

Portsmouth, NH - Board of Adjustment
Variance Statement for: 28 Whidden

Date: 10.01.25

Chairman of the Board of Adjustment
C/O Planning Department City of Portsmouth
1 Junkins Ave.
Portsmouth, NH 03801

To The Chairman of the Board of Adjustment,

Please find this statement addressing the requirements for a variance on the proposed project located at 28 Whidden Rd, Portsmouth, NH.

Overview: The existing single-family home located in the Historic District of Portsmouth, NH we are proposing an addition of a "Mudroom Hallway" that functions as a mudroom and storage shed area. The home will remain single family.

We are requesting relief for lot coverage from 36% to 42% on a .06ac lot with this addition of 105sf where 30% is allowed.

Per Section 10.233.21 – The variance will not be contrary to public interest. We do not see this proposal as contrary to public interest and is staying consistent to other additions / renovations in the neighborhood.

Per Section 10.233.22 - The spirit of the Ordinance will be observed. This home currently has no transition area from exterior to interior. We are trying to create a space to enter from the side and back while still connecting it to a shed that will be used as a seasonal studio space.

Per Section 10.233.23 – Substantial Justice will be done. We believe we are asking for a modest request of expanding the footprint of the addition by 105 square feet. We are already over lot coverage so there would be no way to expand the footprint without board approval. We believe that with the small amount of square footage we are requesting, it would significantly improve the function of this historic home.

Per Section 10.233.24 - The values of the surrounding properties will not be diminished. The neighborhood is a lovely mix of historic homes, primarily colonials with additions. All neighbors will benefit from the financial investment that the homeowners are willing to invest in the property.

Per Section 10.233.25 – Literal enforcement of the provisions of the ordinance would result in hardship.

- a. The non-conforming structure of the home has been a challenge and we worked hard to increase the current footprint by the minimal amount.
- b. The house has had little, or no work done for several years and feels as if it is truly back in the 1780's. We are trying to improve the property to modern living standards by having a transitional space to come in out of weather before stepping directly into our kitchen. The front door has not functioned in many decades but also does not offer the transition relief that we are looking for.
- c. Not receiving a variance for this project would be a hardship to the homeowners.

We encourage the Portsmouth Board of Adjustment to grant the variance to the Neal McCarthy Residence.

Submitted respectfully,

Amy Dutton
Amy Dutton Home
9 Walker Street
Kittery, Maine 03904
amy@amyduttonhome.com
207-337-2020

PHOTOS OF EXISTING PROPERTY:



FRONT VIEW with SHED



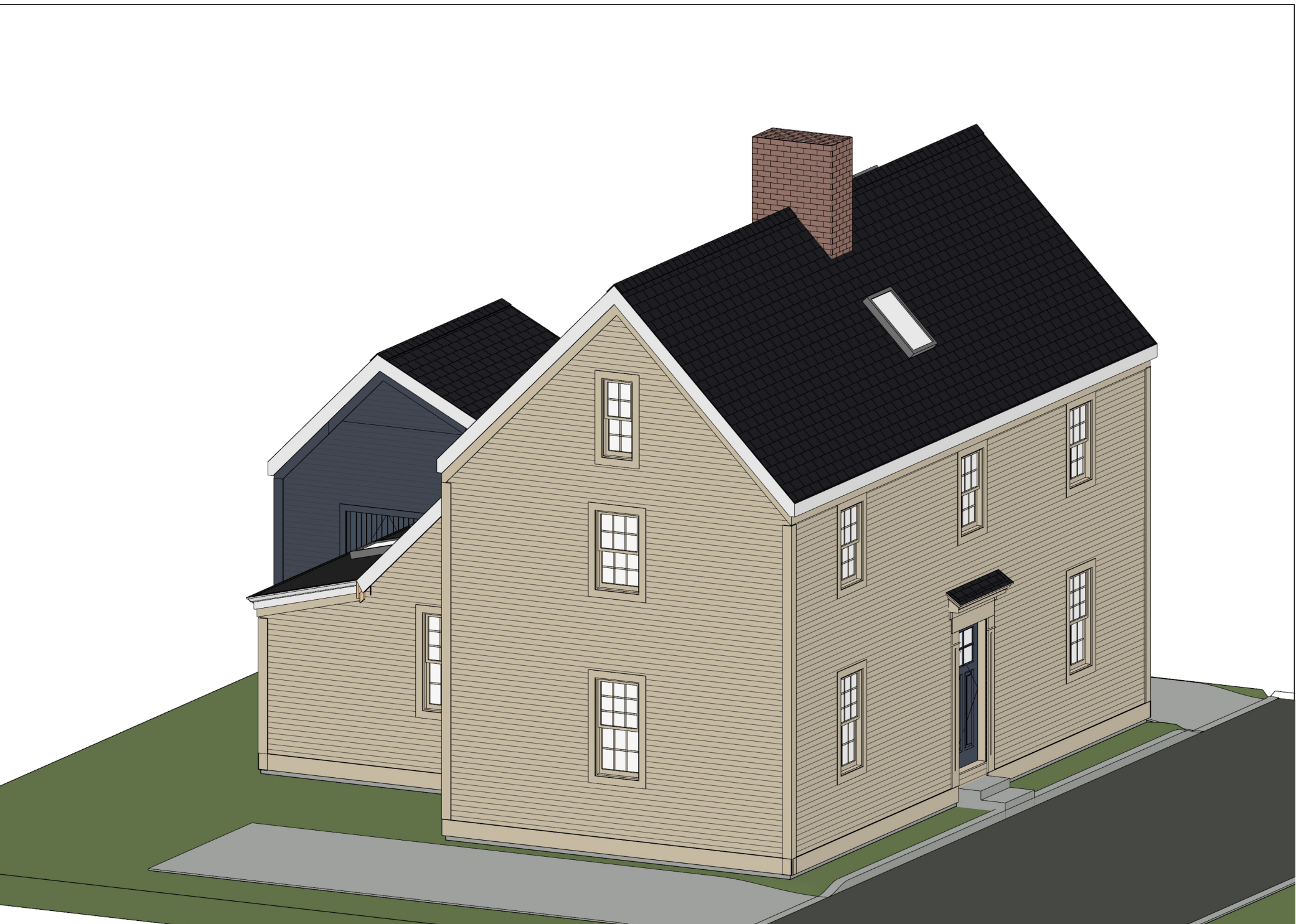
LEFT FRONT VIEW



REAR RIGHT VIEW



REAR LEFT VIEW with SHED



@AMY DUTTON HOME
DRAWINGS USED EXPRESSIVELY FOR
DESIGN ONLY FOR NOTED CLIENT. ALL
STRUCTURAL ENGINEERING PROVIDED BY
OTHER.

Building contractor / home owner to review and verify all
dimensions, specs and connections before construction
begins.

PRIMARY:
● INTERNATIONAL RESIDENTIAL CODE (IRC 2021)

SECONDARY:
● ELECTRICAL CODE SYSTEM: NEC 2020
● MECHANICAL SYSTEM CODE: IMC 2021
● PLUMBING SYSTEM CODE: (IPC 2021)
● INTERNATIONAL ENERGY CONSERVATION CODE
(IECC 2021)

LIVING AREA

MAIN FLOOR	747 sqft
UPPER STORY, FINISHED	595 sqft
ATTIC	149 sqft
TOTAL	1,491 sqftsqft
SHED	238 sqft

LIVING AREA

MAIN FLOOR	747 sqft
SHED CONNECTOR ADDITION	105 sqft
UPPER STORY, FINISHED	595 sqft
ATTIC	149 sqft
TOTAL	1,596 sqft
SHED	238 sqft

DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS.

OVERVIEW

SCALE: NTS

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Revision Table	
Number	Date Revised By Description

OVERVIEW

PROJECT:
NEAL MCCARTHY
28 Whidden, Portsmouth
NH 03801

CONTACT:
AMY DUTTON HOME
9 WALKER STREET
KITTERY, ME 04101
207.345.6050

DATE:

10/1/2025

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DUTTON HOME 2025

SCALED FOR:
24" X 36"

SCALE:

SEE SCALE
ON DRAWINGS

SHEET:

O-1

CALCULATIONS

ZONING MAXIMUMS: GRB
front setback: 5'
rear setback: 25'
side setbacks: 10'
lot coverage: 30%

EXISTING CONDITIONS:
LOT SIZE: 0.06 AC

FRONT/REAR HEIGHT:
26' 4" EXISTING RIDGE HT FROM FRONT GRADE

LIVABLE SF: 1,491 SF
FIRST FLOOR 747 SF
UPPER STORY 595
ATTIC 149 SF
GROSS SF: 1,937 SF
FIRST FLOOR 747 SF
UPPER STORY 595 SF
ATTIC 595 SF
OUTBUILDINGS
SHED 238 SF

AREA OF FOOTPRINT: 985 SF
EXISTING SETBACKS:
FRONT: 0
REAR: 16.5'
LEFT: 15'
RIGHT: 8.1'
EXISTING LOT COVERAGE: 37.7 %
EXISTING PARCEL AREA: 2,613.6 SF (0.06 AC)

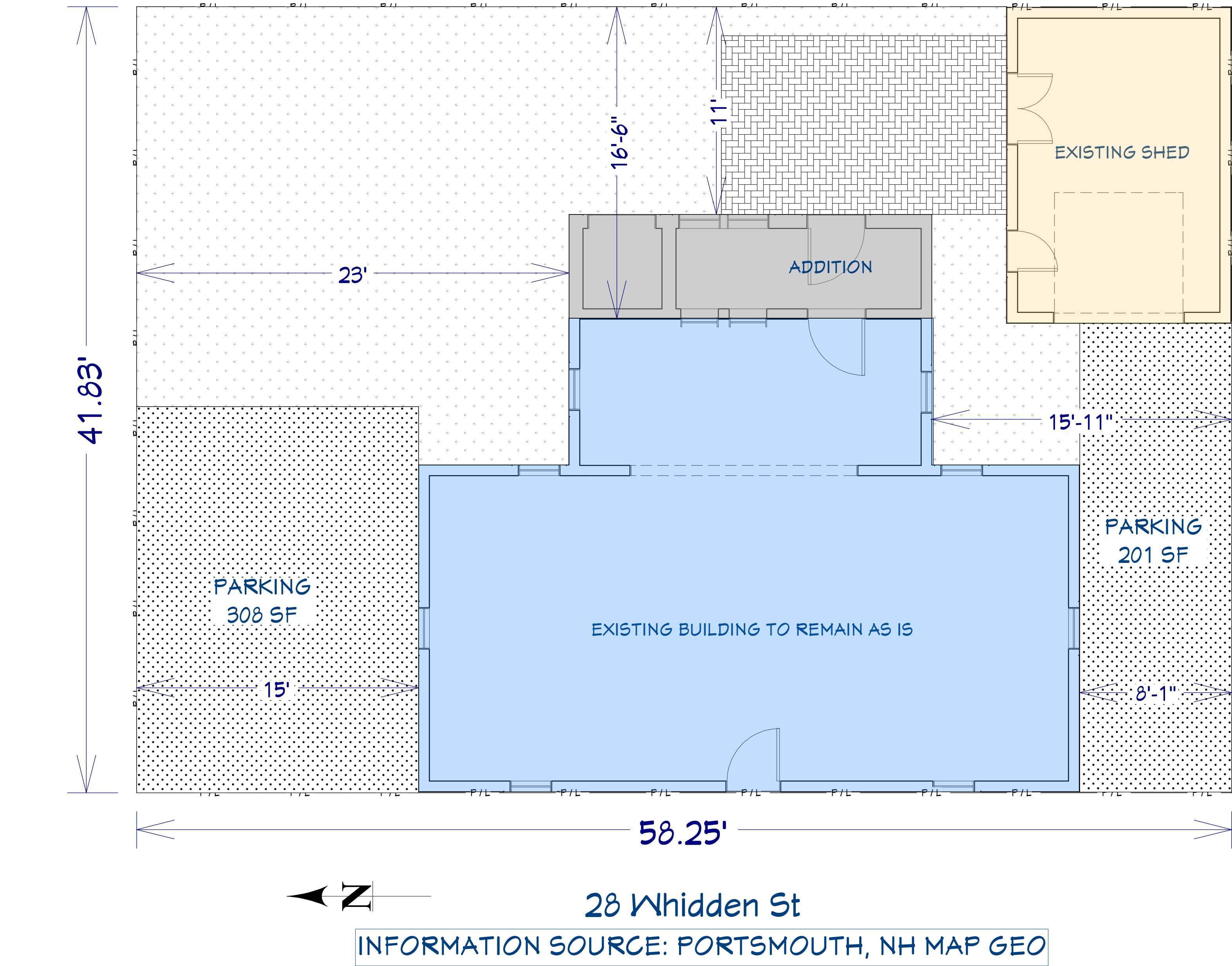
PROPOSED CONDITIONS:
FRONT/REAR HEIGHT:
9'-5" PROPOSED RIDGE HT FROM FRONT GRADE

LIVABLE SF: 1,596 SF
FIRST FLOOR 852 SF
UPPER STORY 595 SF
ATTIC 149 SF
GROSS SF: 2,042 SF
FIRST FLOOR 852 SF
UPPER STORY 595 SF
ATTIC 595 SF
OUTBUILDINGS
SHED 238 SF

AREA OF FOOTPRINT: 1,090 SF
PROPOSED SETBACKS:
FRONT: 0
REAR: 11'
LEFT: 15'
RIGHT: 8.1'
PROPOSED LOT COVERAGE: 42%
EXISTING PARCEL AREA: 2,613.6 SF (0.06 AC)

CAD BLOCK GUIDE

- EXISTING FOOTPRINT (747 SQFT)
- EXISTING SHED (238 SQFT)
- PROPOSED ADDITION (105 SQFT)



- = 144 SF PERMEABLE PAVERS OR GRAVEL
- = 854 SF OPEN SPACE
- = 509 SF TOTAL PARKING AREA

PROPOSED PLOT PLAN
SCALE: 1/4" = 1'-0"

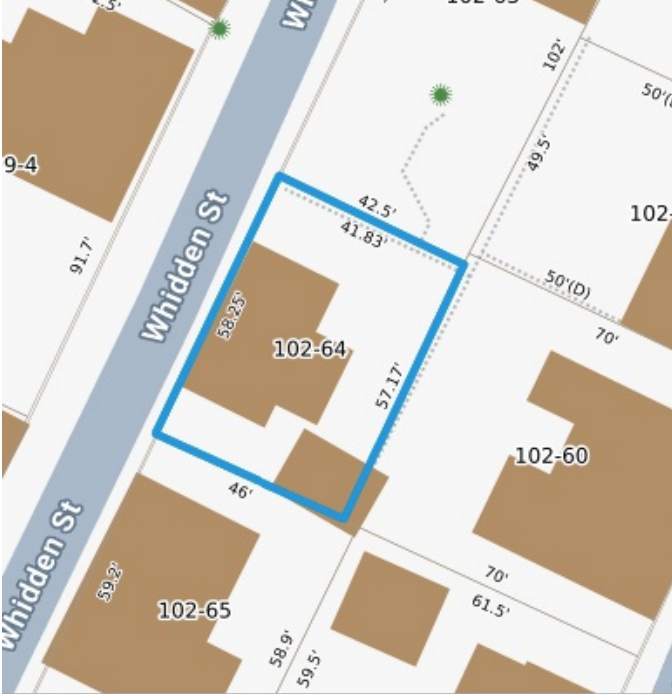
SITE PLAN



SITE LOCATION



MAP VIEW



SITE PLAN



EXISTING CONDITION PHOTO

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NEAL MCCARTHY
28 Whidden, Portsmouth
NH 03801

CONTACT:
AMY DUTTON HOME
4 WALKER STREET
KITTEERY, ME 04101
207.345.6050

DATE:

10/1/2025

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DUTTON HOME 2025

SCALED FOR:
24" X 36"

SCALE:

SEE SCALE
ON DRAWINGS

SHEET:

S-1

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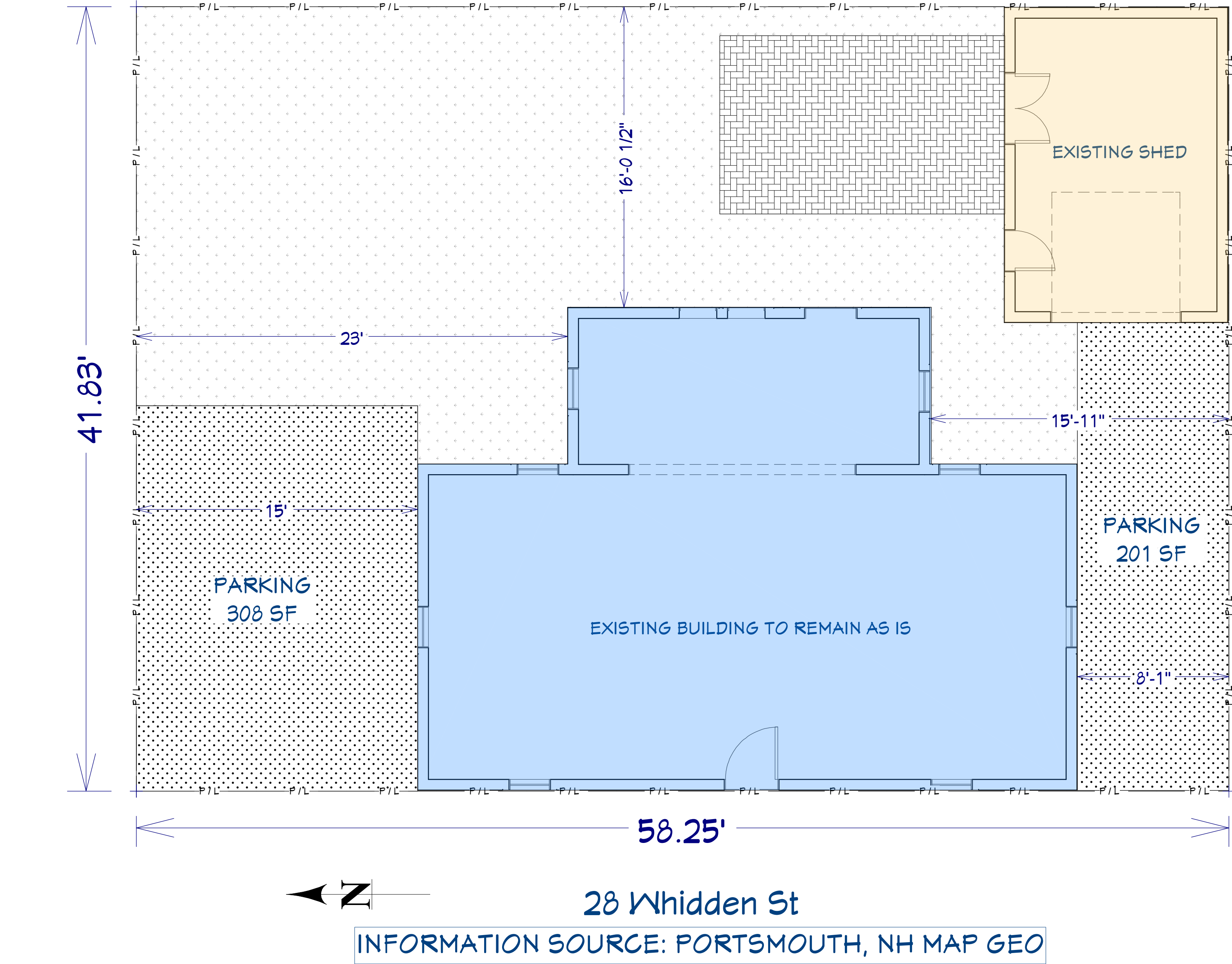
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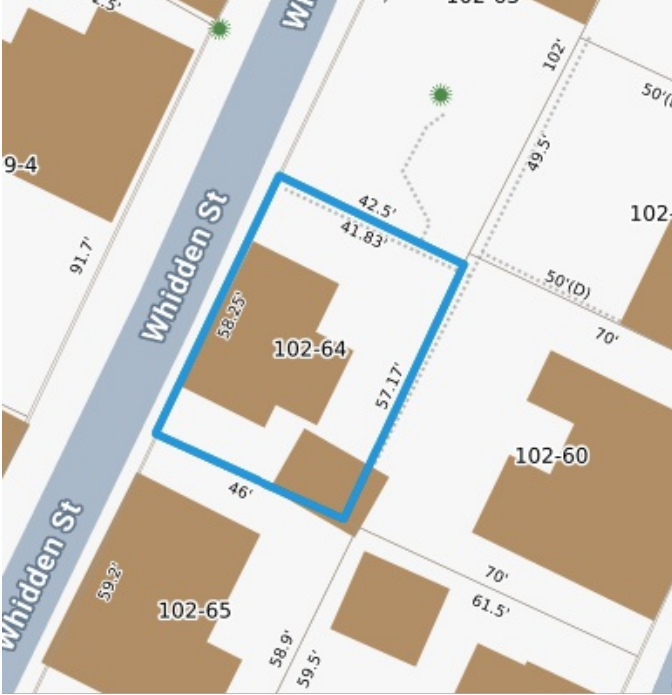
EXISTING PLOT PLAN
SCALE: 1/4" = 1'-0"



SITE LOCATION



MAP VIEW



SITE PLAN



EXISTING CONDITION PHOTO

Revision Table	
Number	Description

	BUILDER: THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). SPECIFIC MANUFACTURES AND MODEL NUMBERS SHOWN ON THE PLANS ARE INDICATIONS OF QUALITY ONLY. THE OWNER/ BUILDER SHALL NOT BE PROHIBITED FROM SUBSTITUTING MATERIALS AND/OR APPLIANCES OF EQUAL QUALITY/ STRENGTHS FROM NON-SPECIFIED MANUFACTURERS. THE OWNER/BUILDER MAY SUBSTITUTE MATERIALS PROVIDED THEY MEET CURRENT BUILDING CODE, AND ARE APPROVED FOR THAT SPECIFIC USE BY THE BUILDING OFFICIAL.	GENERAL ITEMS: GARAGE: THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN FIRE-RATED 5/8-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. (TABLE R302.6) DOORS TO BE 1 3/8" SOLID CORE OR RATED 20 MIN. EQUIPPED WITH A SELF-CLOSING DEVICE. WOOD BURNING APPLIANCES: WOOD STOVES AND FIREPLACES SHOWN ON PLANS MUST BE INSTALLED PRIOR TO FINAL INSPECTION PER THEIR INSTALLATION DIRECTIONS TO MEET WARRANTY REQUIREMENTS. THE AFFIDAVIT OF EMISSION STANDARDS IS TO BE ON SITE. SPECIAL WALL COVERINGS: ADHERED VENEERS AND ATTACHED STONE OVER WOOD WALLS MUST BE INSTALLED OVER A WATER-PROOF BARRIER. ALSO FLASHING MUST BE INSTALLED AS REQUIRED BY R703.6 AND WEEP SCREED MUST BE INSTALLED AT THE BOTTOM OF THE WALL FINISH.	GENERAL FRAMING NOTES: FLOOR: PROVIDE DOUBLE JOISTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS. INSULATION: PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS. PROVIDE FOR PROPER ATTIC VENTILATION. (R806) FIRE BLOCKING: PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER (IBC-SEC. R502.12). BRACKETS: PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT. ATTIC ACCESS - MAIN: BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND THAT HAVE A VERTICAL HEIGHT OF 30" OR MORE. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22" BY 30". THE ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A MINIMUM HEIGHT OF 30" UNOBSTRUCTED HEADROOM SHALL BE PROVIDED IN THE ATTIC SPACE AT SOME POINT ABOVE THE ACCESS OPENING. (R807) ATTIC ACCESS - GARAGE: ATTIC ACCESS IN GARAGES SHOULD NOT COMPROMISE ANY REQUIRED FIRE SEPARATION. SEE IRC SECTION M1305.1.3 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT WILL BE LOCATED IN ATTICS. ICE SHIELD: 36" DOUBLE ROLE ENGINEERED TRUSSES: TRUSS MANUFACTURER MUST BE APPROVED PRIOR TO CONSTRUCTION	FOUNDATION: CONCRETE STRENGTH: *3,000 PSI @ 28 DAY MINIMUM * STEEL REINFORCING: GRADE 40MIN. *MIN. LAP LENGTH: 40 BAR DIAMETERS *1/8" PER FOOT SLOPE FROM BACK OF GARAGE TO DOORS INFILTRATION: ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED. * JOINTS AROUND WINDOW AND DOOR FRAMES * JOINTS BETWEEN WALL CAVITY AND WINDOW / DOOR FRAME. * JOINTS BETWEEN WALL AND FOUNDATION * JOINTS BETWEEN WALL AND ROOF * JOINTS BETWEEN WALL PANELS * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS INSULATION: PROVIDE PROPER UNDER-FLOOR VENTILATION. (R408.1) FOUNDATION WALL: 8-10" CONT. POUR (2)#4 BAR HORIZONTAL (TOP& BOTTOM) (1) #6 BAR VERTIAL @ 48" OC LAP CORNERS & SPLICES OF REBAR PER CODE SECURE SILL TO FOUNDATION W/ 1/2"D. ANCHOR BOLTS THAT EXTEND 7" INTO CONCRETE TIGHTEN W/ NUT & WASHER @ 6' OC & MAX 12" FROM CORNER HEIGHT: 7'-10" HIGH (TYP. WHEN POSSIBLE) FOOTING: 10-12" X 20-24" (2) #4 HORIZONTAL (BOTTOM) (1)#4 DOWEL BAR @ 48" OC LALLY COLUMN PAD: 30"x 30" X 12" (2) #4 EACH WAY (BOTTOM) *MAINTAIN CONTINUOUS 4'-0" FROST DEPTH * 1/2" CTR. ANCHOR BOLD @ 4'-0" OC - 3 EA. CORNER / 2 EA. JOINT) PORCH FOUNDATION * 12" CTR. CONCRETE FILLED SONOTUBE (1) #6 BAR VERTICAL @ CTR SPREAD FOOTINGS & ANCHOR BOLD ELEVATED 4X4 OR 6X6 POST BASE *POSTS UNDER DECK CAN BE SOLID 4X4 UP TO 48" IN HEIGHT, SOLID 6X6 PT FOR HIGHER DECKS. *PRECAST BELL OR POURED FOOTINGS @ PORCH, 20" BASE TO FROST WITH 8" SONOTUBE DECK + PORCH *BOLT / SCREW CONNECTION : R502.2.2.1 *LATERAL CONNECTION: R502.2.2. BULKHEAD NOTES: *55"W X 72"L X 19.5" H (67" X 48" OPENING) *CONTRACTOR TO CONFIRM SIZE & LOGATION WINDOWS: WINDOWS: ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING EGRESS: WINDOW ESCAPE & RESCUE REQUIREMENTS (R310 & R612): EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPEN-ABLE AREA OF 5.7 SQ. FT. IN ALL ROOMS USED FOR SLEEPING AND IN ALL BASEMENTS WITH HABITABLE SPACES, ONE WINDOW SHALL OPEN A MINIMUM OF 5.7 SQUARE FEET, 20" WIDE, 24" HIGH WITH A MAXIMUM SILL HEIGHT OF 44". SKYLIGHTS: SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLAS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE. OPENINGS: ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.	DECKS – STAIRS - RAILS: MINIMUM STAIR REQUIREMENTS: MAXIMUM RISE = 7 3/4" MINIMUM RUN = 10" MINIMUM HEAD CLEARANCE = 6'8" MINIMUM STAIR WIDTH 36" TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8". A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL-RISE LARGER THAN 12 FEET BETWEEN FLOOR LEVELS OR LANDINGS. EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS. PORCHES, BALCONIES, RAMPS, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 36" IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. HANDRAILS SHALL BE PLACED BETWEEN 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDING. STAIRWAYS FOR DWELLINGS WITH FOUR OR MORE RISERS SHALL HAVE HANDRAILS. (R311.7.8) THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN GROSS-SECTIONAL DIMENSION. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL. STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HANDRAIL. THE OPENINGS BETWEEN BALLISTERS NEWELS IS TO BE NO MORE THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH. GENERAL PLUMBING & HVAC NOTES: METALLIC GAS PIPE, WATER PIPE, AND FOUNDATION REINFORCING BARS SHALL BE BONDED TO THE ELECTRICAL SERVICE GROUND. DRYER, WATER HEATER, KITCHEN AND BATHROOM VENTING SHALL EXHAUST TO THE OUTSIDE OF THE BUILDING AND BE EQUIPPED WITH A BACK-DRAFT DAMPER. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER. TUBS/SHOWERS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING TYPE. THE WATER TEMPERATURE SHALL BE AT A MAXIMUM OF 120°F. WATER SOFTENER UNIT SHALL CONDITION WATER BEFORE ENTERING THE WATER HEATERS AND THE COLD-WATER SOURCE. EACH HOSE BIBB SHALL BE EQUIPPED WITH A BACK-FLOW PREVENTION DEVICE. HEAT DUCTING SHALL BE SECURED, SEALED, AND INSULATED AS APPROPRIATE. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 10" ABOVE SHOWER DRAINS. (see plumbing elevations for heights) INSULATE WASTE LINES FOR SOUND CONTROL. DIMENSIONS: DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE. CLOSETS ARE 24" CLEAR INSIDE, UNLESS DIMENSIONED OTHERWISE. SQUARE FOOTAGES: 1. Square foot numbers are interior to room and use in calculating finishes. 2. Cabinet and fixtures are not subtracted. 3. Add for doorways when floor finishes run through.	
	BUILDING SITE: CERTIFICATIONS AND SPECIAL INSPECTIONS: CHANGES: ALL CHANGES MUST BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION. DRAINAGE NOTES: REFER TO CIVIL ENGINEERING	FRAMING - GENERAL: INSTALL APPROVED FRAMING CLIPS AT EACH END OF ALL TRUSSES AND RAFTERS. FLOOR JOIST BLOCKING IS REQUIRED AT ALL BEARING POINTS OR FOLLOW MANUFACTURED JOIST INSTALLATION INSTRUCTIONS. BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND THAT HAVE A VERTICAL HEIGHT OF 30" OR MORE. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22" BY 30". THE ACCESS SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A MINIMUM HEIGHT OF 30" UNOBSTRUCTED HEADROOM SHALL BE PROVIDED IN THE ATTIC SPACE AT SOME POINT ABOVE THE ACCESS OPENING. (R807) PROVIDE FOR PROPER ATTIC VENTILATION. (R806) ATTIC ACCESS IN GARAGES SHOULD NOT COMPROMISE ANY REQUIRED FIRE SEPARATION. SEE IRC SECTION M1305.1.3 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT WILL BE LOCATED IN ATTICS. FIRE-BLOCKING SHALL BE PROVIDED PER (R302.11). CHANGE OF TRUSS MANUFACTURER MUST BE APPROVED PRIOR TO CONSTRUCTION. PLYWOOD SHEATHING SHALL BE AS FOLLOWS: ROOF SHEATHING SHALL BE 5/8" PLYWOOD OR OSB. WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB. FLOOR SHEATHING SHALL BE 3/4" T & G – OSB INT - APA – RATED	ROOF FRAMING / TRUSS NOTES: TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS. SCISSORS TRUSS CEILING PITCH CALCULATED BY MANUFACTURER ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION. ALL CONNECTIONS OF RAFTERS, JACK, OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.			
	STRUCTURAL NOTES: SEE STRUCTURAL ENGINEERING PLANS FOR ALL STRUCTURAL SPECIFICATIONS.	LIGHTING E3803.1 AT LEAST ONE (1) WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, IN BATHROOMS, HALLWAYS, STAIRWAYS, BASEMENTS, ATTACHED GARAGE, AND AT OUTDOOR ENTRANCES. EXCEPTION: IN HABITABLE ROOMS, OTHER THAN KITCHENS AND BASEMENT, ONE OR MORE RECEPTACLES CONTROLLED BY A WALL SWITCH SHALL BE PERMITTED IN LIEU OF A LIGHTING OUTLET. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLE (11 LUX) MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY. SEE R303.7 FOR ALL REQUIREMENTS.	DOORS: ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING WITH BOTTOM THRESHOLD AND DOOR SHOE WITH SMOKE SEAL EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPEN-ABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60 GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS OPENINGS: ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.			
	KITCHEN: (E3703.2, E3901.4 & E3902.6) PROVIDE A MINIMUM OF TWO (2) 20-AMP CIRCUITS FOR THE KITCHEN COUNTER. A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12 INCHES. ALL RECEPTACLES INSTALLED TO SERVE THE COUNTERTOP SURFACE IN A KITCHEN TO BE PROTECTED BY GROUND-FAULT CIRCUIT INTERRUPTERS KITCHEN COUNTER RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM AN OUTLET MEASURED IN SUCH A MANNER THAT THERE WILL BE AN OUTLET FOR EVERY 4 LINEAR FEET OR FRACTION THEREOF OF COUNTER LENGTH. RECEPTACLES OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN THE WORK SURFACES OR COUNTERTOPS. (E3902.7) BATHROOMS: AT LEAST ONE WALL RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 3' OF BASIN LOCATION. (E3901.6) ALL OUTLETS LOCATED IN THE BATHROOM SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT INTERRUPTER. (E3902.1) 2013					

Revision Table	
Number	Date Revised By Description

GENERAL NOTES

PROJECT:
NEAL MCCARTHY
28 Whidden, Portsmouth
NH 03801

CONTACT:
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DATE:
10/1/2025
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SCALED FOR: 24" X 36"
SCALE:
SEE SCALE ON DRAWINGS
SHEET:
G-1

FRAMING NOTES

1. ALL DIMENSIONAL LUMBER SHALL BE DOUGLAS FIR LARCH NO. 2 AND LARGER LUMBER SHALL BE DOUGLAS FIR NO.1 OR BETTER, UNO.
2. WALL HEADERS: (2) 2 X 10 DF 2 W/ IKIT TYP. UNO
3. I-JOISTS AND LVL MEMBERS MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS.
4. ALL TRUSSES SHALL BE ENGINEERED AND STAMPED WITH A SEPARATE ENGINEERED DOCUMENT.
5. PRE-MANUFACTURED WOOD JOISTS & TRUSSES SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS OR JOIST COMPANY. NO MEMBERS SHALL BE MODIFIED AND MUST BE INSTALLED IN COMPLIANCE WITH THEIR LISTINGS. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. MEMBERS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. PRE-MANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ENGINEER OR ICBO APPROVED.
6. ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS. CONNECT BLOCKING TO TOP OF WALL W/ SIMPSON FRAMING ANCHORS. ROOF JOIST TO HAVE HURRICANE CLIPS @ 48" O.C. OR SIMPSON H-1 HURRICANE CLIPS @ 24" O/C. INSTALL PRIOR TO ROOF SHEETING.
7. ALL WOOD & IRON CONNECTIONS MUST CARRY THE CAPACITY OF THE MEMBER. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONNECTIONS. IF OTHER THAN STANDARD CONNECTIONS ARE REQUIRED, CONTACT PROJECT ENGINEER FOR ASSISTANCE. USE SIMPSON OR OTHER ICC LISTED CONNECTIONS.
8. NAILS: ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.4.1 OR IRC TABLE R602.3(1).
10. TRUSS SHALL BE ELIMINATED BY THE USE OF COLLAR TIES OR CEILING JOISTS, WHERE REQUIRED.
11. BEVELED BEARING PLATES ARE REQUIRED AT ALL BEARING POINTS FOR BCI & TJI RAFTERS.
12. ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
13. ALL EXTERIOR WALLS SHALL BE SHEATHED WITH 1/2" THICK 2-M-VN SHEATHING OR EQUAL W/ 8D COMMON NAILS @ 6" O.C. @ EDGES @ 12" O.C. IN FIELD. UNO. SHEATHING SHALL BE CONTINUOUS ACROSS ALL HORIZONTAL FRAMING JOINTS.
14. ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. SHEATH ROOF PRIOR TO ANY OVER FRAMING.
15. PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNO. PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANELS ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.
16. GLULAM BEAMS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, ATTIC 117. EACH MEMBER SHALL BEAR AN ATTIC IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD.
17. GLULAM BEAMS SHALL BE 24F-V4 DF/DF OR EQUAL FOR SIMPLE SPANS, AND 24F-V8 DF/DF FOR CONTINUOUS SPANS.
18. "VERSA-LAM" & "MICRO-LAM MEMBERS SHALL BE GRADE 2.0 E.
19. ANY WOOD IN CONTACT W/ CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
20. ALL WOOD & IRON CONNECTORS SHALL BE INSTALLED W/ ALL REQUIRED FASTENERS IN COMPLIANCE W/ THEIR WRITTEN APPROVAL.
21. ALL HANGERS TO BE "SIMPSON" OR EQUAL.
22. NOTIFY CONTRACTOR PRIOR TO DRILLING HOLES IN STEEL BEAMS.

OUTDOOR AND GARAGE OUTLETS:

AT LEAST TWO (2) OUTLETS, ACCESSIBLE AT GRADE LEVEL SHALL BE INSTALLED OUTDOORS AND LOCATED AT THE FRONT AND REAR OF THE DWELLING AND SHALL BE WATERPROOF AND NOT INSTALLED ON THE SMALL APPLIANCE BRANCH CIRCUIT. (E3901.7)

AT LEAST ONE (1) OUTLET MUST BE LOCATED IN AN ATTACHED GARAGE. (E3901.9)

AT LEAST ONE (1) OUTLET MUST BE LOCATED IN A BASEMENT. OUTLETS IN BASEMENTS USED AS NON-HABITABLE ROOMS SHALL BE GFCI PROTECTED.

ALL OUTLETS LOCATED OUTDOORS, IN CRAWL SPACES AT OR BELOW GRADE LEVEL OR IN A GARAGE SHALL BE PROTECTED BY A GROUND-FAULT INTERRUPTER. (E3902)

BALCONIES, DECKS, AND PORCHES THAT ARE ACCESSIBLE FROM INSIDE THE DWELLING UNIT SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET INSTALLED THE PERIMETER OF THE AREA. (3901.7)

ELECTRICAL NOTES:

- 1 ALL APPLIANCES TO BE ON DEDICATED CIRCUITS - REFER TO APPLIANCE SPECS FOR AMP/VOLTAGE REQUIREMENTS
- 2 ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, FOUNDATION, AND GARAGE SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS
- 3 ALL BEDROOM OUTLETS AND LIGHTS BE ARCH FAULT PROTECTED
- 4 ALL VENTILATION FANS TO BE FANTEC 300 CFM
- 5 PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER SO THAT WHEN ANY ONE IS TRIPPED, THEY WILL ALL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
- 6 CIRCUITS SHALL BE VERIFIED WITH DESIGNER PRIOR TO WIRE INSTALLATION
- 7 FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH DESIGNER
- 8 FIXTURES TO BE SELECTED BY DESIGNER AND HOME OWNER
- 9 ALL LIGHTING SHALL BE DIMABLE AND USE LED BULBS

NOTE: ALL ELECTRICAL LOCATIONS TO BE CONFIRMED ON SITE WITH DESIGNER, LOCATIONS NOT EXACT UNLESS DIMENSIONED ON PLANS

SCHEDULE MEETING WITH DESIGNER TO REVIEW PLACEMENT AND PLAN ON SITE

CARBON MONOXIDE ALARMS

IRC SECTION R315

PROVIDE A CARBON MONOXIDE ALARMS OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITH FUEL FIRED APPLIANCES OR ATTACHED GARAGES.

WHEN MECHANICAL WORK, GAS WORK, REMODELS, OR ADDITIONS REQUIRING A PERMIT OCCURS, THE INDIVIDUAL DWELLING UNITS WITH FUEL FIRED APPLIANCES OR ATTACHED GARAGES SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.

SMOKE DETECTORS - IRC SECTION R314

PROVIDE A SMOKE DETECTOR IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE HALLWAY OR AREA GIVING ACCESS TO EACH SLEEPING AREA.

THE SMOKE DETECTOR SHALL RECEIVE ITS PRIMARY POWER FROM BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.

DETECTORS SHALL BE INTERCONNECTED TO SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF DWELLING UNITS IN WHICH THEY ARE LOCATED.

DETECTORS SHALL NOT BE ON A CIRCUIT WHICH IS GROUND-FAULT INTERRUPTER PROTECTED. DETECTORS IN BEDROOMS TO BE AFCI PROTECTED.

WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS; THE SMOKE ALARMS SHALL BE INTERCONNECTED AND HARD-WIRED.

EXCEPTIONS:

INTER CONNECTION AND HARD WIRING OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE THE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR HARD WIRING AND INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.

WORK INVOLVING THE EXTERIOR SURFACES OF DWELLINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, OR THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK, ARE EXEMPT FROM THE REQUIREMENTS OF THIS SECTION

RECEPTACLE OUTLETS:

(IRC CHAPTER 39)

IN EVERY HABITABLE ROOM, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE, INCLUDING ANY WALL SPACE 2 FEET OR MORE IN WIDTH, IS MORE THAN 6 FEET MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE SO THAT THERE WILL BE AN OUTLET FOR EVERY 12 LINEAR FEET OR FRACTION THEREOF OF WALL LENGTH. FIXED GLASS PANELS, RAILINGS AND OTHER FIXED ROOM DIVIDERS SUCH AS FREESTANDING BAR TYPE COUNTERS SHALL BE INCLUDED IN THE 6' MEASUREMENT. (E3901.2)

ALL RECEPTACLES INSTALLED WITHIN 6 FEET OF A LAUNDRY, UTILITY OR WET BAR SINK SHALL BE PROTECTED BY GROUND-FAULT CIRCUIT INTERRUPTERS. (E3902.7)

MINIMUM OF ONE RECEPTACLE OUTLET IN HALLWAYS 10' OR MORE IN LENGTH SHALL BE INSTALLED.

ALL ROOM CIRCUITS INCLUDING LIGHTING AND SMOKE DETECTORS TO BE AFCI PROTECTED. SEE CODE FOR EXCEPTIONS.

ALL RECEPTACLE OUTLETS SHALL BE TAMPERED RESISTANT. (E4002.14)

ABBREVIATIONS & SYMBOLS

CODE SUMMARY

THESE BUILDING PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE - 2015 EDITION FOR NEW HAMPSHIRE

& @ Q APPROX. ARCH. ADJ. A.F.F. A.D.	AND AT CENTERLINE APPROXIMATE ARCHITECTURAL ADJUSTABLE ABOVE FINISH FLOOR AREA DRAIN	FDN. F.E. FGL. FIN. F.O. FLR F.D. FLUOR. FT. F.S.	FOUNDATION FIRE EXTINGUISHER FIBERGLASS FINISH(ED) FACE OF FLOOR FLOOR DRAIN FLUORESCENT FEET-FOOT FULL SIZE	PLYWD. P.T. PVC. PR. PNL. PTN. PL. POL.	PLYWOOD PRESSURE TREATED POLYVINYL CHLORIDE PAIR PANEL PARTITION PLATE POLISHED
	BSMT. BLDG. BLK. BLKG. BM. BET.	BASMENT BUILDING BLOCK BLOCKING BEAM BETWEEN	GALV. G.C. G.L. GR. GYP.	R. RAD. REINF. R.O. REQD. RF. R.D.	RISER RADIUS REINFORCED/REINFORCING ROUGH OPENING REQUIRED ROOF ROOF DRAIN
CAB. C.O. CLG. O.C. CL. CLR. COL. CONC. CONT. CONST. CU. CPT. C.M.U.	CABINET CASED OPENING CEILING CENTER(ON) CLOSET CLEAR COLUMN CONCRETE CONTINUOUS CONSTRUCTION CUBIC CARPET CONCRETE MASONRY UNIT	HGT./HT. HDWD. H.P. H.M. HORIZ.	HEIGHT HARDWOOD HIGH POINT HOLLOW METAL HORIZONTAL	SECT. SHT. SIM. S&P SVC. SH. SPECS. SQ. STD. STL. STRUCT. SUSP.	SECTION SHEET SIMILAR SHELF AND POLE SERVICE SHELVES SPECIFICATIONS SQUARE STANDARD STEEL STRUCTURAL SUSPENDED
DBL. D.F. D.A. DIA. DIM. DO. DET. DN. DN DWGS.	DOUBLE DOUGLAS FIR DOUBLE ACTING DIAMETER DIMENSION DITTO DETAIL DOWN DISHWASHER DRAWINGS	JST. JT.	JOIST JOINT	T. T&B TBD T&G TYP. T.W. T.O. T.O.F. T.O.F.W. T.O.S. T.O.W TEL. TEMP. TLT. U.N.O. V.I.F VERT.	TREADS TOP AND BOTTOM TO BE DETERMINED TOUGE AND GROOVE TYP. TO THE WEATHER TOP OF TOP OF FOOTING TOP OF FOUNDATION WALL TOP OF SLAB TOP OF WALL TELEPHONE TEMPERED TOILET UNLESS NOTED OTHERWISE VERIFY IN FIELD VERT
EA. EL. ELEV. ELV. EQ. EXIST. EXP. JT. EXP. EXT.	EACH ELEVATION(GRADE) ELEVATION(FACADE) ELEVATOR EQUAL EXISTING EXPANSION JOINT EXPOSED EXTERIOR	N. N.I.C. N.T.S. NO.	NORTH NOT IN CONTACT NOT TO SCALE NUMBER	W/ WD. W.I.C WH WO W.C. W.I. W.R.	WITH WOOD WALK-IN CLOSET WATER HEATER WITHOUT WATER CLOSET WROUGHT IRON WATER RESISTANT
MAX. MFR. MTL. MECH. MIN. MISC. MLDG.	MAXIMUM MANUFACTURER METAL MECHANICAL MINIMUM MISCELLANEOUS MOULDING	INSUL. INCAND. I.D. I.P.S INV.	INSULATION INCANDESCENT INSIDE DIAMETER INSIDE PIPE SIZE INVERT		
LAV. LAM.	LAVATORY LAMINATED				
MIN. MISC. MLDG.	MINIMUM MISCELLANEOUS MOULDING				
N. N.I.C. N.T.S. NO.	NORTH NOT IN CONTACT NOT TO SCALE NUMBER				
O.H. OPNG. OPP. O.D. O.C. OA	OVERHEAD OPENING OPPOSITE OUTSIDE DIAMETER ON CENTER OVERALL				

Revision Table	
Number	Date Revised By Description

GENERAL NOTES

PROJECT:
NEAL MCCARTHY
28 Whidden, Portsmouth
NH 03801

CONTACT:
AMY DUTTON HOME
9 WALKER STREET
KITTEBY, ME 04101
207.345.6050

DATE:

10/1/2025

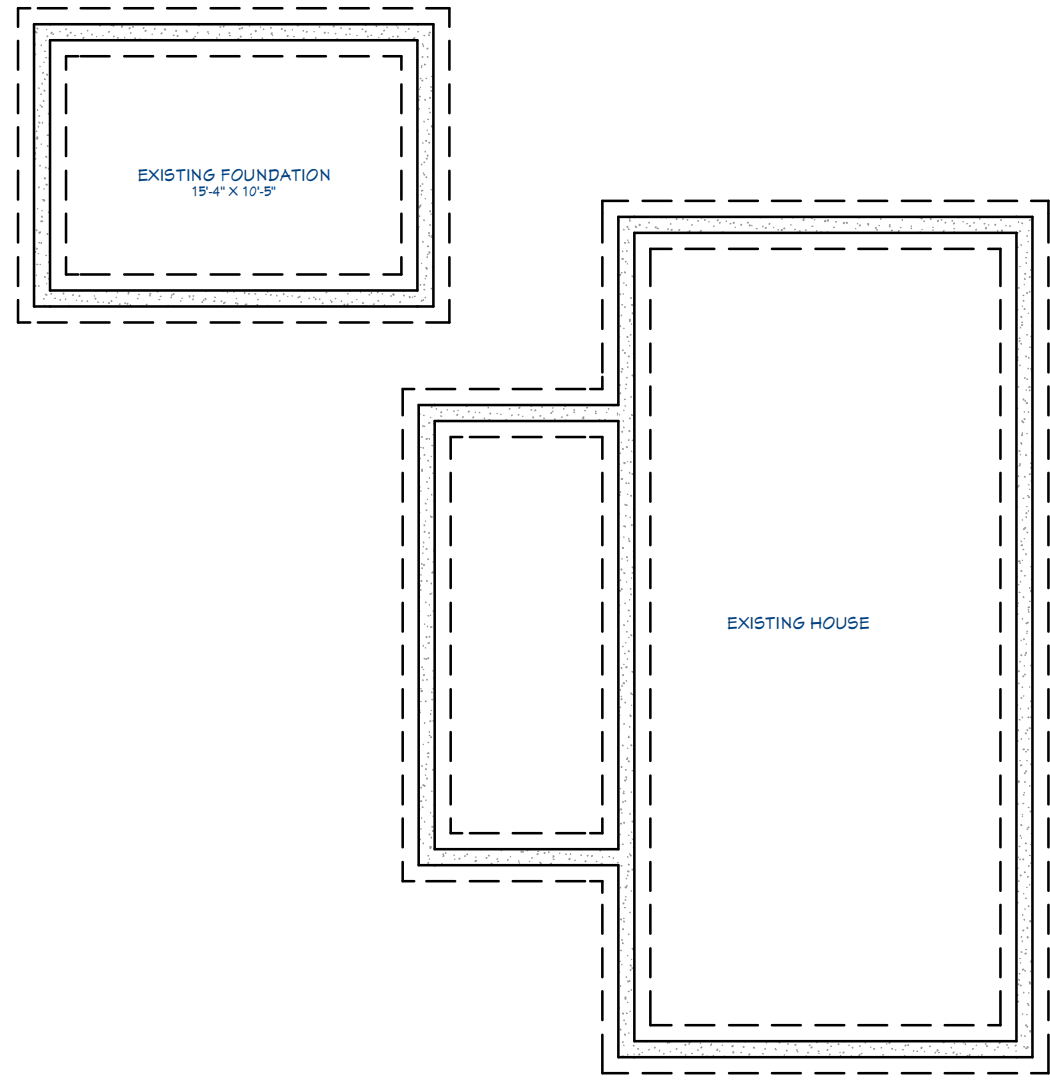
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SCALED FOR:
24" X 36"

SCALE:

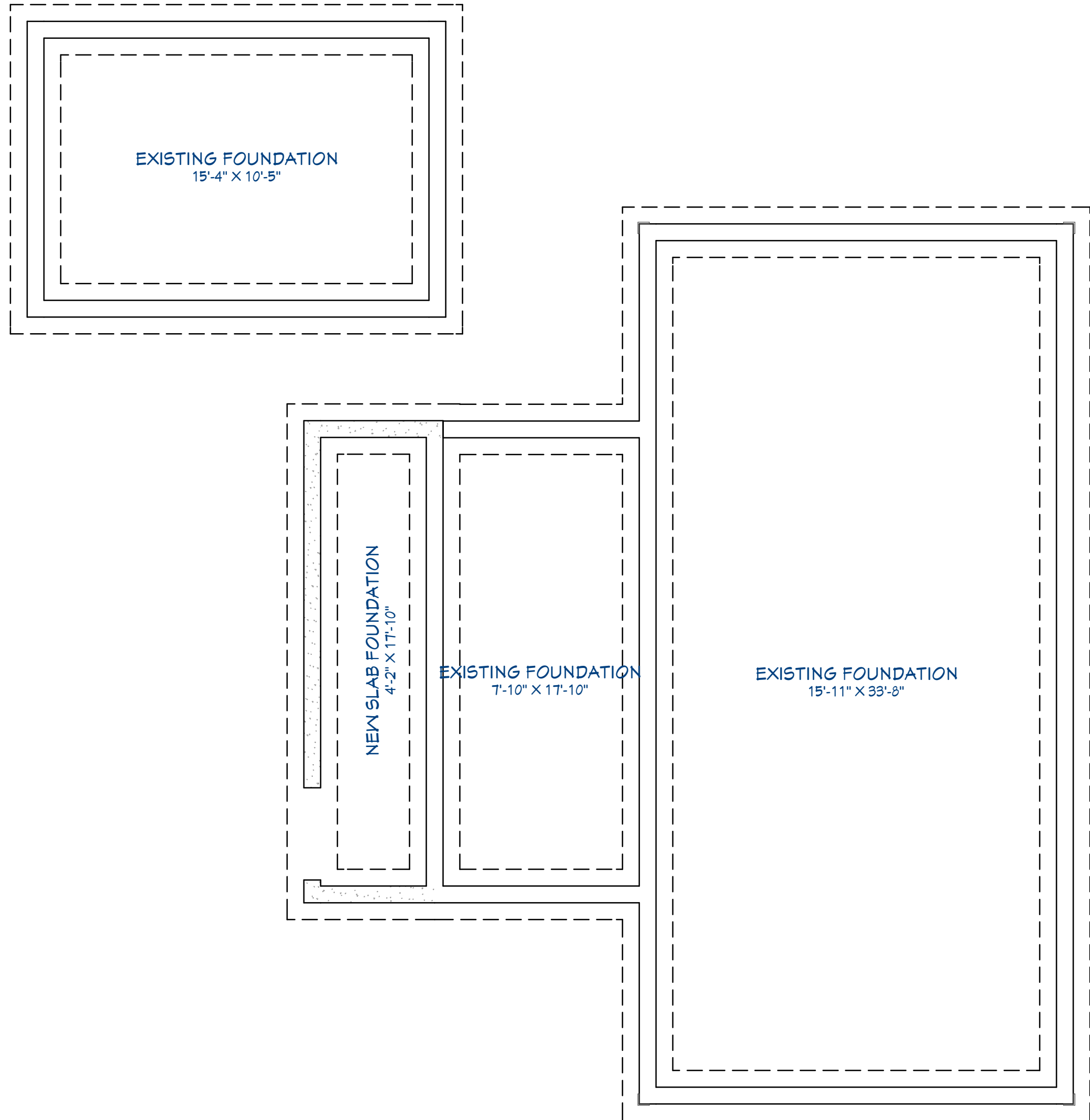
SEE SCALE
ON DRAWINGS

SHEET:



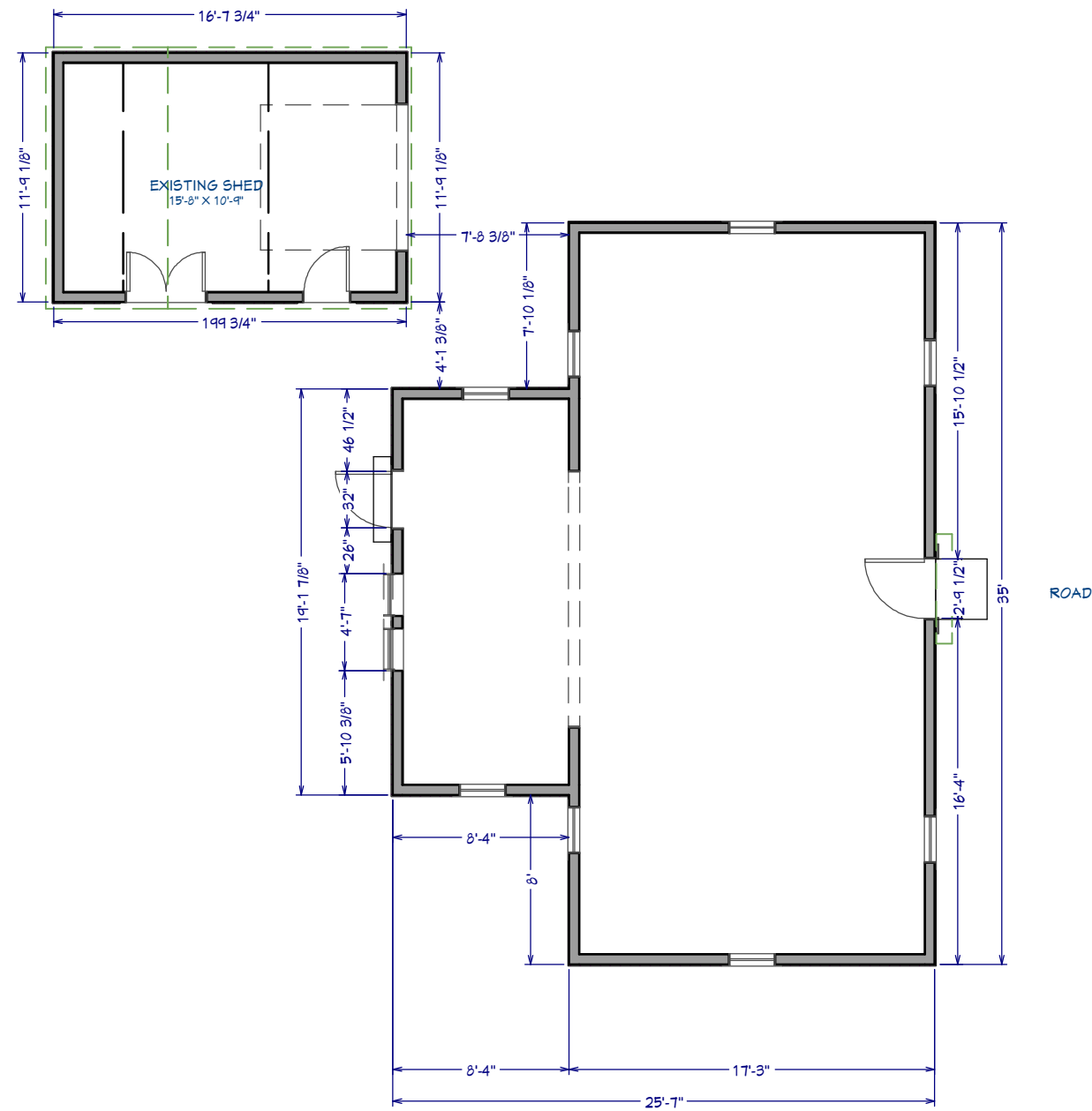
EXISTING FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



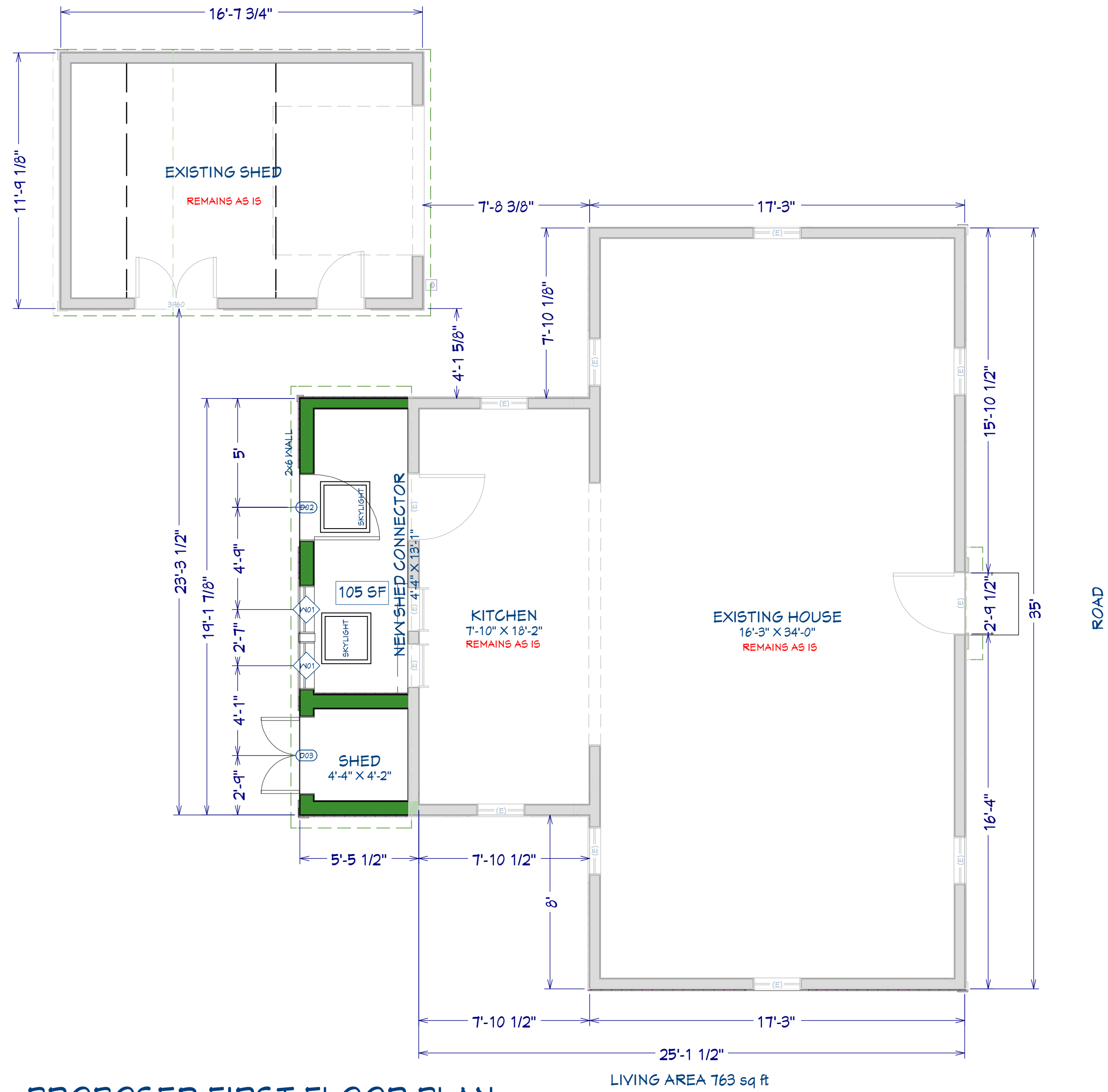
PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



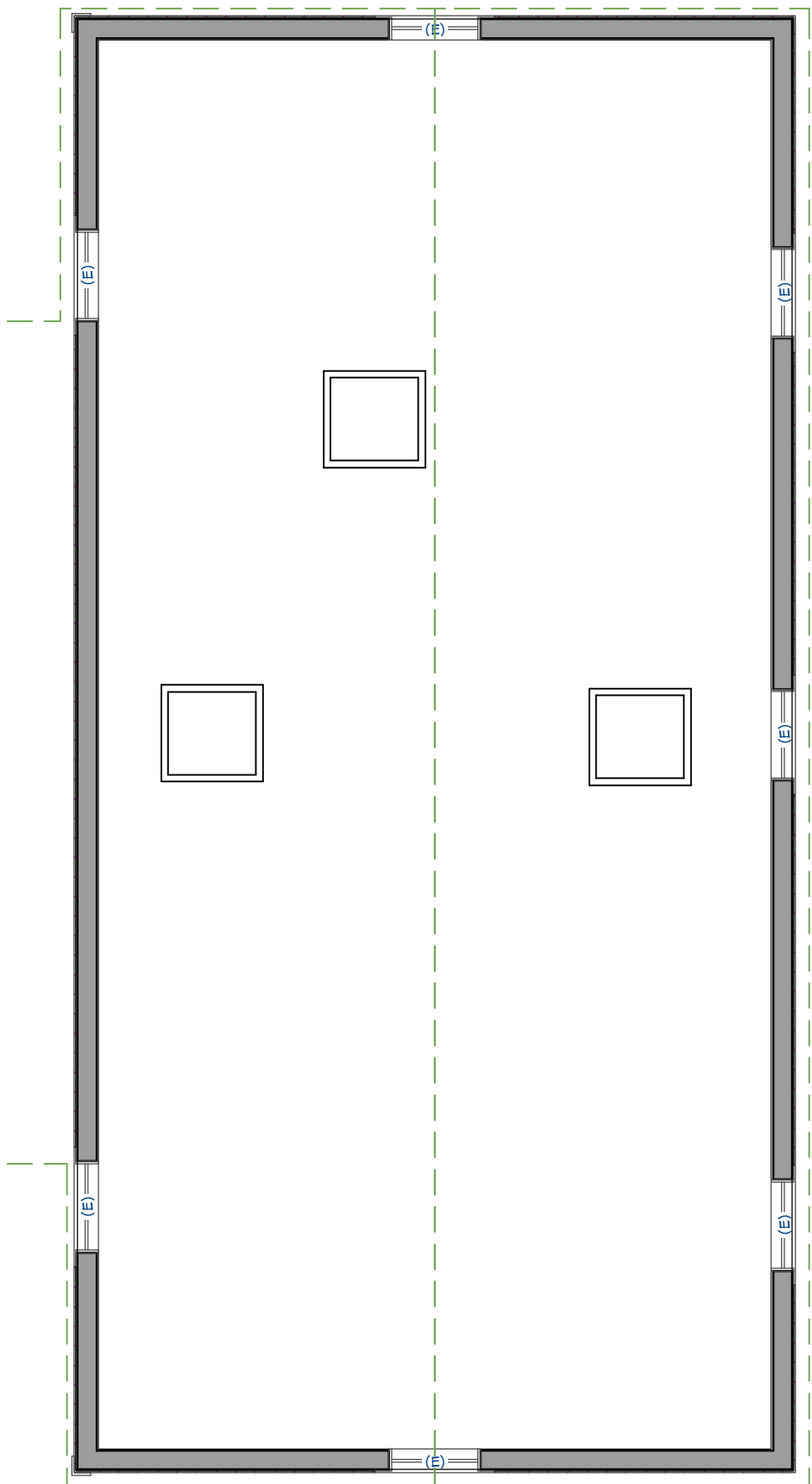
EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN REMAINS AS IS

SCALE: 1/4" = 1'-0"

WALL LEGEND

- = EXTERIOR WALL - 2x6 wood stud
- = INTERIOR WALL - 2x4 wood stud, unless noted
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL
- = NEW WALL

NOTE: 2X6 & 2X4 Wood stud, 16" oc unless otherwise noted.

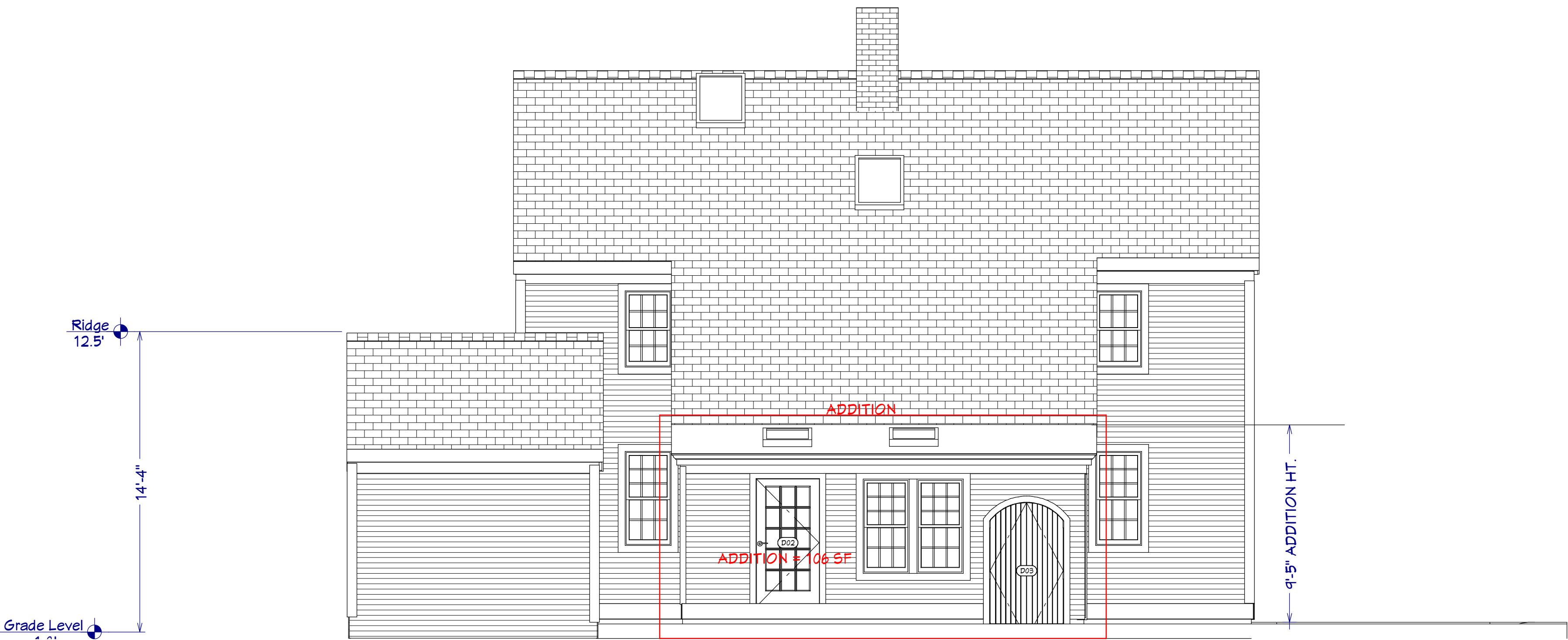
WALL LEGEND

- = NEW 8" CONCRETE FOUNDATION WALL
- = EXISTING 8" CONCRETE FOUNDATION WALL



EXISTING TO REMAIN FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS

SCALE: 1/4" = 1'-0"

EXISTING REAR VIEW



EXISTING FRONT VIEW



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"

Number	Date	Revised By	Description

ELEVATIONS

PROJECT:
NEAL MCCARTHY
28 Whidden, Portsmouth
NH 03801

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4 WALKER STREET
KITTELY, ME 04101
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SEE SCALE
ON DRAWINGS

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A-2



PROPOSED SOUTH ELEVATION | SIDE VIEW

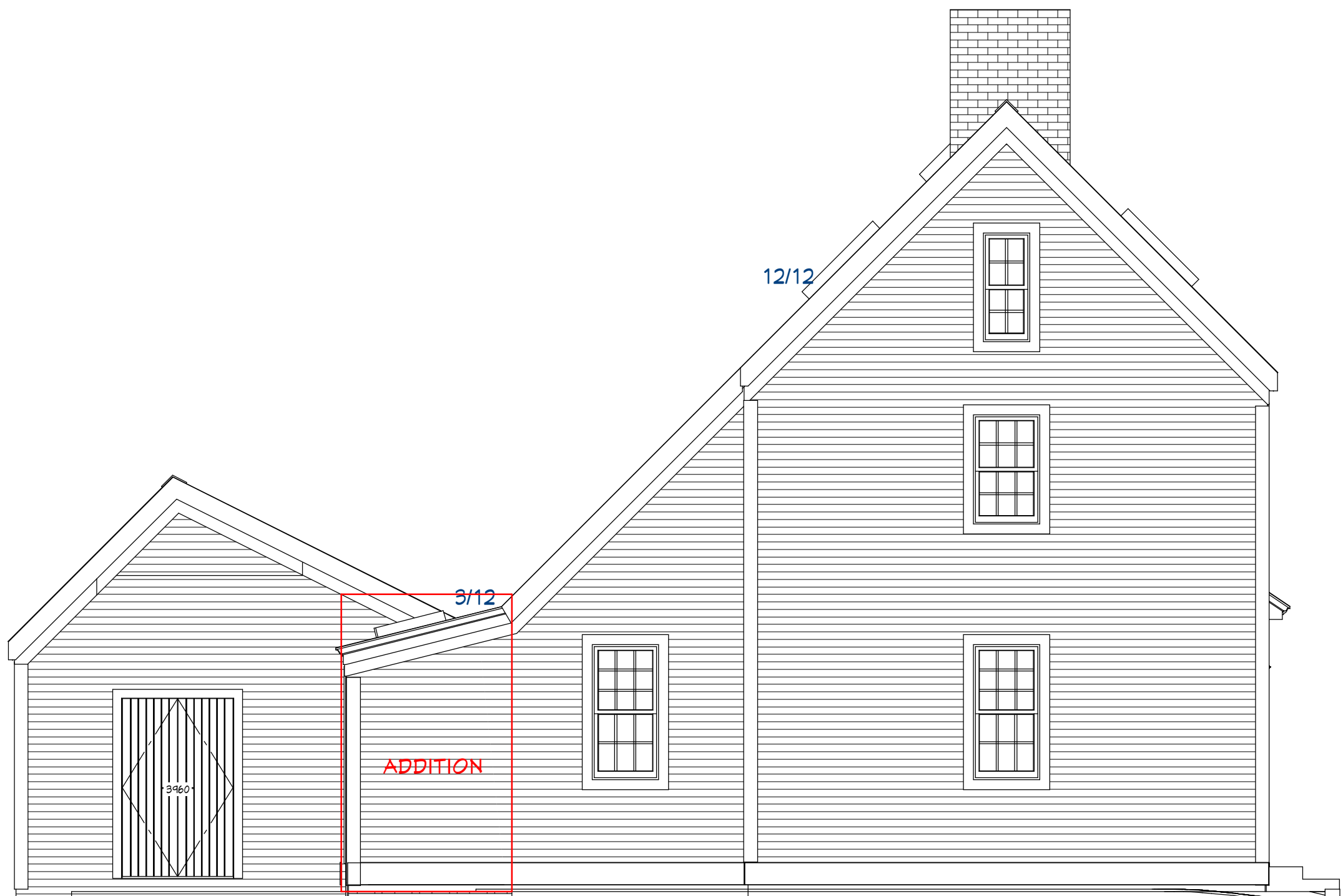
SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION | SIDE VIEW

SCALE: 1/8" = 1'-0"

EXISTING EAST VIEW



PROPOSED NORTH ELEVATION | SIDE VIEW

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION | SIDE VIEW

SCALE: 1/8" = 1'-0"

ELEVATIONS

SCALE: 1/4" = 1'-0"

Revision Table	
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ELEVATIONS

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SCALE:

SEE SCALE
ON DRAWINGS

SHEET:

A-3