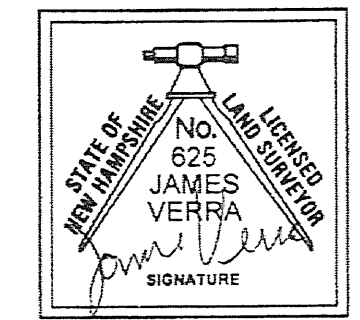
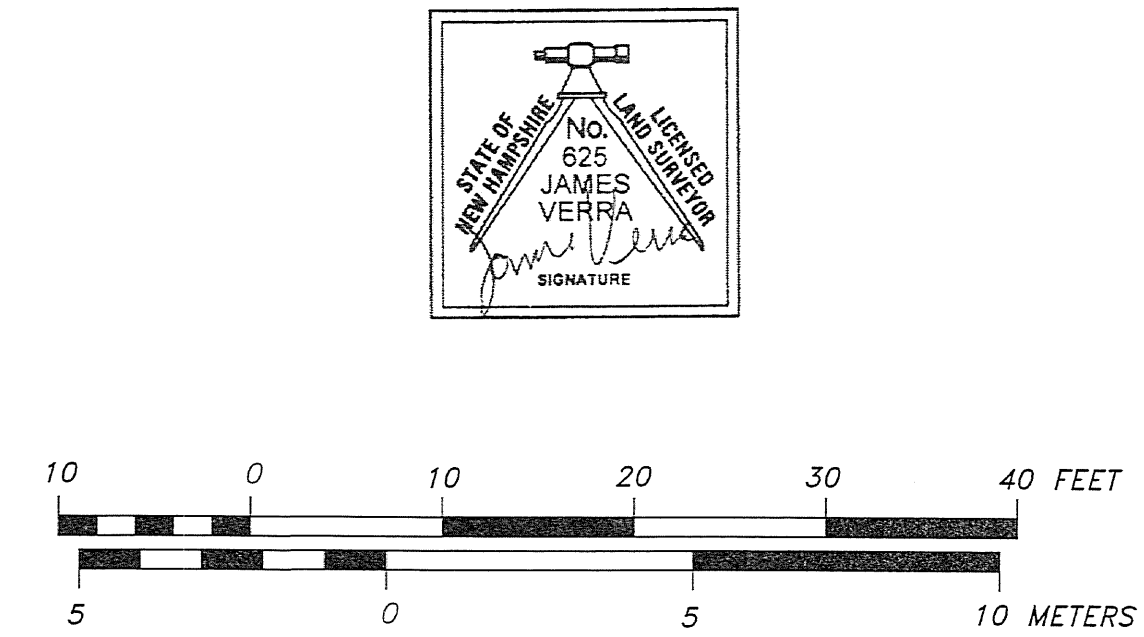
- NOTES:**
- OWNER OF RECORD..... FRANCIS T. DELBENE & GWYN M. BURDELL  
ADDRESS..... 165 GRANT AVE, PORTSMOUTH, NH 03801  
DEED REFERENCE..... 5612/1228  
TAX SHEET / LOT..... 145-29  
PARCEL AREA ..... 5,529 S.F.
  - THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
  - ZONED..... GRC FRONT YARD SETBACK..... 5'  
MINIMUM LOT AREA 3,500 S.F. SIDE YARD SETBACK..... 10'  
FRONTAGE..... 70' REAR YARD SETBACK..... 20'
  - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
  - CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.
  - THIS PLAN IS BASED ON A FIELD SURVEY PERFORMED 4/2019 BY JAMES VERRA AND ASSOCIATES, INC. ON SITE CONTROL ESTABLISHED USING SURVEY GRADE GPS UNITS. COORDINATE SYSTEM: NH STATE PLANE COORDINATE SYSTEM OF 1983 (ZONE 2800) HORIZONTAL DATUM: NAD 1983 (2011)(EPOCH: 2010.0000) VERTICAL DATUM: NAVD 1988 PRIMARY BM: CITY CONTROL POINT "ROBE"
  - THE BOARD OF ADJUSTMENT AT ITS REGULAR MEETING ON JUNE 19, 2018 COMPLETED ITS CONSIDERATION OF THE APPLICATION DESCRIBED AS FOLLOWS:  
APPLICATION:  
CASE 6-3  
PETITIONERS: FRANCIS T. DELBENE & GWYNN M. BURDELL  
PROPERTY: 32 UNION STREET  
ASSESSOR PLAN: MAP 145, LOT 29  
ZONING DISTRICT: GENERAL RESIDENCE C DISTRICT  
DESCRIPTION: CONSTRUCT A 26'x 32' CARRIAGE HOUSE/GARAGE WITH A 3RD DWELLING UNIT VARIANCES AND/OR SPECIAL EXCEPTIONS NECESSARY TO GRANT THE REQUIRED RELIEF FROM THE ZONING ORDINANCE INCLUDING THE FOLLOWING VARIANCES FROM SECTION 10.521:  
a) A LOT AREA PER DWELLING UNIT OF 1,887± S.F. WHERE 3,500 S.F. IS REQUIRED;  
b) A 6'± REAR YARD WHERE 20' IS REQUIRED.
- ACTION:**  
THE BOARD VOTED TO GRANT THE PETITION AS PRESENTED AND ADVERTISED.
- THE SUBJECT TRACT LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 33015C0259E, EFFECTIVE DATE MAY 17, 2005, BY FEMA.

- REFERENCE PLANS:**
- PLAN OF LOT, NO. 32 UNION STREET, PORTSMOUTH, N.H., SCALE: 1" = 15', DATED 7/1947, FILE NO. 141-1, BY JOHN W. DURGIN CE, NOT RECORDED.

**ABUTTERS LIST**

MAP-LOT	OWNER OF RECORD	DEED REF.
145-8	DAWN SAARI, 843 STATE ST, PORTSMOUTH, NH 03801	5884/2140
145-20	ABNER W. CLARK & ELIZAH D. HULSEMAN 21 UNION ST, PORTSMOUTH, NH 03801	5739/1036
145-21	JOSEPH R. KELLEY C/O RAY JEFFS CPA 24 STICKNEY TERRACE #9, HAMPTON, NH 03842	4692/1459
145-22	WESTON B. STRUWE & BRITTA C. WYATT 20 CUMBERLAND RD, OXFORD OX4 2DA, O UK	4723/2260
145-27	S. CHRISTOPHER ANCTIL, 73 EXETER RD, NORTH HAMPTON, NH 03862	5252/2935
145-28	ANN R. PATTISON TRUST AGREEMENT, ANN RENEE PATTISON HUUKO, TR. PO BOX 12, NEW CASTLE, NH 03854	5522/1703
145-30	HARRY N. STARBRANCH, JR., 20 UNION ST, PORTSMOUTH, NH 03801	3221/2082
145-33	404 ISLINGTON STREET LLC 404 ISLINGTON ST, PORTSMOUTH, NH 03801	5496/2593

SEWER TABLE	DRAIN TABLE
SMH 1352 RIM EL= 25.52 (1) INV OUT 12"VCP= 18.92	CB 1271 RIM EL= 21.57 (INVERT OUT NOT ACCESSIBLE)
SMH 1353 RIM EL= 23.95 (1) INV IN 12"VCP= 15.04	CB 1290 RIM EL= 22.03 (1) INV IN 12"CMP= 18.56 (2) INV IN 12"CMP= 18.56 (3) INV OUT 12"CMP= 18.56 SUMP EL= 17.0±
	CB 1291 RIM EL= 21.63 (1) INV IN 6"PVC= 19.77 (2) INV OUT 12"CMP= 18.87 SUMP EL= 18.6±
	DMH 4973 RIM EL= 23.80 (1) INV IN 12"CMP= 17.68



**SURVEYOR:**  
James Verra and Associates, Inc.  
LAND SURVEYORS  
101 SHATTUCK WAY - SUITE 8  
NEWINGTON, N.H. 03801-7876  
603-436-3557  
JOB NO: 23793  
PLAN NO: 23793

**ENGINEER:**  
**ALTUS ENGINEERING, INC.**  
133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com

**ISSUED FOR:**  
**ENGINEERING DESIGN**

**ISSUE DATE:**  
**MAY 15, 2019**

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
1	ENGINEERING DESIGN	JV	5/15/19

**DRAWN BY:** JCS  
**APPROVED BY:** JV  
**DRAWING FILE:** 23793.DWG

**SCALE:**  
22" x 34" - 1" = 10'  
11" x 17" - 1" = 20'

**OWNER/APPLICANT:**  
FRANCIS T. DELBENE  
GWYN M. BURDELL  
32 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCEL 145-29

**MAILING ADDRESS:**  
165 GRANT AVENUE  
PORTSMOUTH, N.H. 03801

**PROJECT:**  
**PROPOSED SITE DEVELOPMENT PLANS**  
32 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCEL 145-29

**TITLE:**  
**EXISTING CONDITIONS PLAN**

**SHEET NUMBER:**  
**1 OF 1**

P-4972



RECORDING OF THIS PLAN SHEET WAS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL.

THIS PLAN DOES NOT REPRESENT A SURVEY BY JAMES VERRA OR JAMES VERRA & ASSOCIATES, INC.

FOR JAMES VERRA & ASSOCIATES, INC.

DATE \_\_\_\_\_

APPROVED BY THE PORTSMOUTH PLANNING BOARD

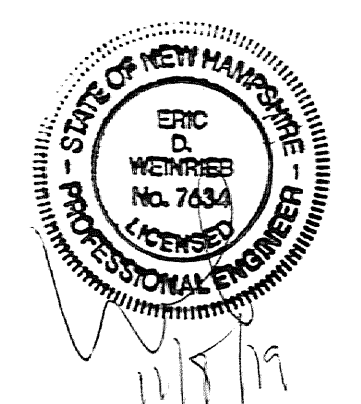
CHAIRMAN \_\_\_\_\_

DATE \_\_\_\_\_

ENGINEER:

**ALTUS**  
ENGINEERING, INC.

153 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR:

PLANNING BOARD

ISSUE DATE:

NOVEMBER 8, 2019

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TAC WORKSHOP	EDW	06/03/19
1	TAC	EDW	10/21/19
2	PER TAC COMMENTS	EDW	11/08/19

DRAWN BY: \_\_\_\_\_

RLH

APPROVED BY: \_\_\_\_\_

EDW

DRAWING FILE: \_\_\_\_\_

4972.DWG

SCALE:

22" x 34" - 1" = 10'  
11" x 17" - 1" = 20'

OWNER/APPLICANT:

FRANCIS T. DELBENE  
GWYN M. BURDELL  
32 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCEL 145-29

MAILING ADDRESS:

165 GRANT AVENUE  
PORTSMOUTH, N.H. 03801

PROJECT:

**PROPOSED SITE  
DEVELOPMENT  
PLANS**

32 UNION STREET  
PORTSMOUTH, N.H.

ASSESSOR'S PARCEL  
145-29

TITLE:

**SITE PLAN**

SHEET NUMBER:

**C-1**

**ZONING SUMMARY**

THE PARCEL IS LOCATED IN THE GRC ZONE.

MIN. LOT AREA REQUIRED: 3,500 SF  
LOT AREA PROVIDED: 5,529 SF

MIN. FRONTAGE REQUIRED: 70'  
FRONTAGE PROVIDED: 89'

BUILDING SETBACKS	REQUIRED	PROVIDED
MIN. FRONT YARD:	5'	3.5' (EXISTING)
MIN. SIDE YARD:	10'	5' (EXISTING)
MIN. REAR YARD:	20'	6' (EXISTING)
		6.5' (PROPOSED) *
MAX. BLDG. HEIGHT:	35'	<35'
MAX. BLDG. COVERAGE:	35%	34%
MIN. OPEN SPACE:	20%	49%

PARKING CALCULATION:  
1.3 SPACES/UNIT x 3 UNITS = 3.9 SPACES REQUIRED  
4 SPACES PROVIDED

MULTI-FAMILY DWELLING UNITS ALLOWED

LOT AREA PER DWELLING UNIT: 3,500 SF REQUIRED  
LOT AREA PER DWELLING UNIT PROPOSED : 1,843 SF± \*

\* ZONING RELIEF GRANTED ON 6/19/2018 FROM SECTION 10.521 TO ALLOW A LOT AREA PER DWELLING UNIT OF ±1,887 SF WHERE 3,500 SF IS REQUIRED AND ±6 FOOT REAR YARD WHERE 20 FEET IS REQUIRED

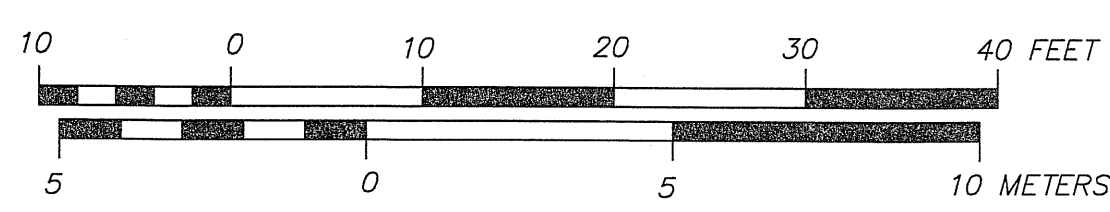
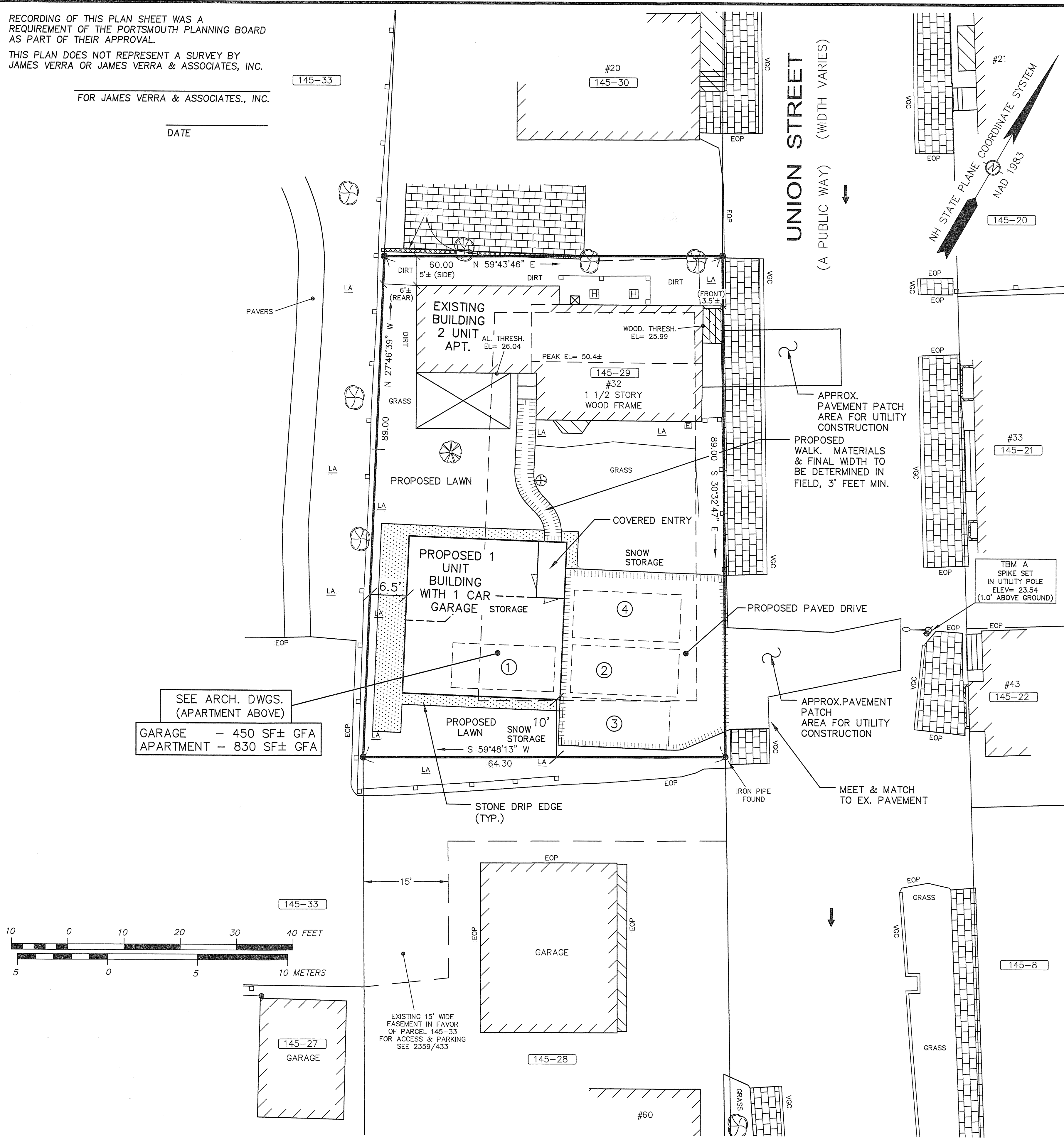
\* ZONING RELIEF GRANTED ON 7/19/19 FROM SECTION 10.521 TO ALLOW A LOT AREA OF 1,843 SF (PER DWELLING) WHERE 3,500 SF IS REQUIRED.

**GENERAL NOTES**

- THE INTENT OF THIS PLAN SET IS TO PROVIDE THE NECESSARY INFORMATION FOR THE REVIEW, PERMITTING AND CONSTRUCTION OF A 1-CAR GARAGE W/AN APARTMENT ABOVE. THESE PLANS PROVIDE DETAILED INFORMATION FOR THE SITE LAYOUT, GRADING, UTILITIES, STORMWATER MANAGEMENT, AND LANDSCAPE IMPROVEMENTS.
- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. THE LANDOWNER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH LOCAL, STATE AND FEDERAL WETLAND PERMITTING REQUIREMENTS INCLUDING PROTECTION OF NATURAL RESOURCES AND THEIR BUFFERS.
- CONTRACTOR SHALL CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL INSTALL AND MAINTAIN A TEMPORARY SECURITY FENCE AROUND THE PERIMETER OF THE WORK AREA THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY SEDIMENT AND EROSION CONTROL ITEMS TO PREVENT SEDIMENT FROM CONSTRUCTION ACTIVITIES FROM LEAVING THE SITE. CONTROLS SHALL BE INSPECTED ON A REGULAR BASIS AND AFTER ALL RAIN EVENTS OF 0.25 INCHES OR GREATER. ANY DEFICIENCIES IN THE CONTROLS SHALL BE ADDRESSED IMMEDIATELY AND BROUGHT TO THE ATTENTION OF THE OWNER. ALL STORM DRAINS WITHIN OR ADJACENT TO THE WORK AREA, WITH THE POTENTIAL TO RECEIVE RUNOFF FROM EXPOSED CONSTRUCTION AREAS, SHALL RECEIVE STORM DRAIN INLET PROTECTION. CONTRACTOR SHALL PREVENT TRACKING OF DIRT ONTO ANY PUBLIC OR PRIVATE ROADWAYS. IF TRACKING OF DIRT FROM CONSTRUCTION VEHICLES IS PRESENT ON THE OPEN STREETS, CONTRACTOR WILL BE REQUIRED TO SWEEP THE ROADWAY AT NO ADDITIONAL EXPENSE TO THE OWNER.

**GENERAL SITE NOTES**

- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- ALL CONDITIONS OF THIS APPROVAL SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- AREA OF DISTURBANCE UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN UPLAND AREAS SHOWN THEREON. IF ADEQUATE ON-SITE SNOW STORAGE IS NOT AVAILABLE, THE SNOW SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS - NONE PROPOSED.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF BOTH THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- SITWORK CONTRACTOR SHALL PREPARE A LICENSED LAND SURVEYOR (LLS) STAMPED AS-BUILT SITE PLAN & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.
- THE PROPOSED LIGHTING WILL BE BUILDING MOUNTED AND SHALL BE DARK SKY FRIENDLY.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- TRASH AND RECYCLING SHALL BE STORED INSIDE BUILDINGS.
- NO IRRIGATION IS PROPOSED.
- PARKING SPACES LABELED 1 & 2 ARE RESERVED FOR THE APARTMENT OVER THE NEW GARAGE.



SEE ARCH. DWGS.  
(APARTMENT ABOVE)  
GARAGE - 450 SF± GFA  
APARTMENT - 830 SF± GFA

UNION STREET  
(A PUBLIC WAY) (WIDTH VARIES)

NH STATE PLANE COORDINATE SYSTEM  
NAD 1983

APPROX. PAVEMENT PATCH AREA FOR UTILITY CONSTRUCTION  
PROPOSED WALK. MATERIALS & FINAL WIDTH TO BE DETERMINED IN FIELD, 3' FEET MIN.

APPROX. PAVEMENT PATCH AREA FOR UTILITY CONSTRUCTION

MEET & MATCH TO EX. PAVEMENT

EXISTING 15' WIDE EASEMENT IN FAVOR OF PARCEL 145-33 FOR ACCESS & PARKING SEE 2359/433

P4972



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE

145-33

#20  
145-30

#21  
145-20

UNION STREET  
(A PUBLIC WAY)  
(WIDTH VARIES)

NH STATE PLANE COORDINATE SYSTEM  
MAD 1983

RESTORE EXISTING BRICK SIDEWALK. SEE DETAIL

EXISTING BUILDING  
2 UNIT  
APT.

#32  
1 1/2 STORY  
WOOD FRAME

#33  
145-21

PROPOSED 1  
UNIT  
BUILDING  
WITH 1 CAR  
GARAGE

NO FLOOR  
DRAINS IN  
GARAGE

PROPOSED  
NATURAL  
GAS  
SERVICE

TBM A  
SPIKE SET  
IN UTILITY POLE  
ELEV= 23.54  
(1.0' ABOVE GROUND)

#43  
145-22

#45-8

CB 1271  
(INVERT OUT  
NOT VISIBLE)

145-33

145-27  
GARAGE

145-28

#60

SEWER TABLE

SMH 1352  
RIM EL= 25.52  
(1) INV OUT 12"VCP= 18.92  
  
SMH 1353  
RIM EL= 23.95  
(1) INV IN 12"VCP= 15.04

DRAIN TABLE

CB 1271  
RIM EL= 21.57  
(INVERT OUT NOT ACCESSIBLE)  
  
CB 1290  
RIM EL= 22.03  
(1) INV IN 12"CMP= 18.56  
(2) INV IN 12"CMP= 18.56  
(3) INV OUT 12"CMP= 18.56  
SUMP EL= 17.0±  
  
CB 1291  
RIM EL= 21.63  
(1) INV IN 6"PVC= 19.77  
(2) INV OUT 12"CMP= 18.87  
SUMP EL= 18.6±  
  
DMH 4973  
RIM EL= 23.80  
(1) INV IN 12"CMP= 17.68

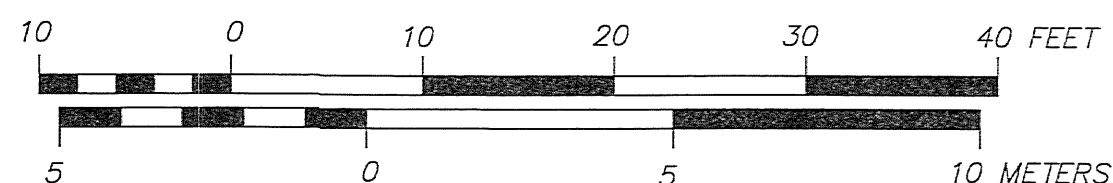
PROPOSED OVERHEAD  
ELECTRIC &  
TELE-COMMUNICATIONS  
SERVICES

DEMOLITION NOTES

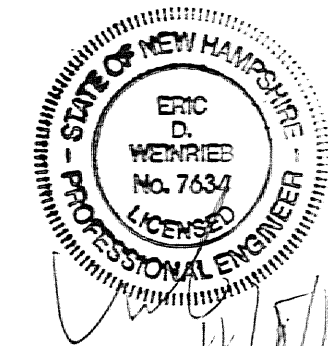
1. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON FIELD LOCATION OF VISIBLE UTILITIES AND INFORMATION PROVIDED BY THE UTILITIES AGENCIES. THE LOCATIONS ARE NOT GUARANTEED BY THE ENGINEER, SURVEYOR OR OWNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR ANY DAMAGE DONE TO THE UTILITIES, AND RELOCATE EXISTING UTILITIES (IF REQUIRED) AT NO EXTRA COST TO THE OWNER. UTILITY CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER AND UTILITY COMPANY.
2. CONTRACTOR SHALL SAFELY SECURE THE SITE WITH SECURITY FENCING. FENCING SHALL BE LOCKED DURING NON-WORK HOURS.
3. CITY DEMOLITION PERMIT REQUIRED MAYBE PRIOR TO ANY DEMOLITION ACTIVITIES. CONTRACTOR IS NOTIFIED THAT THIS PERMIT PROCESS MAY REQUIRE A 30-DAY LEAD TIME.
4. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN. THESE DEMOLITION PLAN NOTES ARE INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
6. ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
7. ALL STRUCTURES, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED LANDSCAPE AREAS AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPE AND/OR STORMWATER MANAGEMENT PURPOSES AND MEETING THE PROJECT SPECIFICATIONS.
8. WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, MONITORING WELLS, ETC. SHALL BE ADJUSTED TO FINISH GRADE.
9. NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
10. HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
11. SEE EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO; SILT FENCING, STABILIZED CONSTRUCTION SITE EXITS, AND STORM DRAIN INLET PROTECTION.
12. ALL DEMOLISHED MATERIALS OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED.
13. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS AND CODES.
14. LEDGE REMOVAL MAY BE REQUIRED ON THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE CITY WITH A LEDGE REMOVAL PLAN. IF BLASTING IS TO BE PERFORMED, ALL STATE AND LOCAL REQUIREMENTS SHALL BE COMPLIED WITH. NO BLASTING IS ALLOWED WITHOUT A BLAST SURVEY BEING COMPLETED PRIOR TO.
15. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL DISCONNECTIONS/INSTALLATIONS WITH EVERSOURCE. CONTACT NICK KOSKO @ 603-332-4227, EXT. 5555334
16. CONTRACTOR SHALL COORDINATE ALL NATURAL GAS DISCONNECTIONS/INSTALLATIONS WITH UNITIL CORPORATION. CONTACT DAVID BEAULIEU @ 603-294-5144
17. CONTRACTOR SHALL COORDINATE ALL CABLE DISCONNECTIONS/INSTALLATIONS WITH COMCAST. CONTACT MIKE COLLINS @ 603-679-5695 EXT 1037
18. CONTRACTOR SHALL COORDINATE ALL TELE-COMMUNICATION DISCONNECTIONS AND INSTALLATION WITH CONSOLIDATED COMMUNICATIONS. CONTACT JOE CONSIDINE @ 603-427-5525

UTILITY NOTES

1. ALL WATER MAIN INSTALLATIONS AND SERVICE CONNECTIONS SHALL CONFORM TO PORTSMOUTH WATER DEPARTMENT STANDARDS.
2. ALL SEWER INSTALLATIONS AND SERVICE CONNECTIONS SHALL CONFORM TO PORTSMOUTH WATER AND SEWER DEPARTMENT STANDARDS. CONTRACTOR SHALL CONTACT PORTSMOUTH DPW FOR TESTING OF SEWER SERVICE.
3. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL PERMIT CONDITIONS AND REQUIREMENTS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
5. FIRE ALARM PANEL SHALL BE MONITORED THROUGH A THIRD-PARTY SECURITY COMPANY. CONTRACTOR SHALL COORDINATE ALL PANEL LOCATIONS AND INTERCONNECTIONS WITH FIRE DEPARTMENT, IF REQUIRED.
6. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATION DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE APPLICANT SHALL BE REQUIRED TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES A REPEATER IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY. THE SURVEY SHALL BE COMPLETED AND THE REPEATER, IF DETERMINED IT IS REQUIRED, SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY.
7. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
8. SITEWORK CONTRACTOR SHALL COORDINATE ALL WORK WITH MECHANICAL DRAWINGS.
9. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDINGS. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
10. FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ARCHITECT.
11. CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS.
12. CONTRACTOR SHALL COORDINATE ALL CABLE INSTALLATIONS WITH COMCAST.
13. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
14. CONTRACTOR SHALL CONTACT CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AT 603-427-1530 TO COORDINATE INSPECTION OF SEWER WORK.



ENGINEER:  
**ALTUS**  
ENGINEERING, INC.  
133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com



ISSUED FOR: PLANNING BOARD

ISSUE DATE: NOVEMBER 8, 2019

NO.	REVISIONS	DESCRIPTION	BY	DATE
0	TAC WORK SESSION		EDW	6/03/19
1	TAC SUBMISSION		EDW	10/21/19
2	PER TAC COMMENTS		EDW	11/08/19

DRAWN BY: RLH  
APPROVED BY: EDW  
DRAWING FILE: 4972.DWG

SCALE:  
22" x 34" - 1" = 10'  
11" x 17" - 1" = 20'

OWNER/APPLICANT:  
FRANCIS T. DELBENE  
GWYN M. BURDELL  
32 UNION STREET  
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MAILING ADDRESS:  
165 GRANT AVENUE  
PORTSMOUTH, N.H. 03801

PROJECT:  
**PROPOSED SITE  
DEVELOPMENT  
PLANS**  
32 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCEL  
145-29

TITLE:  
**UTILITIES PLAN**

SHEET NUMBER:  
**C-2**

P-4972



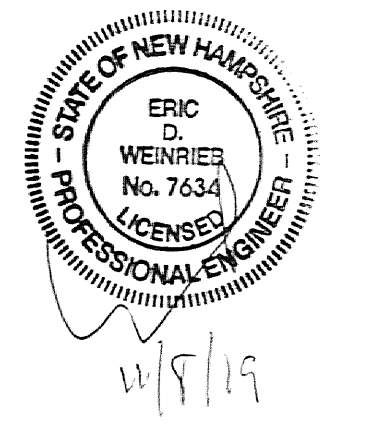
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

ENGINEER:

**ALTUS**  
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801  
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ISSUED FOR: PLANNING BOARD

ISSUE DATE: NOVEMBER 8, 2019

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TAC WORKSHOP	EDW	06/03/19
1	TAC	EDW	10/21/19
2	PER TAC COMMENTS	EDW	11/08/19

DRAWN BY: \_\_\_\_\_ RLH

APPROVED BY: \_\_\_\_\_ EDW

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PROJECT:

**PROPOSED SITE DEVELOPMENT PLANS**

32 UNION STREET  
PORTSMOUTH, N.H.

ASSESSOR'S PARCEL  
145-29

TITLE:

**GRADING PLAN**

SHEET NUMBER:

**C-3**

**PROPOSED LEGEND**

--- EXISTING CONTOUR

--- PROPOSED CONTOUR

X21.7 EXISTING SPOT GRADE ELEVATION

22.4 x PROPOSED SPOT GRADE ELEVATION

--- PROPOSED STONE DRIP EDGE

--- PROPOSED EDGE OF PAVEMENT

TEMPORARY EROSION CONTROL SILT SOXX BARRIER.

PAVERS

STONE DRIP EDGE/ INFILTRATION TRENCH SEE DETAIL.

CB 1271 (INVERT OUT NOT VISIBLE)

EXISTING 15' WIDE EASEMENT IN FAVOR OF PARCEL 145-33 FOR ACCESS & PARKING SEE 2359/433

EXISTING GAS MAIN OR REMNANTS OF RETIRED MAIN?

TO SMH 1353

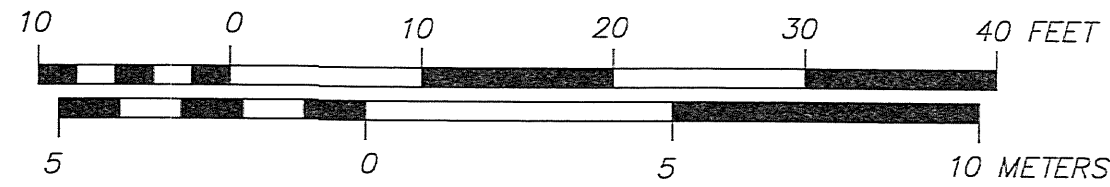
UNION STREET (A PUBLIC WAY) (WIDTH VARIES)

NH STATE PLANE COORDINATE SYSTEM

NAD 1983

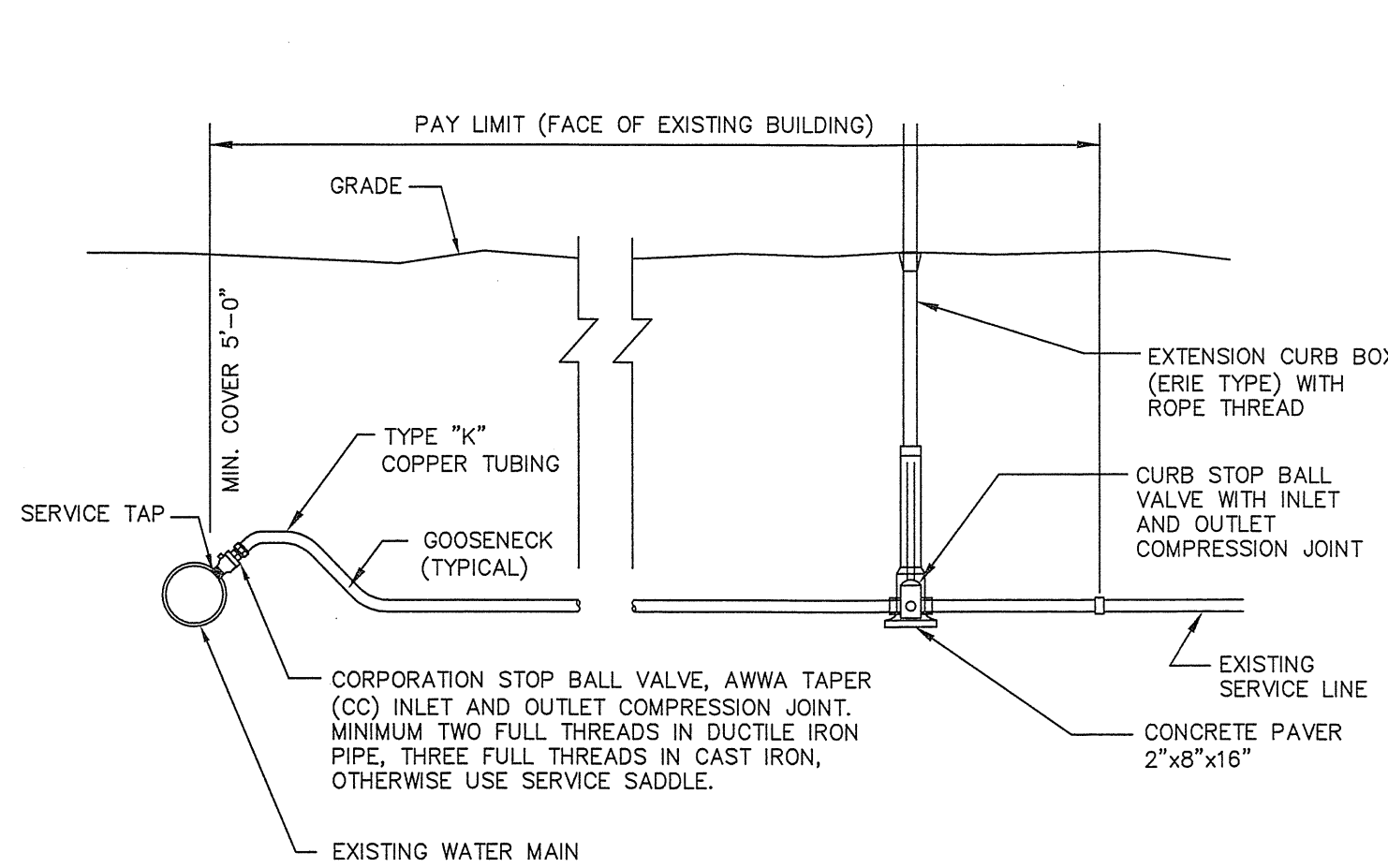
**GRADING AND DRAINAGE NOTES**

- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION
- DEWATERING ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH EPA AND NHDES REGULATIONS AND GUIDELINES.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF THE FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WILL ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
- ALL STORM DRAIN PIPE SHALL BE ADS N-12 OR EQUAL AND APPROVED BY THE ENGINEER.
- ALL CATCH BASIN, GATE VALVE COVERS, AND MANHOLE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISHED GRADE. ANY RIM OR VALVE COVER ABOVE SURROUNDING FINISHED GRADE WILL NOT BE ACCEPTED.
- ALL SPOT GRADES ARE AT THE FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
- UNLESS OTHERWISE SPECIFIED, RETAINING WALL AND BUILDING PERIMETER DRAINS SHALL BE DIRECTED TO THE NEAREST DRAINAGE STRUCTURE. IF DEEMED APPROPRIATE, CONTRACTOR SHALL PROVIDE ADDITIONAL UNDERDRAINS AT THE DIRECTION OF THE ENGINEER.
- CONTRACTOR SHALL PROTECT ALL RAINGARDENS AND OTHER STORM MANAGEMENT DEVICES FROM CONSTRUCTION STORMWATER RUNOFF. TEMPORARY SEDIMENT BASINS SHALL BE CONSTRUCTED DURING CONSTRUCTION. STORMWATER SHALL NOT BE DIRECTED TO THE RAINGARDENS OR STORMWATER MANAGEMENT AREAS UNTIL THE WATERSHED ARE HAS BEEN STABILIZED.



P4972

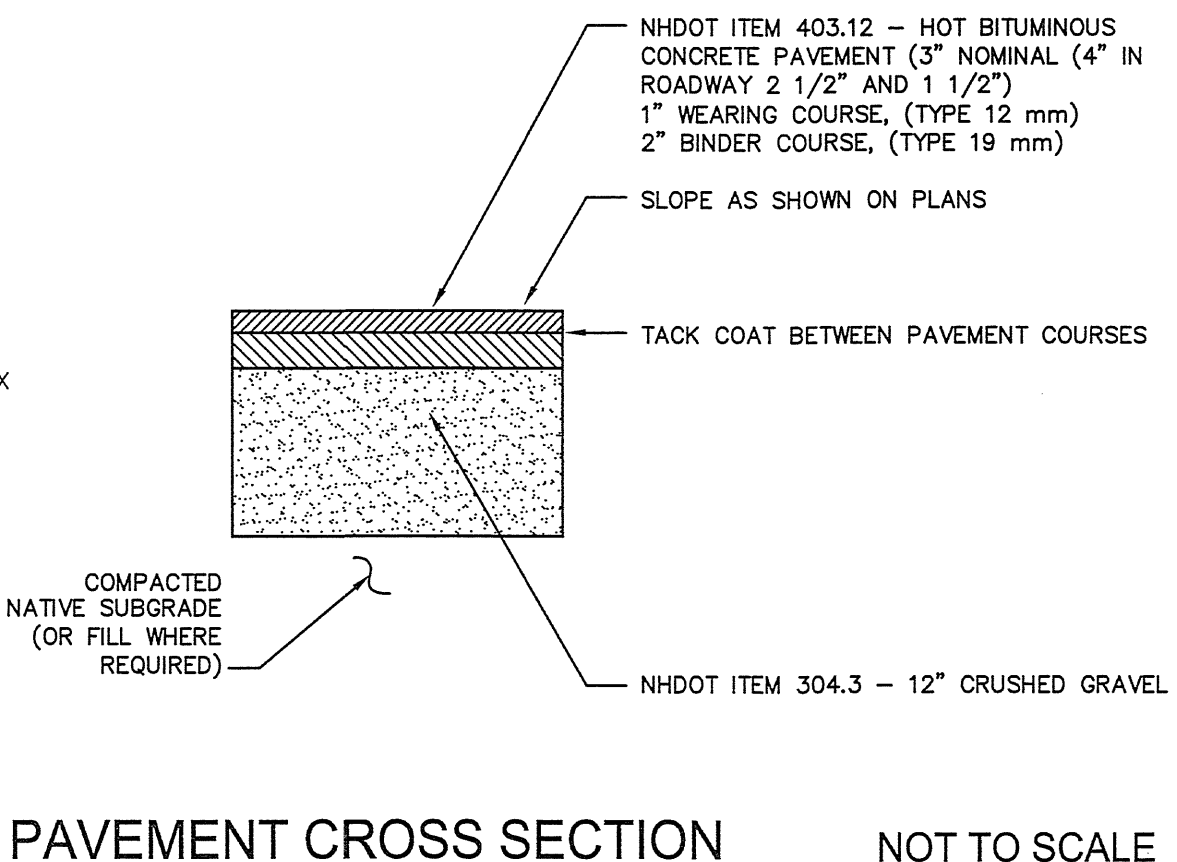




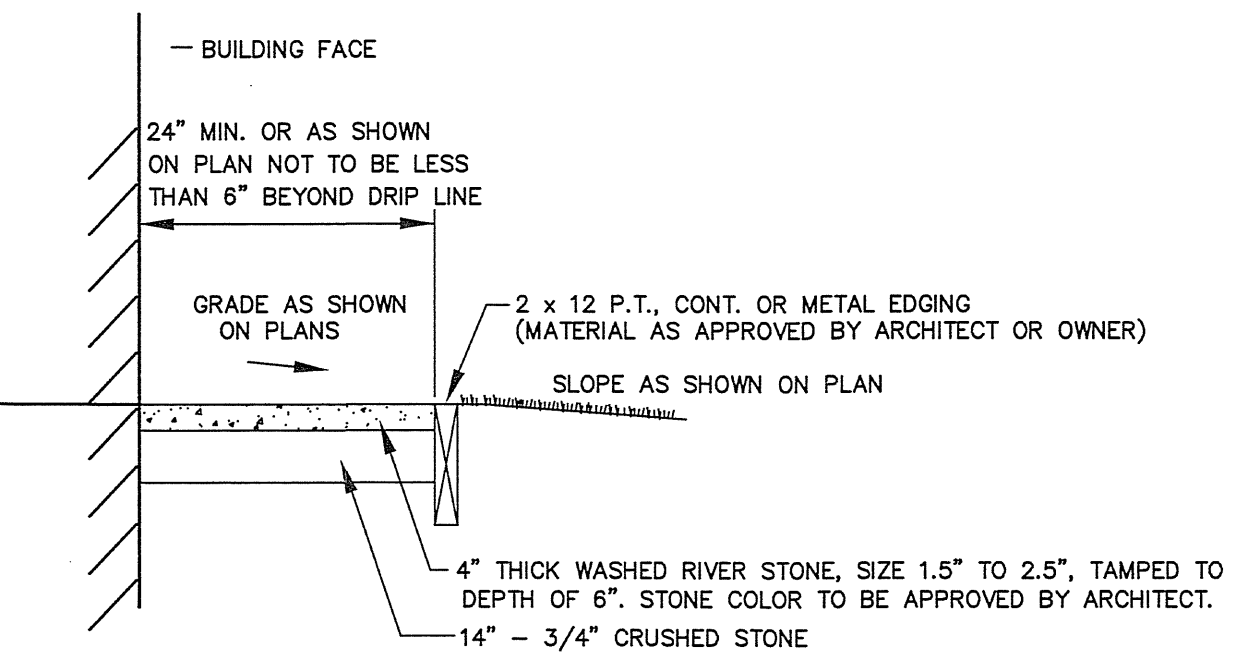
**NOTES**

1. PROVIDE NEW LINE USING CONTINUOUS LENGTHS OF COPPER. NO COUPLING ALLOWED IN ROADWAY WITHOUT APPROVAL OF ENGINEER.
2. TAPS TO BE MADE AT APPROXIMATELY 2:00 & 10:00
3. PROVIDE FOR SERVICE LINE CONTRACTION AND EXPANSION BY INSTALLING "S" IN SERVICE LINE NEAR MAIN.
4. IF SERVICE IS INSTALLED WITH LESS THAN 5' COVER, INSULATE OVER LINE.
5. REMOVE EXISTING CURB STOP.
6. CONNECT CURB STOP TO EXISTING SERVICE LINE AT PROPERTY LINE OR AT LOCATION APPROVED BY THE ENGINEER (NO COUPLING WITHOUT APPROVAL OF ENGINEER) AFTER PRESSURE TESTING AND DISINFECTION.
7. SHUT OFF EXISTING CORPORATION AND REMOVE OR ABANDON EXISTING SERVICE LINE.
8. CURB BOX SHALL BE SET IN THE GRASS/LANDSCAPE AREA BETWEEN CURB AND SIDEWALK UNLESS DIRECTED OTHERWISE.
9. 2" OR LARGER SERVICE CONNECTIONS SHALL USE A STAINLESS STEEL SERVICE SADDLE.

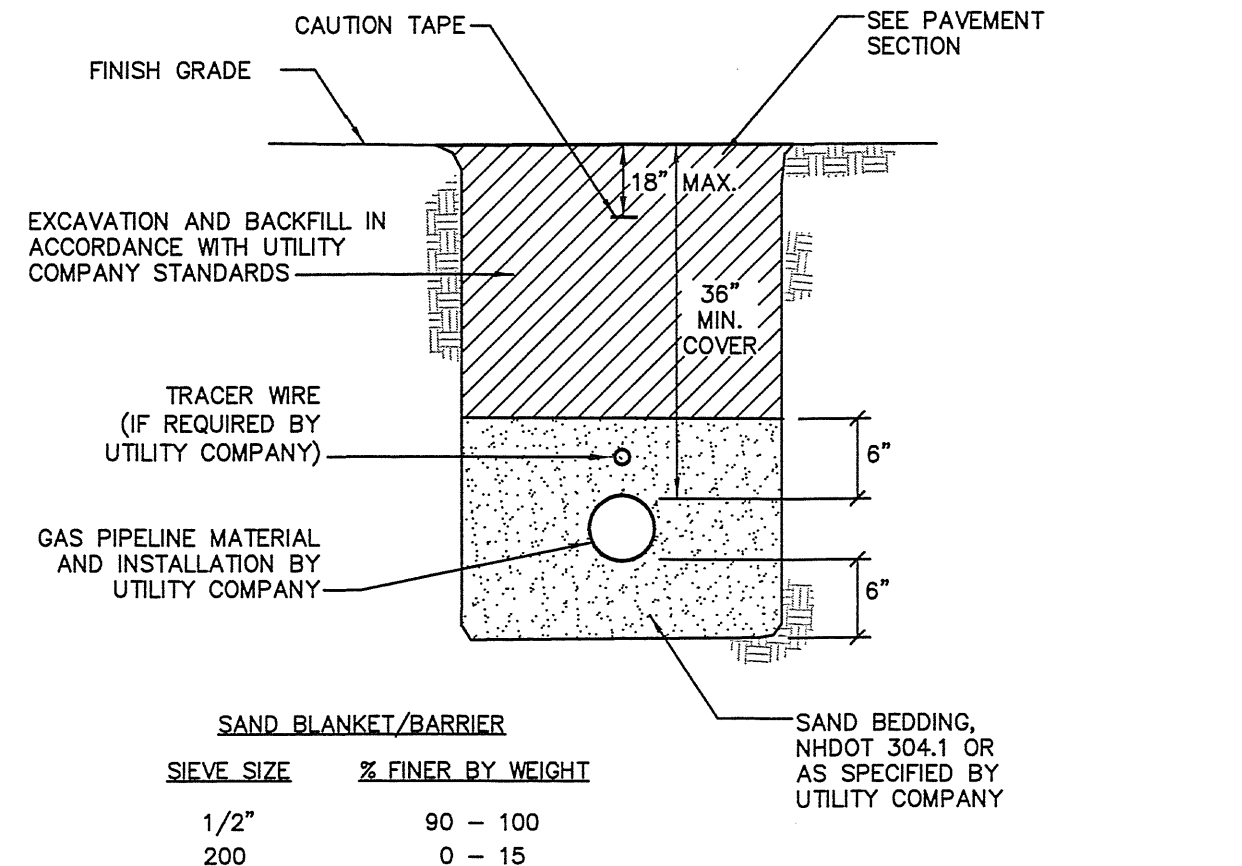
**SERVICE CONNECTION DETAIL NOT TO SCALE**



**PAVEMENT CROSS SECTION NOT TO SCALE**

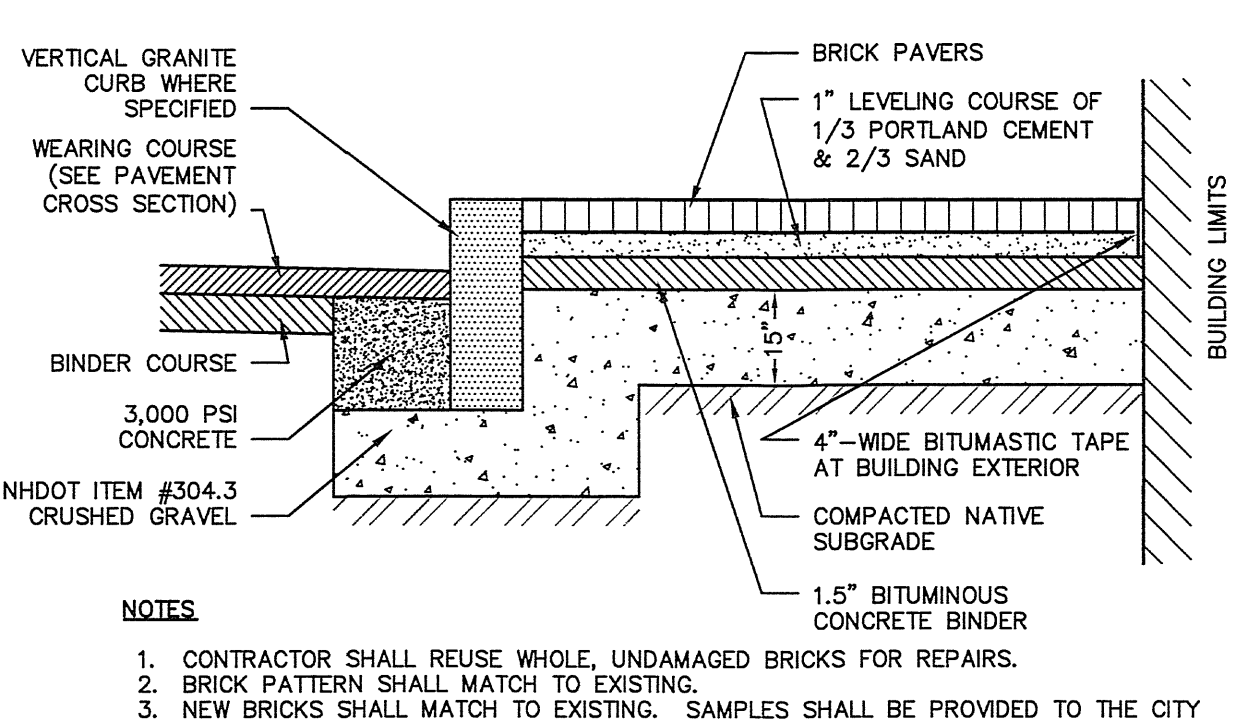


**DRIP EDGE DETAIL NOT TO SCALE**



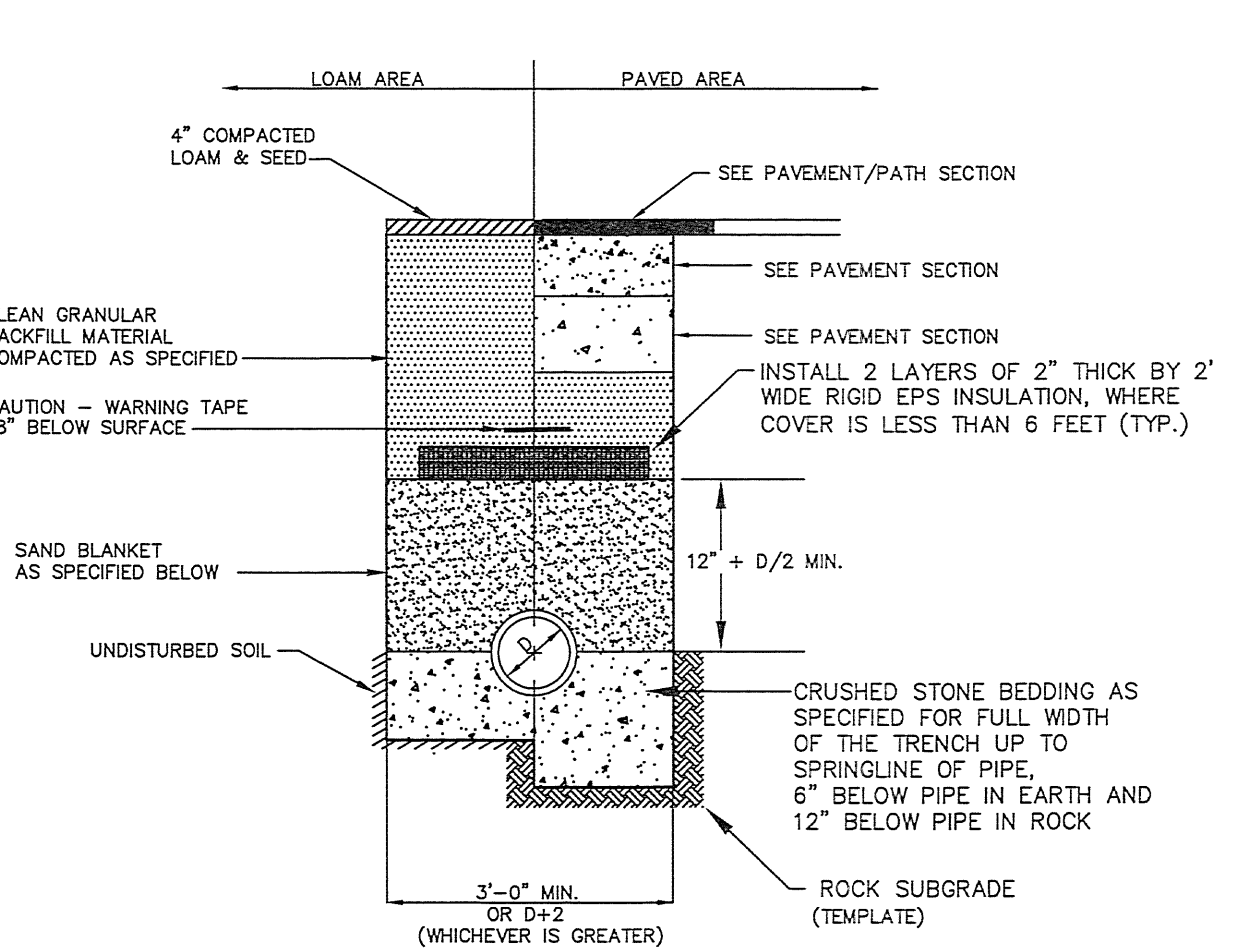
- NOTES**
1. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY AND PROVIDE ALL EXCAVATION, COMPACTION AND BACKFILL FOR PIPE INSTALLATION WITHIN THE PROJECT SITE.
  2. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

**GAS TRENCH NOT TO SCALE**



- NOTES**
1. CONTRACTOR SHALL REUSE WHOLE, UNDAMAGED BRICKS FOR REPAIRS.
  2. BRICK PATTERN SHALL MATCH TO EXISTING.
  3. NEW BRICKS SHALL MATCH TO EXISTING. SAMPLES SHALL BE PROVIDED TO THE CITY FOR APPROVAL PRIOR TO PURCHASING.

**BRICK SIDEWALK DETAIL NOT TO SCALE**

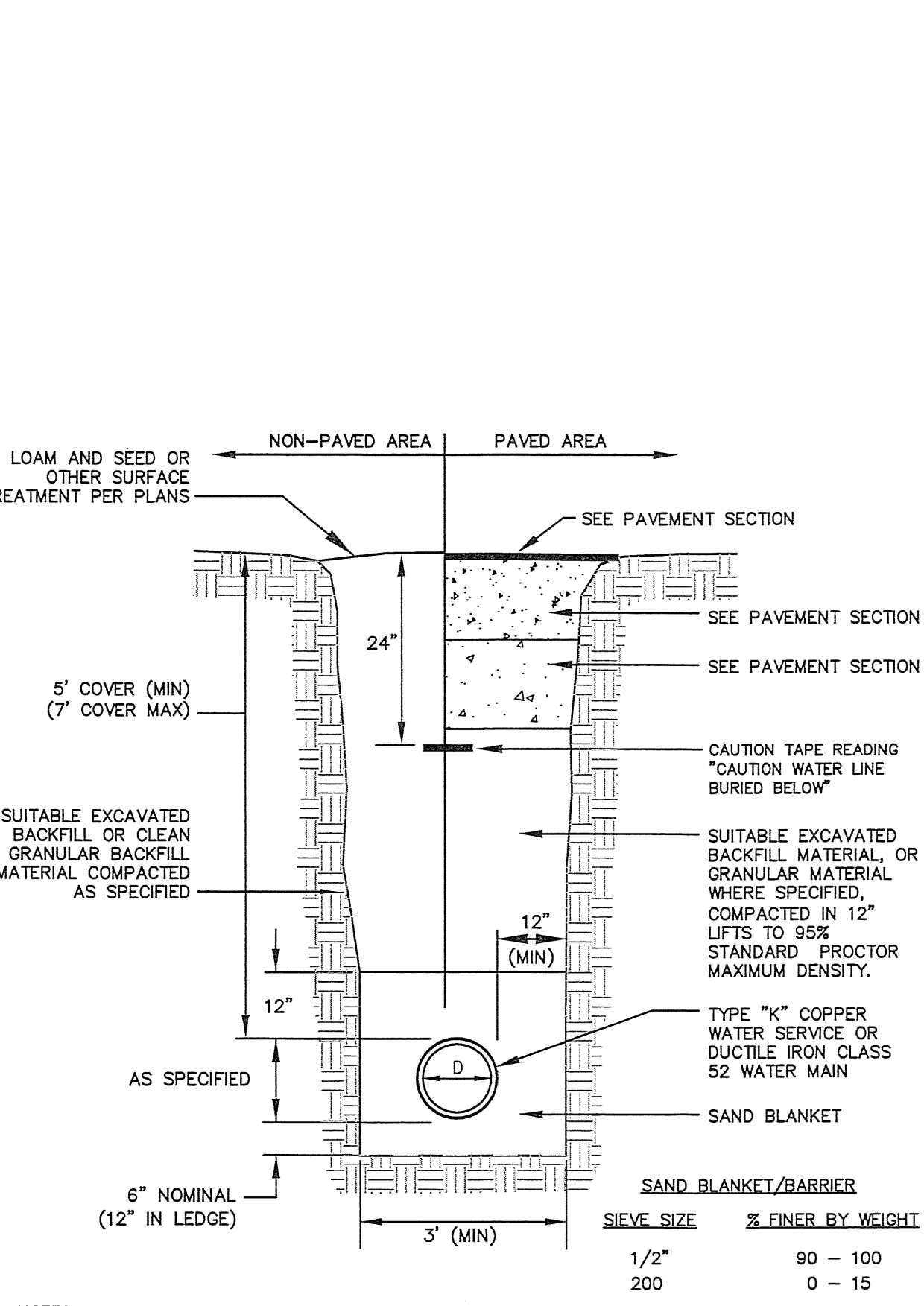


BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

SAND BLANKET		CRUSHED STONE BEDDING *	
SIeve SIZE	% FINER BY WEIGHT	SIieve SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

\* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

**SEWER TRENCH SECTION NOT TO SCALE**

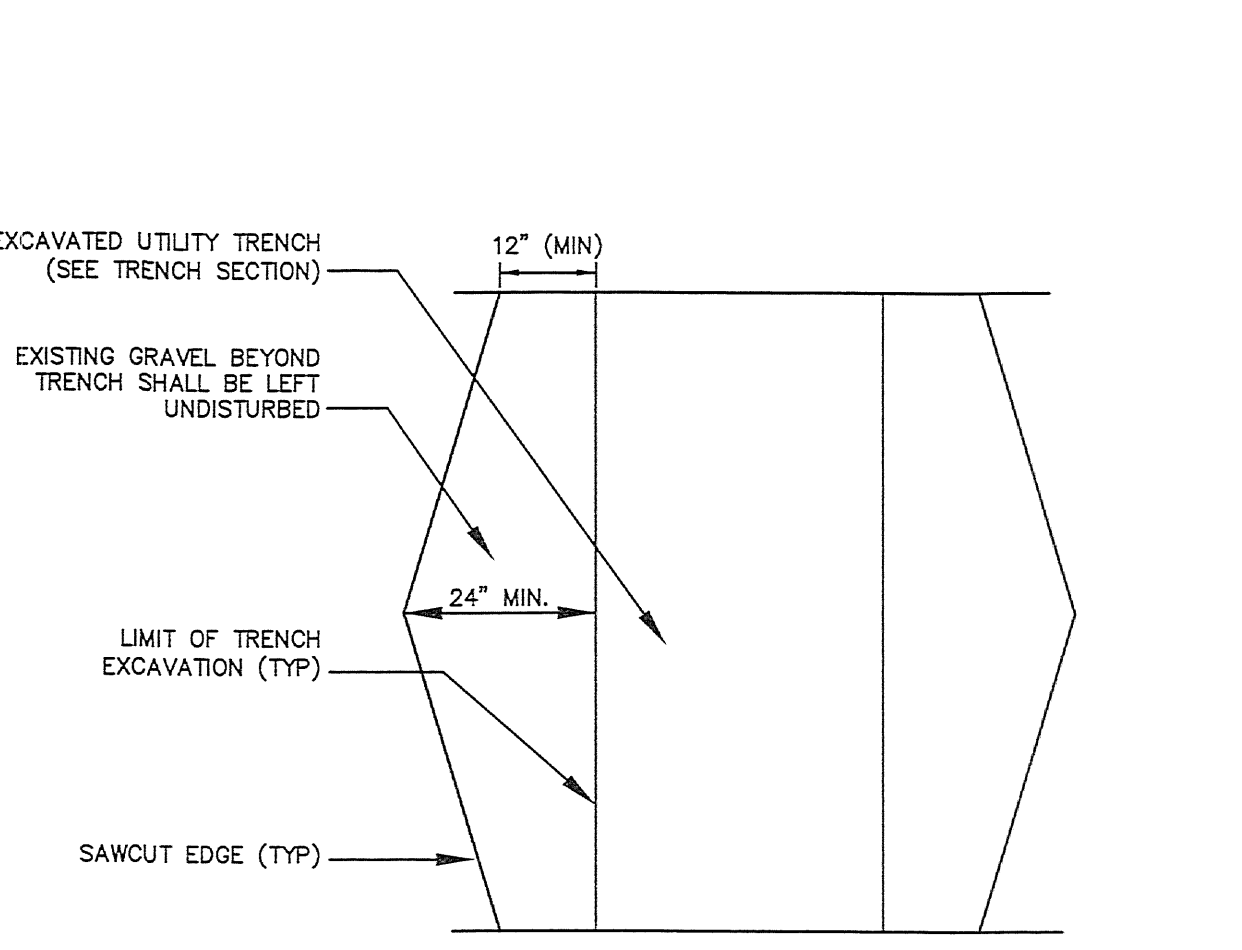


- NOTES**
1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
  2. WATER MAINS SHALL BE POLY WRAPPED.
  3. WATER MAINS SHALL HAVE 3 WEDGES PER JOINT.

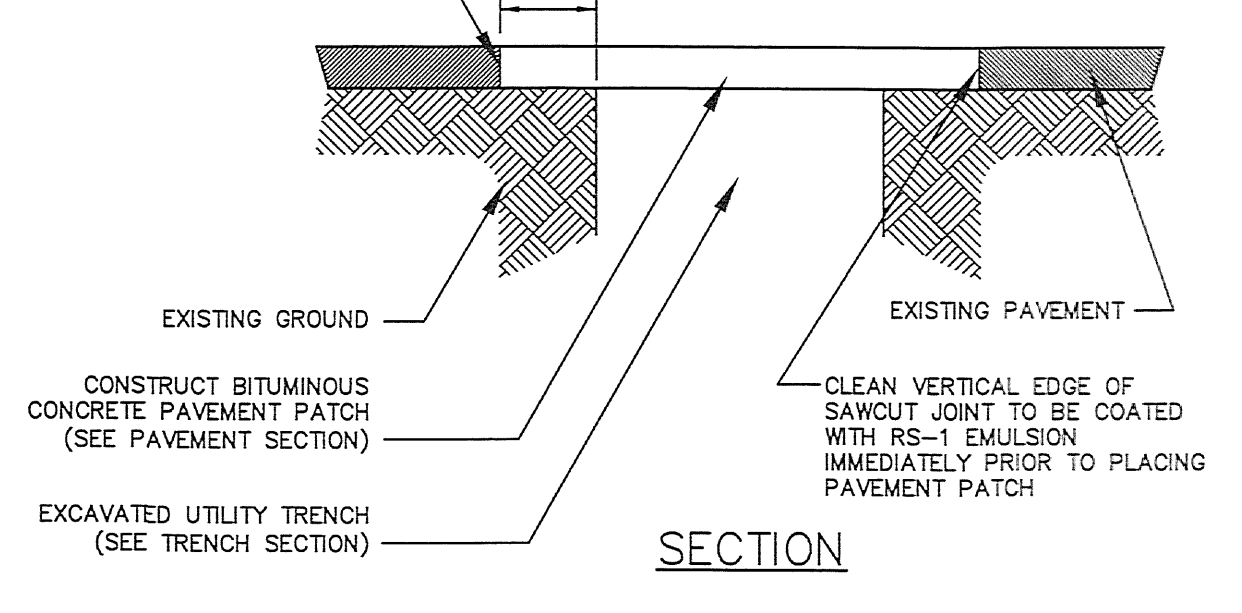
**WATER MAIN TRENCH NOT TO SCALE**

**STANDARD TRENCH NOTES:**

1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN OF THE DRAWING.
2. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE NO. 67.
  - 100% PASSING 1 INCH SCREEN
  - 90 - 100% PASSING 3/4 INCH SCREEN
  - 20 - 55% PASSING 3/8 INCH SCREEN
  - 0 - 10% PASSING #4 SIEVE
  - 0 - 5% PASSING #8 SIEVE
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 INCH TO 1/2 INCH SHALL BE USED.
3. SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90 - 100% PASSES 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
4. SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
5. BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
6. SHEETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
7. W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
8. FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
9. CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS:
  - CEMENT: 6.0 BAGS PER CUBIC YARD
  - WATER: 5.75 GALLONS PER BAG CEMENT
  - MAXIMUM SIZE OF AGGREGATE: 1 INCH
  - CONCRETE ENCASEMENT IS NOT ALLOWED FOR PVC PIPE.
10. CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
11. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO CITY'S STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.



**TYPICAL TRENCH PATCH NOT TO SCALE**



- NOTES**
1. MACHINE CUT EXISTING PAVEMENT.
  2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
  3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

**TYPICAL TRENCH PATCH NOT TO SCALE**

ENGINEER:

133 COURT STREET PORTSMOUTH, NH 03801  
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR: **PLANNING BOARD**

ISSUE DATE: **NOVEMBER 8, 2019**

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
0	TAC WORKSHOP	EDW	06/03/19
1	TAC	EDW	10/21/19
2	PER TAC COMMENTS ELIMINATE ELECTRIC TRENCH DETAIL	EDW	11/08/19

DRAWN BY: \_\_\_\_\_ RLH

APPROVED BY: \_\_\_\_\_ EDW

DRAWING FILE: \_\_\_\_\_ 4972.DWG

SCALE: **22" x 34" - NOT TO SCALE**  
**11" x 17" - NOT TO SCALE**

OWNER/APPLICANT:

FRANCIS T. DELBENE  
GWYN M. BURDELL  
32 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCEL 145-29

MAILING ADDRESS:

165 GRANT AVENUE  
PORTSMOUTH, N.H. 03801

PROJECT:

**PROPOSED SITE DEVELOPMENT PLANS**  
32 UNION STREET  
PORTSMOUTH, N.H.  
ASSESSOR'S PARCEL 145-29

TITLE:

**DETAIL SHEET**

SHEET NUMBER:

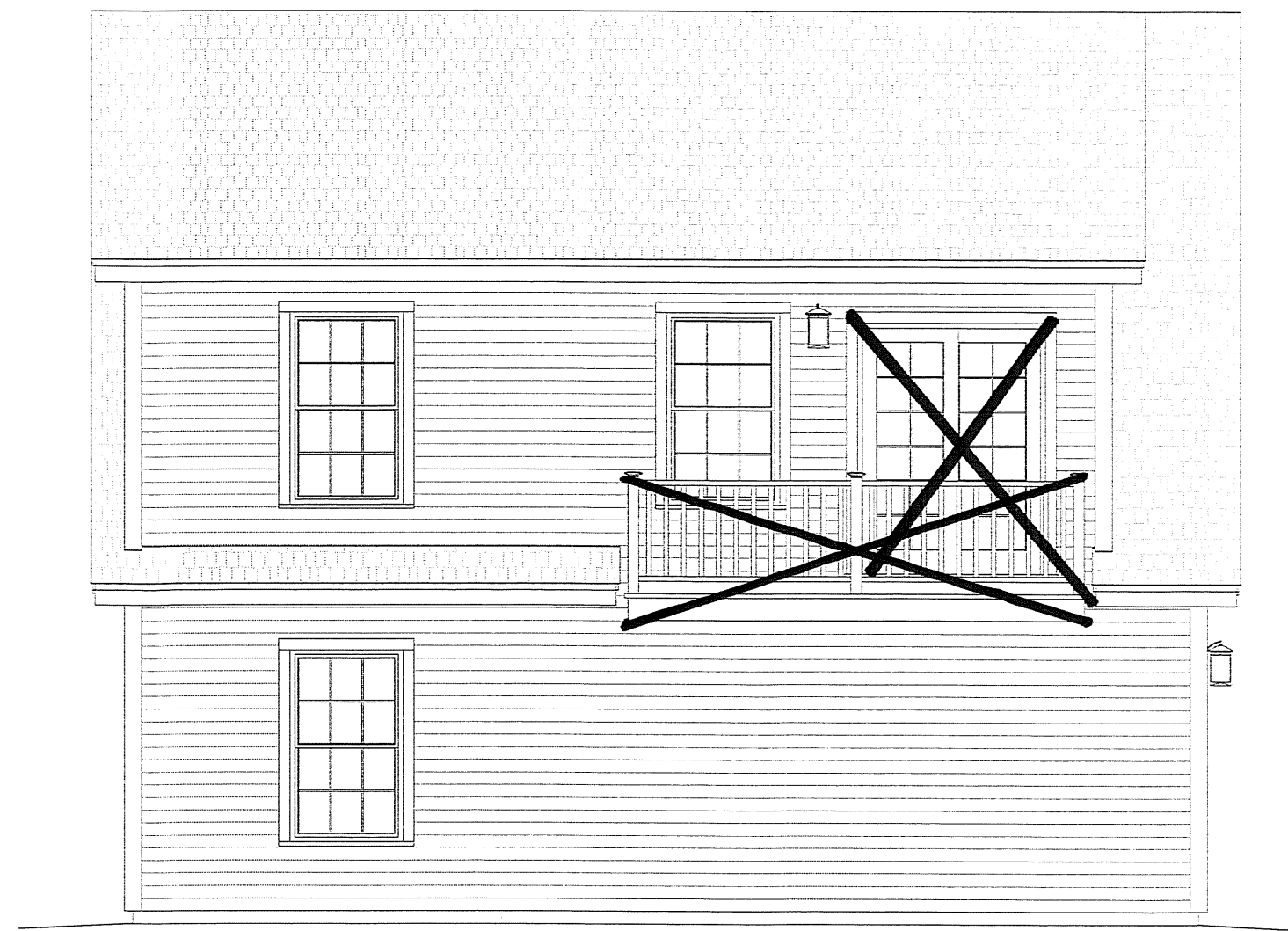
**C-4**





**FRONT ELEVATION**

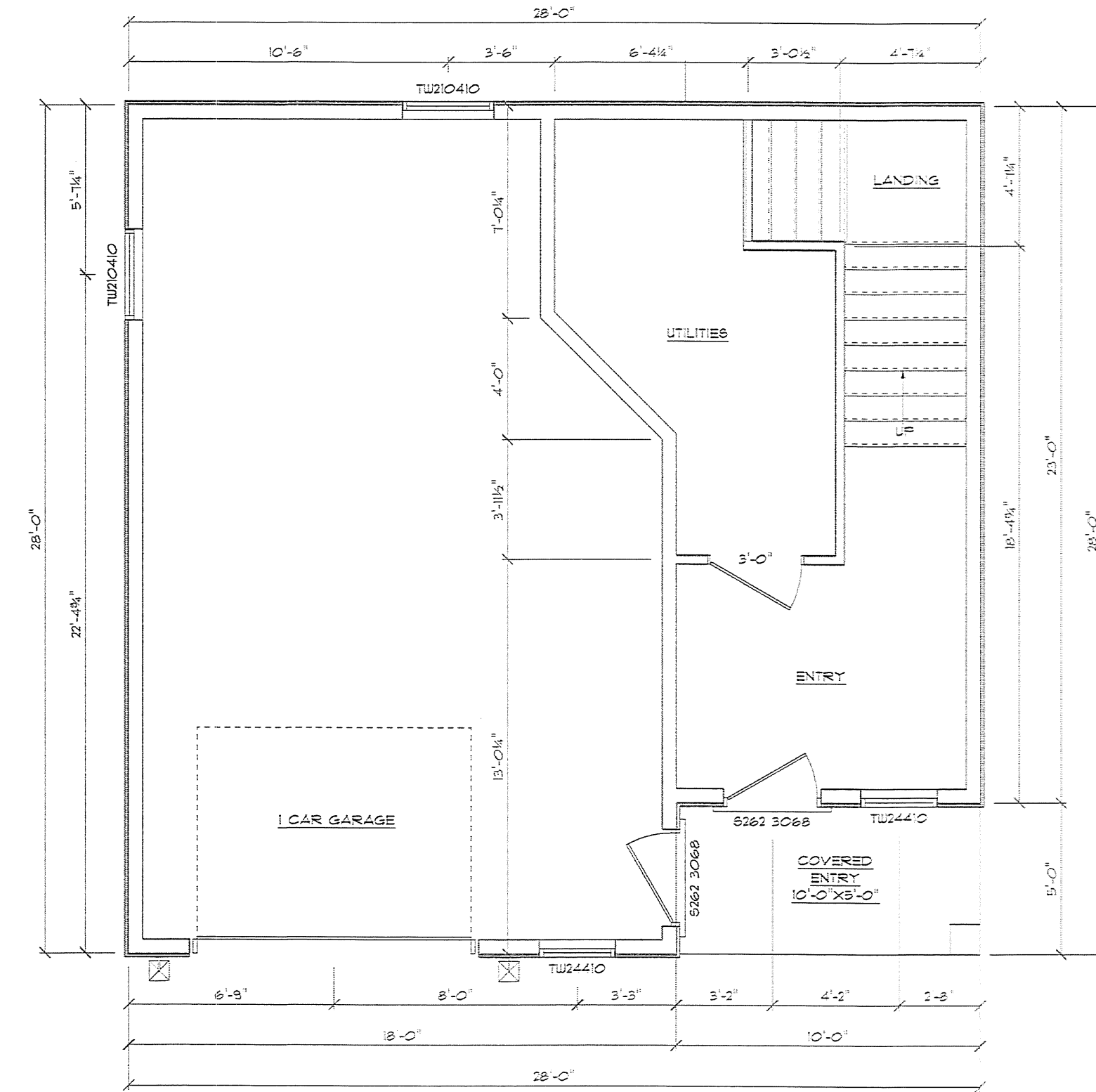
SCALE: 1/4" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

DECK NOT TO BE CONSTRUCTED



**LEVEL ONE PLAN**

SCALE: 1/4" = 1'-0"



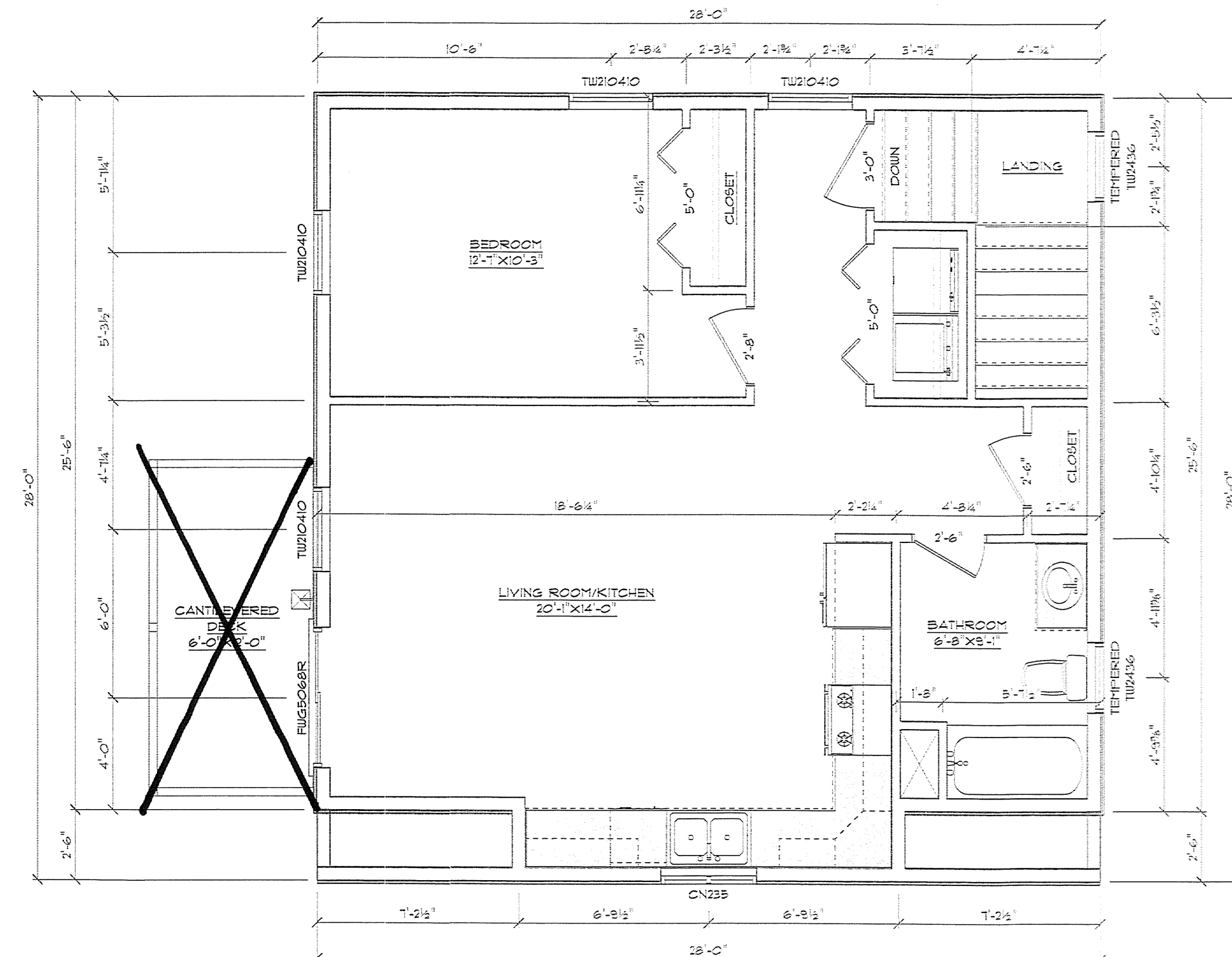
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

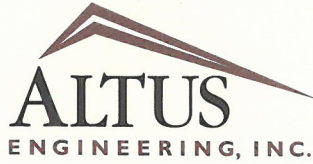


**LEVEL TWO PLAN**

149 SQUARE FEET  
SCALE: 1/4" = 1'-0"

ELEVATION GRADES AND FOUNDATION DROPS SHOWN ARE CONCEPTUAL. FOUNDATION DROPS AND GRADE WILL BE DETERMINED ON SITE BY CONTRACTOR





**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

October 18, 2019

Juliet T. H. Walker, AICP, Planning Director  
City of Portsmouth Municipal Complex  
Planning Department  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

Re: **Application for Site Plan Approval  
Assessor's Map 145, Lot 292  
32 Union Street  
Altus Project #P4972**

Dear Juliet:

On behalf of Gwyn Burdell and Francis Delbene, Altus Engineering, Inc. (Altus) respectfully submits an application for Site Plan Review for the development of a one car garage and an apartment above at 32 Union Street where an existing duplex exists and will remain. The applicants obtained variances from the Board of Adjustment to allow for the project to proceed.

Attached are ten copies of the following plans and documents for the Technical Advisory Committee's consideration:

- Site Plans (4 full sized, 6 reduced);
- Opinion of Sitework cost;
- Site Plan Review Checklist
- Green Statement;
- Letter of Authorization;
- Drainage Computations.

Also enclosed the application fee check in the sum of \$641.00

Altus looks forward to presenting this project at the November 5<sup>th</sup> TAC meeting. Please call us if you have any questions or need any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "Eric D. Weinrieb".

Eric D. Weinrieb, PE  
President

wde/4972 TAC cvr ltr

Enclosure

Ecopy: Frank Delbene and Gwyn Burdell



*Civil  
Site Planning  
Environmental  
Engineering*

133 Court Street  
Portsmouth, NH  
03801-4413

**“Green” Statement**  
**Assessor’s Map 145 Lot 29**  
**32 Union Street**  
**Altus Project P4972**

Pursuant to Section 2.4.3.1(a) of the Site Plan Review Regulations, Altus Engineering, Inc. (Altus) respectfully submits the following list of the project’s “green” components for the redevelopment of the property located at 32 Union Street:

- The new structure allows for more densification of development on a relatively small footprint. Thus maximizing development in an urban area.
- The new building will be code compliant building that will meet or exceed all applicable current energy codes.
- The new development will manage runoff discharge in a responsible way. The new impervious area from the building will discharge into stone drip edges and a stone infiltration basin to mitigate the additional runoff.
- The proposed site lighting will be building mounted and will be dark sky friendly.
- The new building will have covered parking which reduces the transport of contaminants during rainfall events.

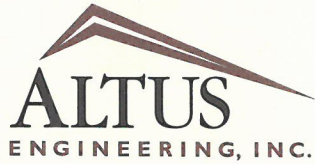
Wde/4972-App-City-Site-GreenStatment

32 UNION STREET  
APPLICATION FEE SPREADSHEET  
October 18, 2019

P4972

All developments		\$500
plus		
\$5.00 per \$1,000 of site work cost	\$21,579	\$108
plus		
\$10.00 per 1,000 SF of development area	3,300 SF	\$33
<b>TOTAL APPLICATION FEE</b>		<b><u>\$641</u></b>





Civil  
Site Planning  
Environmental  
Engineering

133 Court Street  
Portsmouth, NH  
03801-4413

## Delbene & Burdell

32 Union Street  
Portsmouth, NH

### PRELIMINARY OPINION OF SITEWORK COST

DATE: 16-Oct-19  
PROJECT: 4972

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
<b>SITWORK DEMOLITION</b>				
DEMOLITION AND MOBILIZATION	1	LS	\$2,000.00	\$2,000.00
PAVEMENT SAWCUT	125	LF	\$4.50	\$562.50
<b>SEWER SERVICE</b>				
4-INCH GRAVITY SDR 35	55	LF	\$35.00	\$1,925
<b>WATER SERVICE</b>				
DOMESTIC WATER SERVICES	47	LF	\$32.00	\$1,504
WATER TAPS AND CURB STOPS	1	EA	\$500.00	\$500
<b>GAS SERVICE</b>				
GAS SERVICES	65	LF	\$26.00	\$1,690
<b>ELECTRIC/PHONE/CABLE SERVICES</b>				
UNDERGROUND ELECTRIC AND TELE-COMMUNICATION CONDUITS	68	LF	\$34.00	\$2,312
<b>STORM DRAINAGE SYSTEM</b>				
EROSION CONTROL RIPRAP AND DRIP EDGE	1	LS	\$1,500.00	\$1,500
<b>SEDIMENT AND EROSION CONTROL</b>				
TEMPORARY EROSION CONTROL	1	LS	\$450.00	\$450
<b>AGGREGATE BASE COURSES</b>				
12" GRAVEL (NHDOT 304.2)	80	CY	\$18.00	\$1,440
6" CRUSHED GRAVEL (NHDOT 304.3)	40	CY	\$22.00	\$880
CUTS AND FILLS	250	CY	\$12.00	\$3,000
<b>HOT BITUMINOUS PAVEMENT</b>				
2.5" BASE COURSE	9	TONS	\$110.00	\$990
1.5" WEARING COURSE	5	TONS	\$110.00	\$550
<b>LANDSCAPING</b>				
LOAM AND SEED - TURF ESTABLISHMENT	1	LS	\$750.00	\$750
WALKWAYS	15	SY	\$35.00	\$525
REPAIR BRICK SIDEWALK	1	LS	\$1,000.00	\$1,000
<b>LIGHTING</b>				
		NIC		
<b>SUBTOTAL</b>				<b>\$21,579</b>

**TOTAL: \$21,579**

EXCLUSIONS:  
ITEMS EXCLUDED FROM THIS ESTIMATE INCLUDE, BUT ARE NOT LIMITED TO, THOSE ITEMS SPECIFIED ABOVE  
AS BEING NOT INCLUDED IN THIS ESTIMATE AND THE FOLLOWING:  
LEDGE REMOVAL, TAPPING FEES, INSPECTIONS, UTILITY SERVICE FEES





**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

## DRAINAGE MEMO

**Assessor's Map 145, Lot 292  
32 Union Street  
Altus Project #P4972**

Gwyn Burdell and Francis Delbene are proposing to add construct a one car garage and an apartment above at the property located at 32 Union Street, where an existing duplex exists and will remain. The property is identified as Assessor's Parcel 145-29 and is 5,529 square feet in size. The applicants have obtained variances from the Board of Adjustment to allow for the project to proceed. The existing site drains to two locations identified as Point of Analysis (POA) #1 and #2 on the attached drainage plans. POA #1 is located to the rear of lot and is a catch basin located on the adjacent parcel 145-33. POA #2 is the surface runoff that flows to the Union Street drainage system. Both flows eventually meet at CB #1291. However, this analysis separated the two locations to specifically show that there would not be an increase to the runoff to the catch basin located on parcel 145-33.

The proposed development will construct an 18-inch deep stone drip edge around the perimeter of the new building and extend the drip edge to a 5 foot wide retention and treatment area in behind the building. This will provide retention and first flush treatment for the new impervious areas. The Pre and Post-Development conditions were modeled using the Northeast Regional Climate Center rainfall intensities with a 15% increase for Seacoast communities. The results were then compared to analyze the Pre and Post development conditions. The table below shows the results of the modeling.

<b>Stormwater Modeling Summary Table</b>					
Description	1 year	2 Year	10 Year	25 Year	50 Year
Rainfall Intensity (inches)	3.05	3.68	5.58	7.07	8.46
Results	cfs	cfs	cfs	cfs	cfs
<b>POA #1</b>					
PRE-Development	0.12	0.17	0.32	0.44	0.56
POST-Development	0.03	0.09	0.31	0.41	0.52
Change	<b>(0.09)</b>	<b>(0.08)</b>	<b>(0.01)</b>	<b>(0.03)</b>	<b>(0.04)</b>
<b>POA #2</b>					
PRE-Development	0.05	0.07	0.12	0.16	0.19
POST-Development	0.08	0.10	0.17	0.23	0.28
Change	<b>0.03</b>	<b>0.03</b>	<b>0.05</b>	<b>0.07</b>	<b>0.09</b>
<b>TOTALS</b>					
	<b>(0.06)</b>	<b>(0.05)</b>	<b>0.04</b>	<b>0.04</b>	<b>0.05</b>

The storm water flows from the site are minimal. The results show that Post-development runoff flows are managed so that there is not an increase to POA #1. There is a minor increase to the flows that go to Union Street due to the regrading of the driveway to slope towards the road. This results in a negligible increase of less than 0.1 cfs for all storms, including the 50 year storm event. As the above table demonstrates, the proposed project will not negatively impact the adjacent parcels or downstream stormwater conditions.



# Extreme Precipitation Tables

## Northeast Regional Climate Center

Data represents point estimates calculated from partial duration series. All precipitation amounts are displayed in inches.

Smoothing	Yes
State	New Hampshire
Location	
Longitude	70.771 degrees West
Latitude	43.085 degrees North
Elevation	0 feet
Date/Time	Wed, 28 Aug 2019 16:06:47 -0400

### Extreme Precipitation Estimates

	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.26	0.40	0.50	0.65	0.81	1.04	1yr	0.70	0.98	1.21	1.56	2.02	2.65	2.91	1yr	2.35	2.80	3.21	3.93	4.53	1yr
2yr	0.32	0.50	0.62	0.81	1.02	1.30	2yr	0.88	1.18	1.51	1.93	2.48	3.20	3.56	2yr	2.83	3.42	3.92	4.67	5.31	2yr
5yr	0.37	0.58	0.73	0.97	1.24	1.60	5yr	1.07	1.46	1.88	2.42	3.13	4.05	4.56	5yr	3.59	4.39	5.02	5.91	6.68	5yr
10yr	0.41	0.65	0.82	1.11	1.45	1.88	10yr	1.25	1.72	2.22	2.88	3.74	4.85	5.51	10yr	4.29	5.30	6.06	7.08	7.95	10yr
25yr	0.48	0.76	0.96	1.33	1.77	2.33	25yr	1.52	2.13	2.76	3.61	4.72	6.15	7.07	25yr	5.44	6.80	7.76	8.98	10.01	25yr
50yr	0.53	0.85	1.09	1.53	2.06	2.74	50yr	1.78	2.52	3.27	4.30	5.64	7.36	8.55	50yr	6.51	8.22	9.37	10.76	11.93	50yr
100yr	0.59	0.96	1.24	1.76	2.40	3.24	100yr	2.07	2.96	3.88	5.13	6.74	8.82	10.34	100yr	7.80	9.94	11.32	12.90	14.22	100yr
200yr	0.67	1.09	1.42	2.03	2.80	3.81	200yr	2.42	3.50	4.59	6.09	8.04	10.56	12.50	200yr	9.35	12.02	13.67	15.46	16.95	200yr
500yr	0.79	1.30	1.70	2.46	3.45	4.73	500yr	2.98	4.35	5.72	7.66	10.16	13.42	16.08	500yr	11.88	15.46	17.55	19.66	21.40	500yr

### Lower Confidence Limits

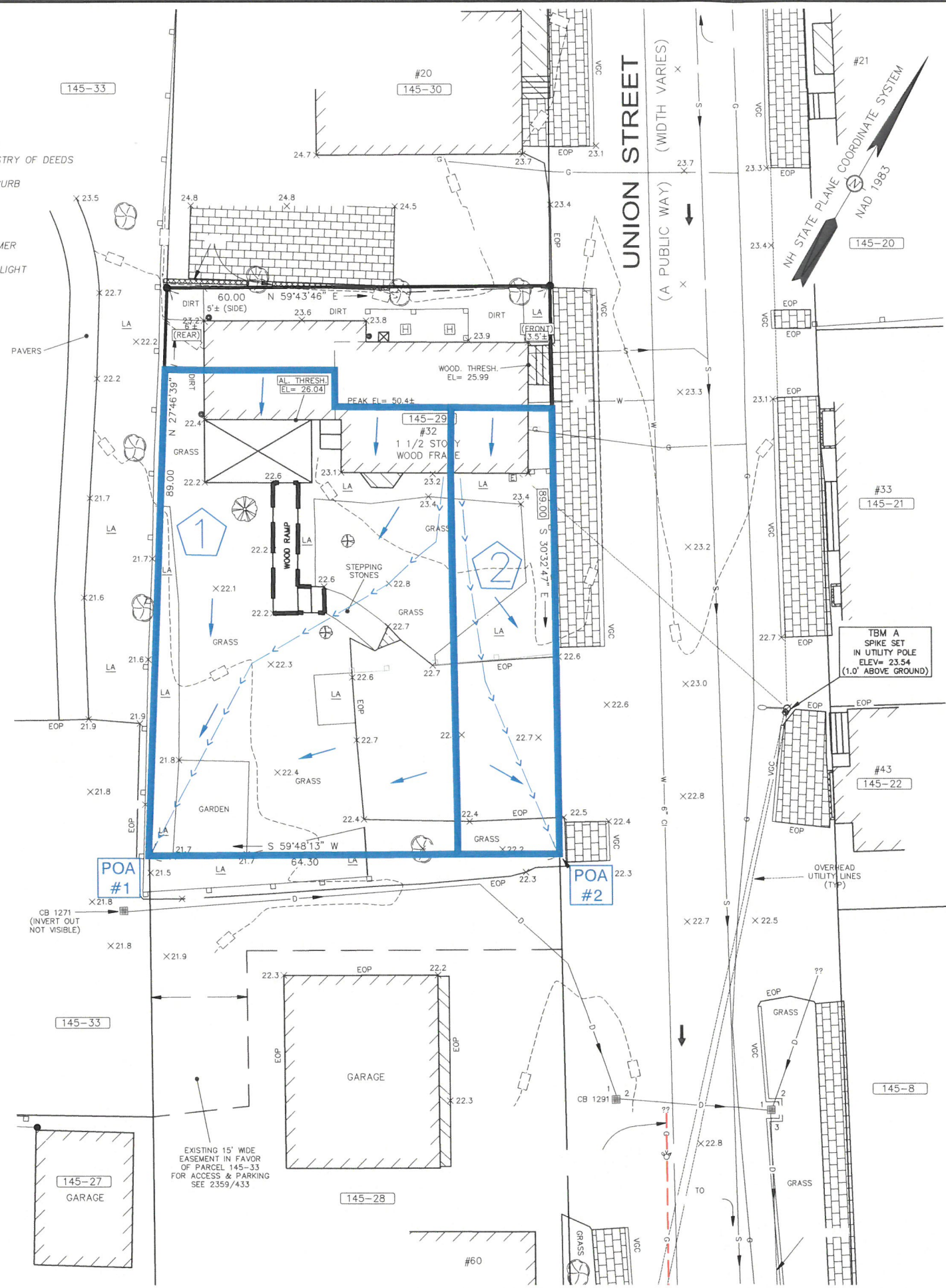
	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.23	0.36	0.44	0.59	0.73	0.88	1yr	0.63	0.86	0.92	1.32	1.67	2.22	2.48	1yr	1.96	2.38	2.85	3.16	3.86	1yr
2yr	0.31	0.49	0.60	0.81	1.00	1.19	2yr	0.86	1.16	1.36	1.82	2.34	3.05	3.44	2yr	2.70	3.31	3.81	4.53	5.06	2yr
5yr	0.35	0.54	0.67	0.92	1.17	1.40	5yr	1.01	1.37	1.61	2.12	2.74	3.77	4.17	5yr	3.34	4.01	4.70	5.51	6.21	5yr
10yr	0.38	0.59	0.73	1.02	1.32	1.60	10yr	1.14	1.56	1.81	2.39	3.06	4.35	4.84	10yr	3.85	4.65	5.41	6.38	7.16	10yr
25yr	0.44	0.67	0.83	1.18	1.56	1.90	25yr	1.34	1.86	2.10	2.76	3.55	4.67	5.86	25yr	4.13	5.63	6.60	7.74	8.63	25yr
50yr	0.48	0.73	0.91	1.31	1.76	2.16	50yr	1.52	2.12	2.34	3.09	3.94	5.27	6.76	50yr	4.66	6.50	7.66	8.97	9.96	50yr
100yr	0.53	0.81	1.01	1.46	2.00	2.47	100yr	1.73	2.41	2.62	3.43	4.37	5.91	7.80	100yr	5.23	7.50	8.89	10.42	11.48	100yr
200yr	0.59	0.89	1.12	1.63	2.27	2.81	200yr	1.96	2.75	2.93	3.80	4.82	6.61	8.99	200yr	5.85	8.64	10.30	12.10	13.27	200yr
500yr	0.68	1.01	1.31	1.90	2.70	3.36	500yr	2.33	3.29	3.40	4.35	5.49	7.67	10.85	500yr	6.79	10.43	12.53	14.79	16.05	500yr

### Upper Confidence Limits

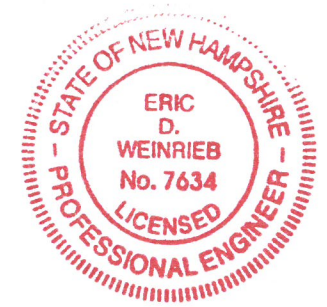
	5min	10min	15min	30min	60min	120min		1hr	2hr	3hr	6hr	12hr	24hr	48hr		1day	2day	4day	7day	10day	
1yr	0.28	0.44	0.54	0.72	0.89	1.08	1yr	0.77	1.06	1.25	1.74	2.21	2.98	3.15	1yr	2.64	3.03	3.57	4.37	5.03	1yr
2yr	0.34	0.52	0.64	0.86	1.06	1.27	2yr	0.92	1.24	1.48	1.96	2.52	3.42	3.69	2yr	3.03	3.55	4.08	4.82	5.62	2yr
5yr	0.40	0.62	0.76	1.05	1.33	1.62	5yr	1.15	1.58	1.88	2.53	3.25	4.33	4.95	5yr	3.83	4.76	5.36	6.35	7.13	5yr
10yr	0.47	0.72	0.89	1.24	1.60	1.97	10yr	1.38	1.93	2.28	3.10	3.95	5.32	6.19	10yr	4.71	5.95	6.80	7.81	8.73	10yr
25yr	0.57	0.87	1.08	1.55	2.04	2.56	25yr	1.76	2.50	2.95	4.06	5.14	7.79	8.32	25yr	6.89	8.00	9.13	10.31	11.38	25yr
50yr	0.67	1.02	1.26	1.82	2.45	3.11	50yr	2.11	3.04	3.59	4.99	6.30	9.76	10.44	50yr	8.64	10.04	11.41	12.69	13.93	50yr
100yr	0.78	1.18	1.48	2.14	2.94	3.79	100yr	2.54	3.70	4.36	6.14	7.73	12.22	13.08	100yr	10.82	12.58	14.28	15.65	17.05	100yr
200yr	0.92	1.38	1.75	2.53	3.53	4.62	200yr	3.04	4.51	5.32	7.55	9.48	15.34	16.42	200yr	13.58	15.79	17.88	19.29	20.88	200yr
500yr	1.14	1.69	2.17	3.16	4.49	5.99	500yr	3.88	5.85	6.90	9.97	12.47	20.76	22.18	500yr	18.37	21.33	24.10	25.44	27.30	500yr



- LEGEND:**
- IRON ROD TO BE SET
  - IRON PIPE FOUND
  - CHAIN LINK FENCE
  - FENCE
  - 110-5 TAX SHEET - LOT NUMBER
  - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
  - EOP EDGE OF PAVEMENT
  - VGC VERTICAL FACED GRANITE CURB
  - RWW WOOD RETAINING WALL
  - RWG GRANITE RETAINING WALL
  - HANDICAP SPACE
  - UTILITY POLE
  - UTILITY POLE W/TRANSFORMER
  - LIGHT POLE
  - UTILITY POLE WITH ARM & LIGHT
  - GUY
  - ELECTRIC METER
  - HVAC UNIT
  - GAS METER
  - GAS SHUT OFF
  - GAS VALVE
  - WATER GATE VALVE
  - WATER SHUT OFF VALVE
  - HYDRANT
  - CATCH BASIN
  - DRAIN MANHOLE
  - ROOF DOWNSPOUT
  - SEWER MANHOLE
  - DECIDUOUS TREE
  - DECIDUOUS SHRUB
  - WATER LINE
  - SEWER LINE
  - DRAIN LINE
  - GAS LINE
  - CEMENT CONCRETE
  - BRICK PAVERS
  - RETAINING WALL
  - LA LANDSCAPED AREA
  - x12.5 SPOT GRADE



- LEGEND**
- PROPERTY LINE
  - 60 EXISTING CONTOUR
  - EXISTING PAVEMENT/CURB
  - EXISTING TREELINE
  - WATERSHED BOUNDARY
  - Tc PATH
  - SURFACE FLOW DIRECTION
  - 1 1 1 SUBCATCHMENT/POND/REACH
  - POA POINT OF ANALYSIS



ISSUED FOR: TAC  
 ISSUE DATE: OCTOBER 21, 2019

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	10/21/19

DRAWN BY: RLH  
 APPROVED BY: EDW  
 DRAWING FILE: 4972.DWG

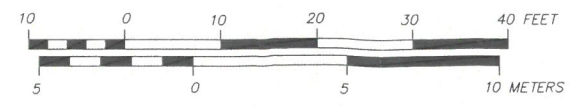
SCALE:  
 22" x 34" - 1" = 10'  
 11" x 17" - 1" = 20'

OWNER/APPLICANT:  
 FRANCIS T. DELBENE  
 GWYN M. BURDELL  
 32 UNION STREET  
 PORTSMOUTH, N.H.  
 ASSESSOR'S PARCEL 145-29  
 MAILING ADDRESS:  
 165 GRANT AVENUE  
 PORTSMOUTH, N.H. 03801

PROJECT:  
**PROPOSED SITE DEVELOPMENT PLANS**  
 32 UNION STREET  
 PORTSMOUTH, N.H.  
 ASSESSOR'S PARCEL 145-29

TITLE:  
**PRE-DEVELOPMENT WATERSHED PLAN**

SHEET NUMBER:  
**PRE-1**



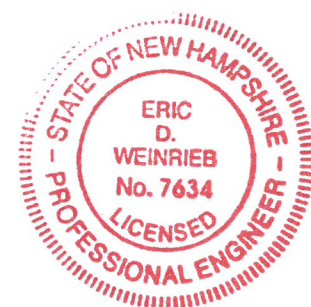
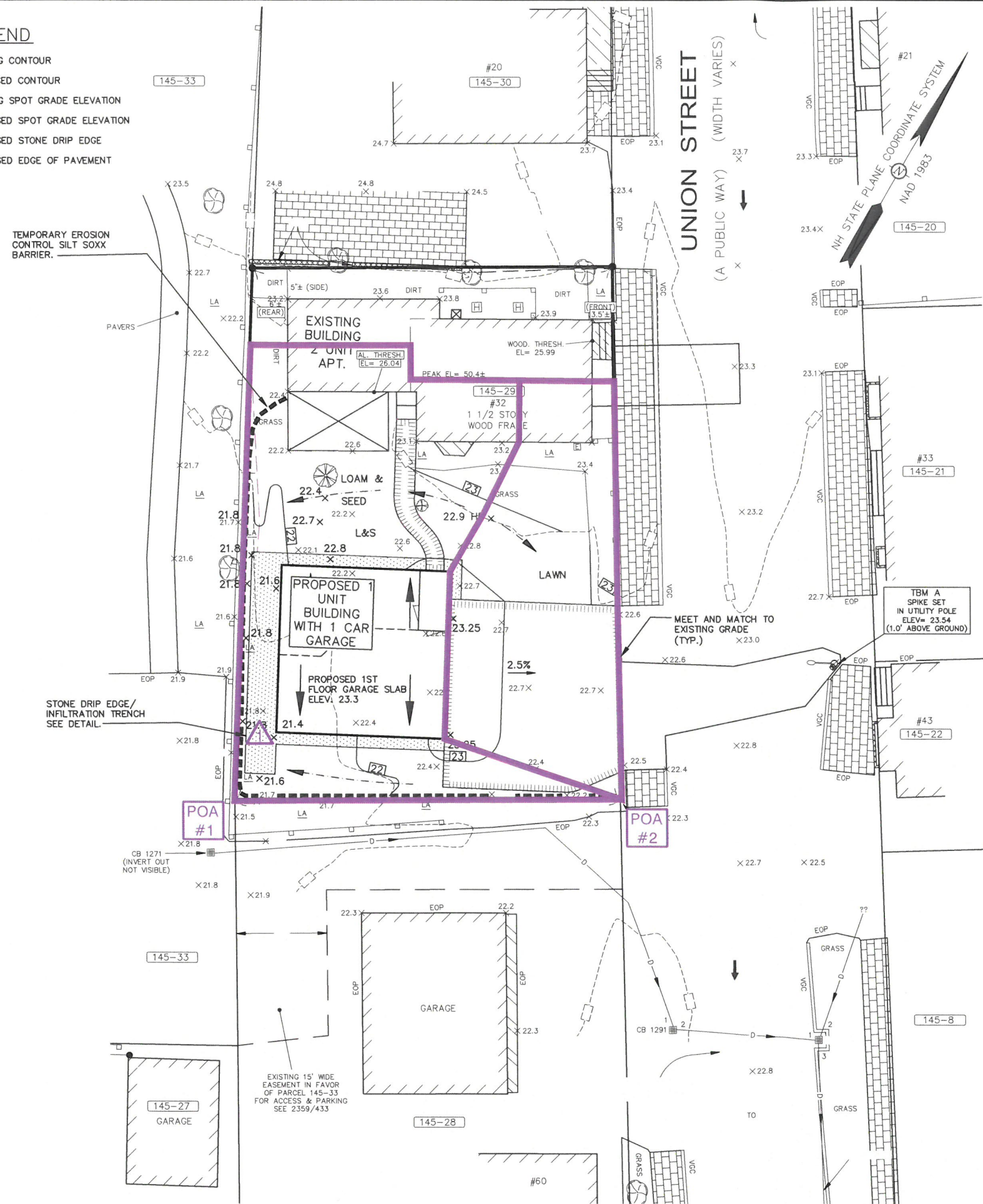


**PROPOSED LEGEND**

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT GRADE ELEVATION
- PROPOSED SPOT GRADE ELEVATION
- PROPOSED STONE DRIP EDGE
- PROPOSED EDGE OF PAVEMENT

**LEGEND**

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING PAVEMENT/CURB
- EXISTING TREELINE
- WATERSHED BOUNDARY
- Tc PATH
- SURFACE FLOW DIRECTION
- SUBCATCHMENT/POND/REACH
- POINT OF ANALYSIS



ENGINEER:  
**ALTUS**  
 ENGINEERING, INC.  
 133 COURT STREET PORTSMOUTH, NH 03801  
 (603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR: TAC

ISSUE DATE: OCTOBER 21, 2019

NO.	DESCRIPTION	BY	DATE
0	TAC WORKSHOP	EDW	06/03/19
1	TAC	EDW	10/21/19

DRAWN BY: RLH  
 APPROVED BY: EDW  
 DRAWING FILE: 4972.DWG

SCALE:  
 22" x 34" - 1" = 10'  
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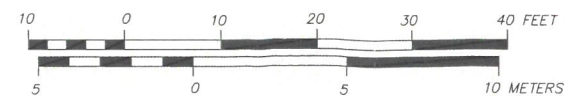
OWNER/APPLICANT:  
 FRANCIS T. DELBENE  
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 PORTSMOUTH, N.H.  
 ASSESSOR'S PARCEL 145-29

MAILING ADDRESS  
 165 GRANT AVENUE  
 PORTSMOUTH, N.H. 03801

PROJECT:  
**PROPOSED SITE DEVELOPMENT PLANS**  
 32 UNION STREET  
 PORTSMOUTH, N.H.  
 ASSESSOR'S PARCEL 145-29

TITLE:  
**POST DEVELOPMENT WATERSHED PLAN**

SHEET NUMBER:  
**POST-1**



P4972