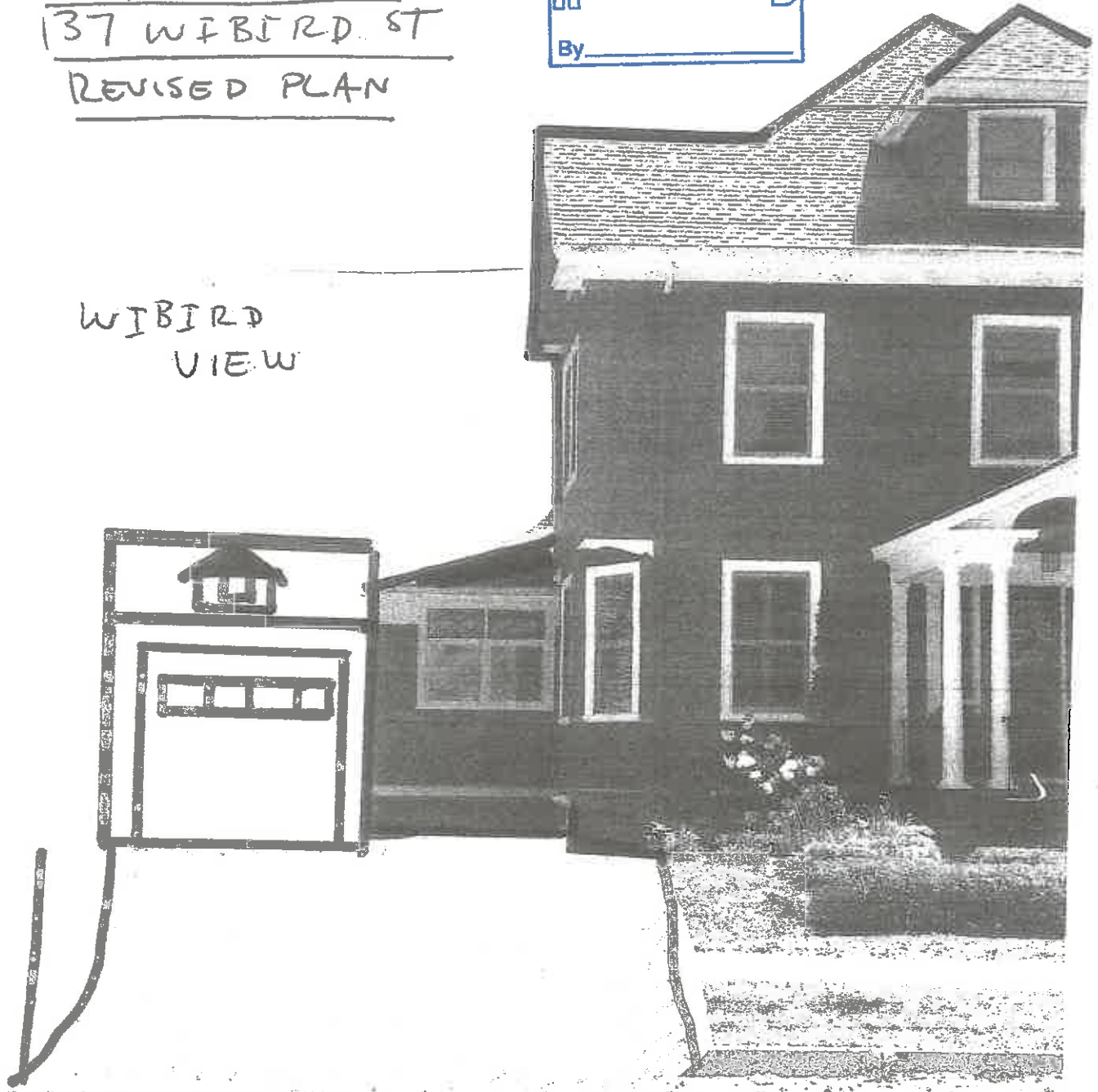


BAKER RESIDENCE
GARAGE ADDITION
137 W BIRD ST
REVISED PLAN

RECEIVED
DEC 03 2018
By _____

WIBIRD
VIEW

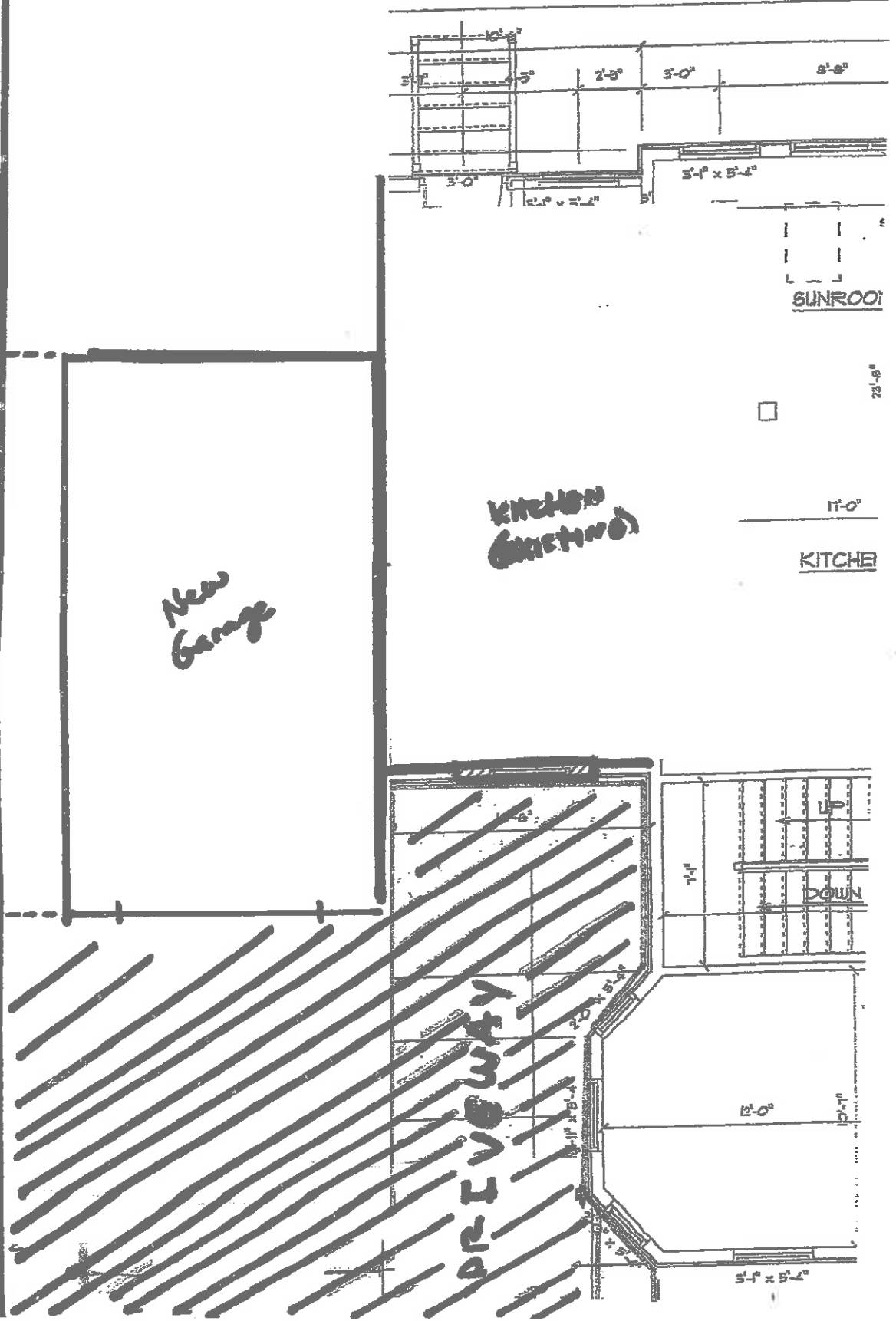


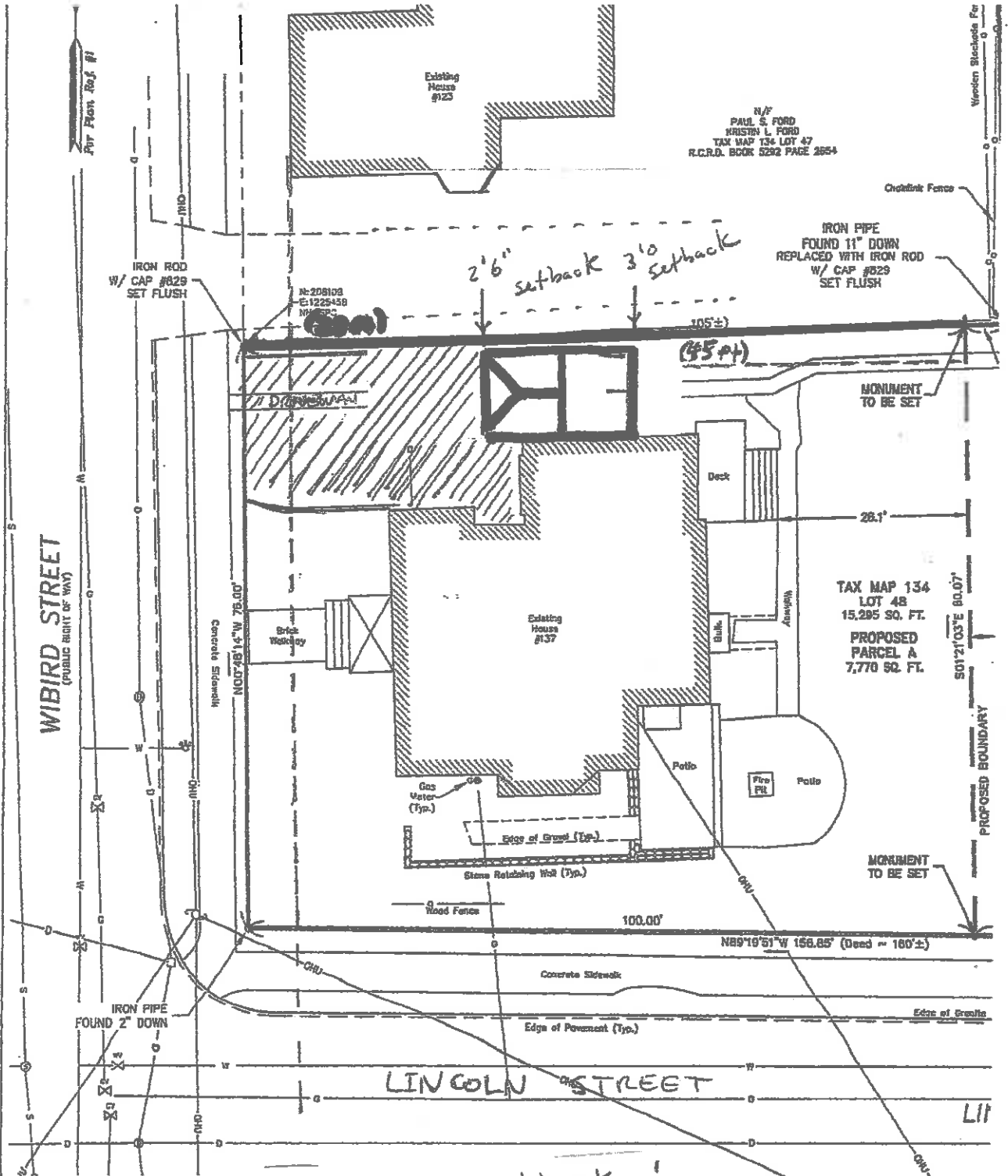
BAKER REVISED GARAGE PLAN (INCREASED SETBACK)

PROPERTY LINE 3' setback
45'

2' 6" setback

30'





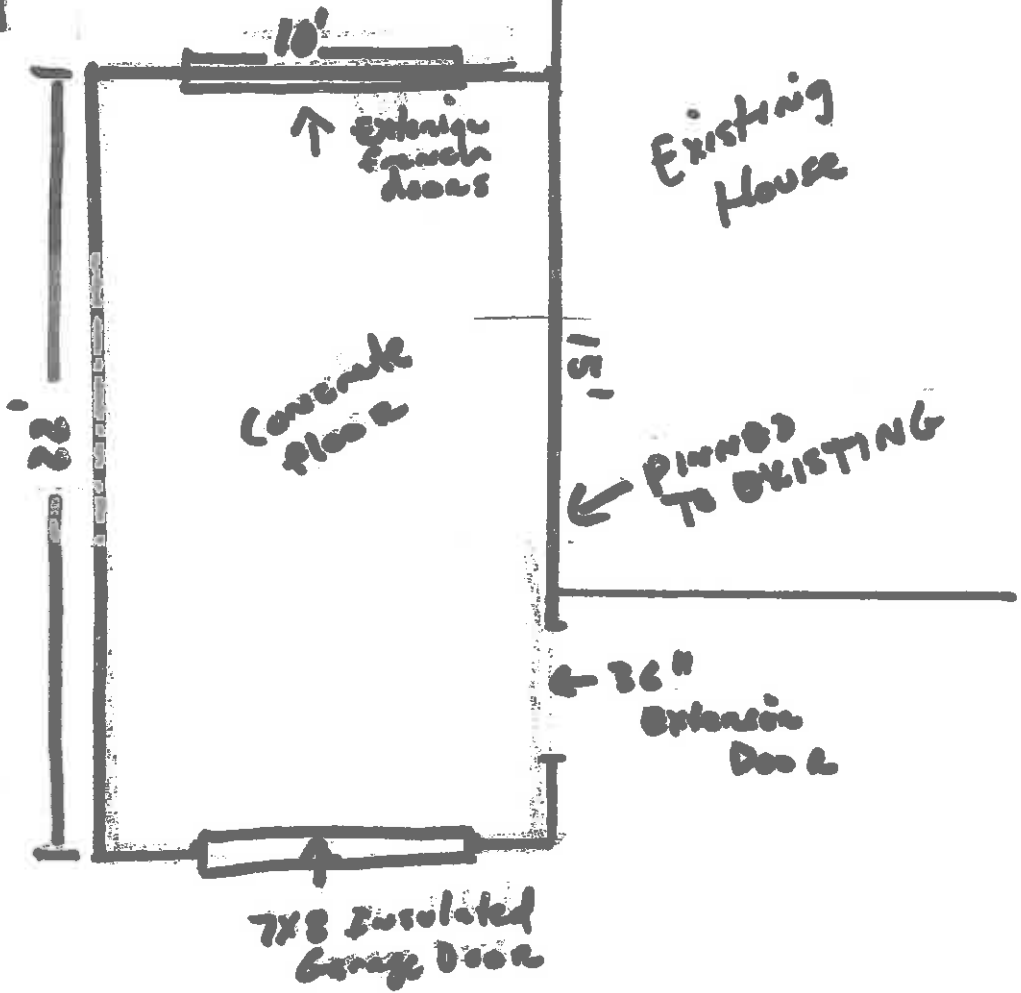
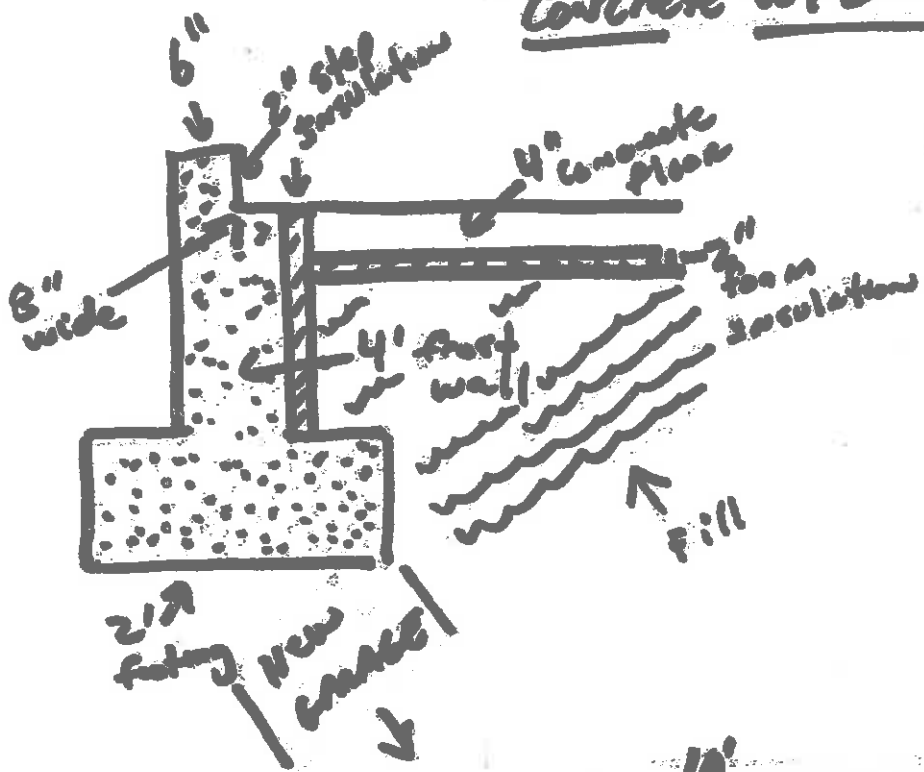
BAKER
139 WIBIRD

20ft front setback
45ft rear setback,

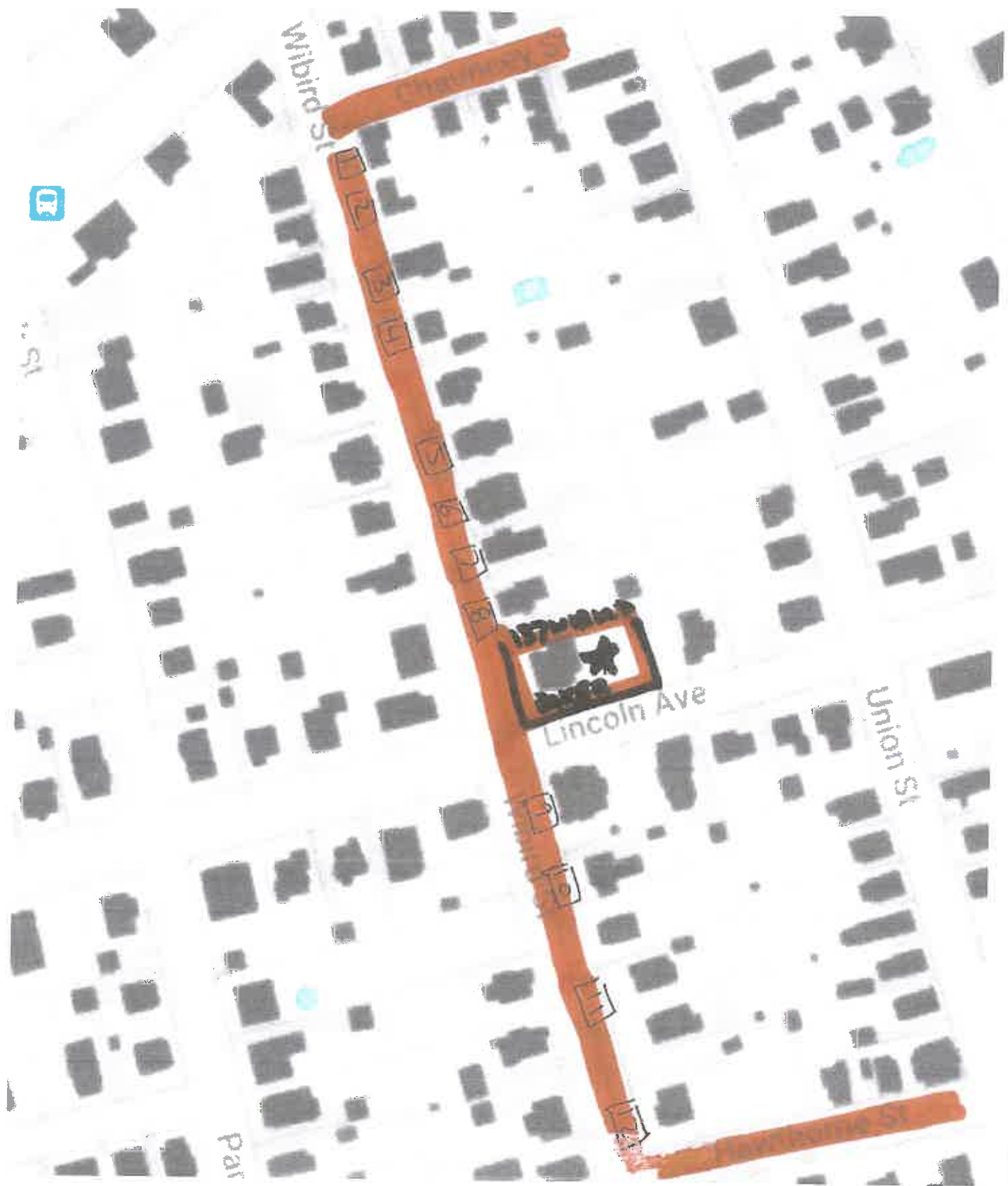
REVISED PLAN EQUALS 2' 6" setback
on the side

137
WILBIRD
STREET
BAKER

FLOOR PLAN Concrete w/ Insulation



TOTAL SQ
FT = 220

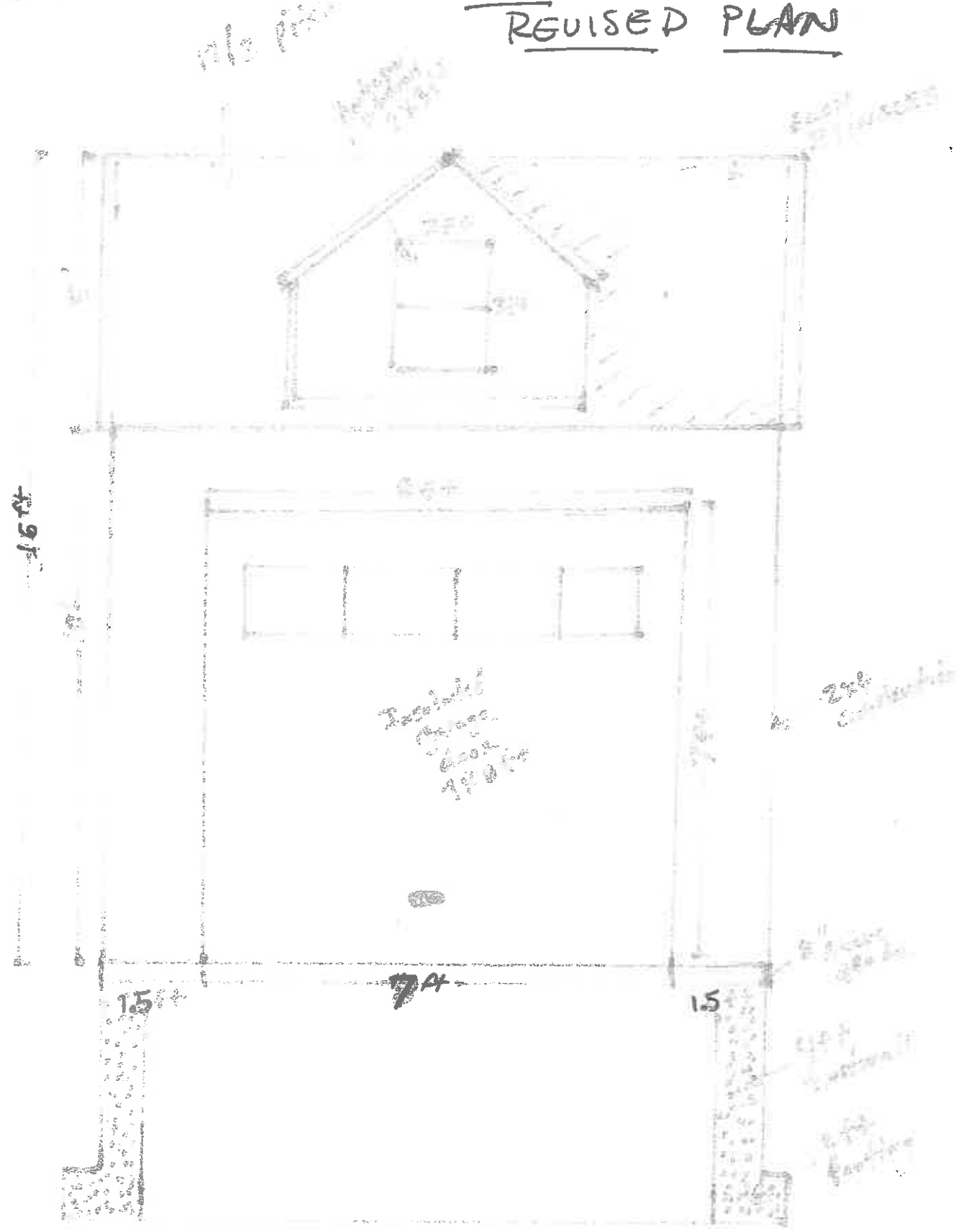


Between Chauncey and Hawthorne
75% of houses on property line

3/4" plywood on exterior
walls
2" x 4" construction walls
10" rafters
concrete walls (as shown)

WOOD
STUDS

BAKER REVISED PLAN



NORTH
SIDE

BAKER REVISED PLAN

WIBIRD →

Handwritten notes:
The proposed drawings

