



MPG homedesign, LLC.
 10 Railroad Street
 Newburyport, MA
 t- (978) 255-1515
 e- phin@mpghomedesign.com
 w- www.mpghomedesign.com

DESIGN
 (Not for Construction)

Issue Date
 Revisions 6-21-2021

Revision Date

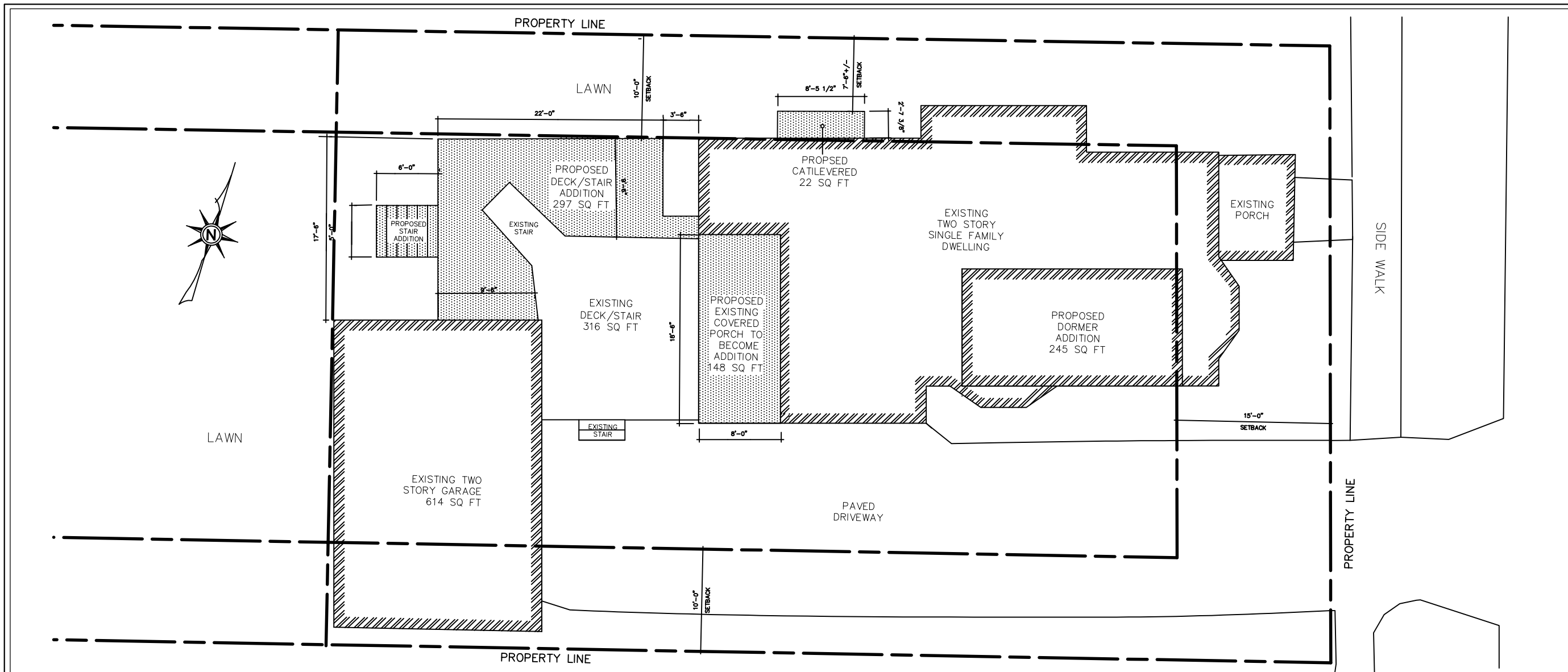
McPherson Residence
 204 WIBIRD ST
 PORTSMOUTH NH
 03801

PROPOSED ZONING PLAN & ELEVATIONS

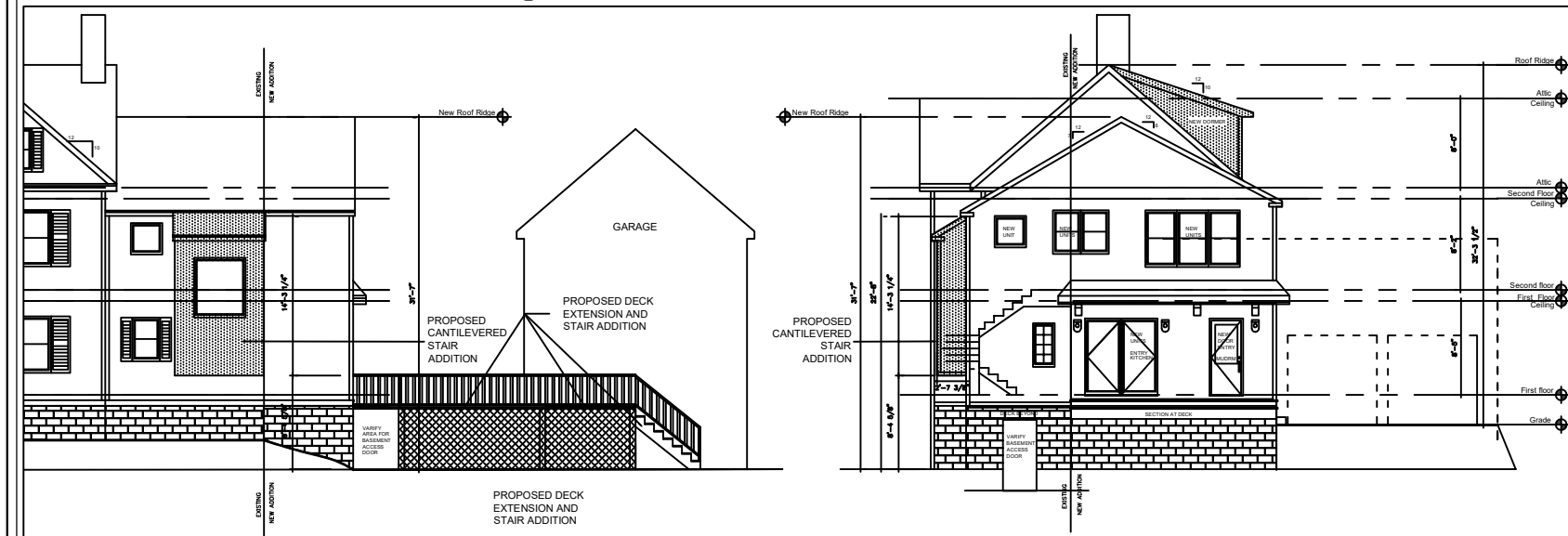
SCALE: VARIES

S1.1

Drawn by: MPG
 Project No: 0288
 June 21, 2021



1 PROPOSED PLAN
 SCALE: 1'-0" = 1/8"



2 PROPOSED ELEVATION
 SCALE: 1'-0" = 1/16"

3 PROPOSED ELEVATION
 SCALE: 1'-0" = 1/16"

ZONING

	REQUIRED:	EXISTING:	PROPOSED/NEW:
DIMENSIONAL REQUIREMENTS:			
MINIMUM LOT AREA:	7,500 S.F.	9,136 S.F.	2,492 S.F.
LOT AREA PER DWELLING:	7,500 S.F.	2,322 S.F.	S.F.
CONTINUOUS STREET FRONTAGE:	100'	60.26'	60.26'
DEPTH:	70'	151.53'	151.53'
MINIMUM YARD DIMENSIONS:			
FRONT:	15'	4.1'	NA
SIDE:	10'	1.9'	7'-6" (STAIR) 10' (DECK)
REAR:	20'	54.8'	NA (STAIR)
MAXIMUM STRUCTURE DIMENSIONS:			
STRUCTURE HEIGHT:	35'	34'	23' (STAIR) 5'-6" (DECK)
BUILDING COVERAGE:	25%	26.1%	27.3% (COMBINED)
MINIMUM OPEN SPACE:	30%	56.9%	53.6% (COMBINED)

NOTE: OWNER IS RESPONSIBLE TO COMPLY WITH THE ZONING BY-LAWS AND TO OBTAIN VARIANCES AS NEEDED.

SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MAY VARY.
 NOT INTENDED AS FINAL CONSTRUCTION DOCUMENTS - CONTRACTOR(S) TO VERIFY ALL DIMENSIONS IN THE FIELD.

Property: 204 Wibird St.

Applicant: Anne and Andrew McPherson

Description of Work: Upon approval, we would expand our kitchen out into the currently existing covered porch space. We would expand the second story of our home above the new kitchen. We would renovate the existing back stairwell to bring it up to code by creating a bump out on the right side of the home. This bump out would not extend further than an existing wall on the right side of our home. We would erect a new deck and expand this deck further into our backyard.

Variances Requested:

Section 10.521

Building Coverage – We are requesting to increase lot coverage from 26.1% to 27.3% based on an expansion of the deck on the rear of our home.

Section 10.251

Side Yard(s) Setback – We are requesting relief from the 10’ requirement for our right side yard. We are seeking to create a stair bump out with a setback of 7’6”.

Section 10.321

Expansion of existing nonconforming structure of building

Five Criteria that must be met:

1. The variance is not contrary to the public interest. • Creating a stair bump out and expanding the footprint for a deck on the rear of our home does not create any detriment to public health, safety, or welfare, or otherwise injure “public rights.”
2. The spirit of the ordinance is observed • The spirit of the ordinance is observed, and this project will not alter the character of the neighborhood.
3. Substantial Justice is done • The benefit to the applicant is not outweighed by harm to the general public as the general public is not harmed.

4. The values of surrounding properties are not diminished • This project will not diminish the value of surrounding properties.

5. Literal enforcement of the ordinance would result in unnecessary hardship • Literal enforcement of the ordinance would require removal of the back stairwell, which is an important feature of our home. • The side yard setbacks were created after the completion of our home estimated to be in 1890. It would be impossible for us to improve the existing deck and access our home without relief.

Additional Comments:

We are excited at the possibility of renovating our home in a way that preserves its character. Creating a bump out will allow us to maintain the back stairwell of our home while making the stairwell safer and more accessible to our young family. Since we are seeking to expand our existing kitchen into the currently existing covered deck, we would like to expand our deck footprint out against the side of the carriage house and further into our large backyard. We truly enjoy spending time outdoors and would like to continue to have sufficient area to spend time off our kitchen, particularly in the Spring, Summer and Fall seasons.

Existing Back Stairwell (Steep/Not to code)





Right Side of House - View from Wibird St.



Right Side of House with Proposed Bump out Area from view of right side neighbor





Backyard view from Deck



Backyard view from Fence Gate

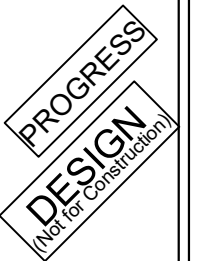


Deck View from Backyard









Issue	Date
Design	5-25-2021
Revision	6-24-2021
Revision	Date

McPherson Residence
 204 WIBIRD ST
 PORTSMOUTH NH
 03801

COVER

SCALE: NTS

0.0
 Drawn by: MPG
 Project No: 0288
 May 25, 2021

Drawing List

- 0.0 Cover
- EC S1.0 Survey Site Plan
- EC S1.1 Existing Site and Roof Plan
- EC 1.0 Existing Conditions Basement/FoundationPlan Not included in set
- EC 1.1 Existing Conditions First Floor Plan
- EC 1.2 Existing Conditions Second Floor Plan
- EC 1.3 Existing Conditions Third Floor Attic Plan
- EC 2.0 Existing Conditions North Exterior Elevation
- EC 2.1 Existing Conditions East Exterior Elevation
- EC 2.2 Existing Conditions South Exterior Elevation
- D1.0 Demolition Plans Not included in set
- S1.1 Site and Roof Plan
- A1.1 First Floor Plan
- A1.2 Second Floor Plan
- A1.3 Third Floor Attic Plan
- A2.1 North Exterior Elevation
- A2.2 East Exterior Elevation
- A2.3 South Exterior Elevation
- A3.0 Building Sections Not included in set
- A4.0 Wall Sections Not included in set
- A5.0 Exterior details Not included in set
- A6.1 First Floor Kitchen Interior Elevations Not included in set
- A6.2 Second Floor Master Suite Interior Elevations Not included in set
- A6.3 First Floor Kitchen Interior 3D Views Pending Updates
- A6.4 Second Floor Master Suite Interior 3D Views Pending Updates
- A7.1 Interior Kitchen Cabinetry Plan Details Not included in set
- A7.2 Interior Cabinetry Plan Details Not included in set
- A8.0 Schedules: Window & Door, Lighting & Plumbing Fixtures Finishes Not included in set
- E1.1 Electrical Plans Not included in set
- F1.1 First Floor Framing Plan Not included in set
- F1.2 Second Floor Framing Plan Not included in set
- F1.3 Roof Framing Plan Not included in set



**McPherson
 Additions & Renovation
 to Existing Home at
 204 Wibird Street
 Portsmouth, New Hampshire
 03801**

**Design Set
 May 25, 2021**

Legend

	EXISTING CONSTRUCTION TO REMAIN
	NEW CONSTRUCTION
	EXISTING MASONRY CONSTRUCTION
	DEMOLITION WALLS
EX. HW	EXISTING HARDWOOD
HW	HARDWOOD
C.T.	CERAMIC TILE

NOTES:
 ALL DIMENSIONS ARE TO FINISH SURFACES EXCEPT WHERE OTHERWISE INDICATED.

Locus Map



Zoning

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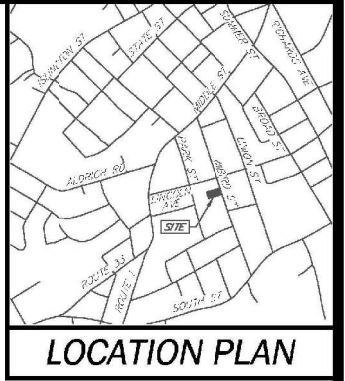


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- MAP 137 LOT 11
A.G.
T.G.
S.K. PG.
FI
LV
EP
GM
N/T
RCRD
S.W.
SK
VCC
[RE]
[CR]
[CD]
[CC]
[CP]
[CA]

LEGEND:
ASSESSORS MAP AND LOT NUMBER
ABOVE GRADE
BELOW GRADE
ROCK / PAVE
FLY TYPON
LLS/C/C MIL LE
EDGE OF PAVEMENT
GAS METER
NOW OR FORMERLY
ROCKHAM COUNTY REGISTRY OF DEEDS
SQUARE 'L'
SEWER MANHOLE
TEMPORARY BENCH-MARK
VERTICAL GRANITE CURB
IRON PIPE/ROD FOUND
LETTERING WITH CHIT
CHAIN MANICLL

- CATCH BASIN POST
CONCRETE TRIT
DRAINAGE TRIT
SEWER MANHOLE
WATER SHUT OFF
OVERHEAD WIRE
C/A JUNK LINDL
STORAGE FENCE
ROCKHAM INE
SE BACK LINE
EXISTING CONTOUR
CONCRETE
PAVEMENT
WOODEN DECK
LANDSCAPED AREA

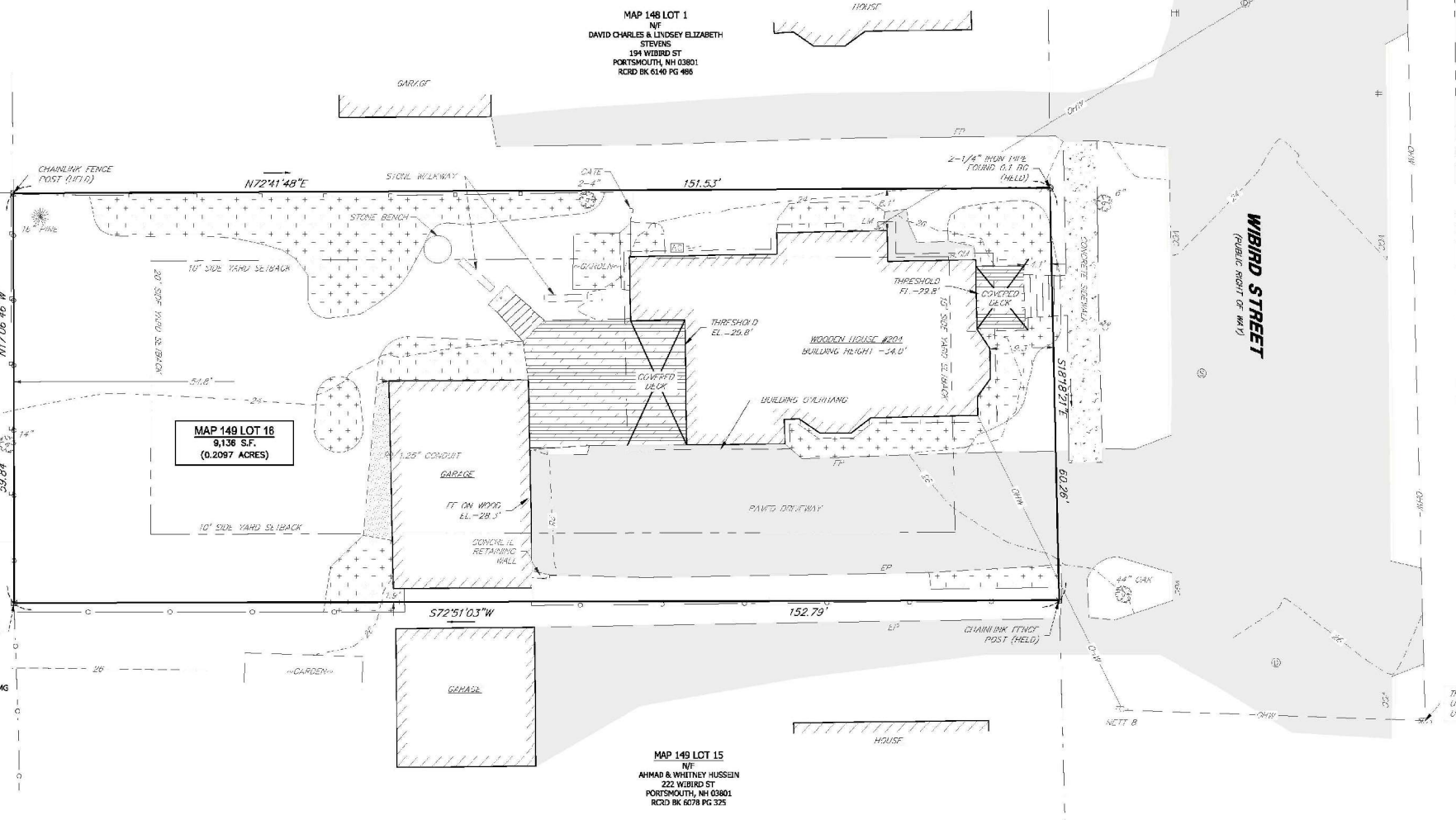


NOTES:

- 1. THE PARCEL IS LOCATED IN THE GENERAL RESIDENTIAL A (GRA) ZONING DISTRICT.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 149 AS LOT 16.
3. THE PARCEL IS LOCATED IN ZONE 'X', AREA OF MINIMAL FLOOD HAZARD, AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 3301SC0259E, WITH AN EFFECTIVE DATE OF MAY 17, 2006.
4. DIMENSIONAL REQUIREMENTS:
MINIMUM LOT AREA: 7500 S.F.
LOT AREA PER DWELLING: 7500 S.F.
CONTINUOUS STREET FRONTAGE: 100'
DEPTH: 73'
MINIMUM YARD DIMENSIONS:
FRONT: 15'
SIDE: 10'
REAR: 23'
MAXIMUM STRUCTURE DIMENSIONS:
STRUCTURE HEIGHT: 35'
BUILDING COVERAGE: 25%
MINIMUM OPEN SPACE: 33%
5. OWNER OF RECORD:
MAP 149 LOT 16:
ANNE & ANDREW MCPHERSON
204 WIBIRD STREET
PORTSMOUTH, NH 03801
RCRD BK #6005 PG.#2986
6. PARCEL AREA:
MAP 149 LOT 16:
9,136 S.F.
(0.2097 ACRES)
7. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
8. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES, TOPOGRAPHY AND CURRENT SITE CONDITIONS OF MAP 149 LOT 16.
9. FIELD SURVEY COMPLETED BY EJS & MWP ON JULY 14, 2020 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
10. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS. THE VERTICAL DATUM IS NAVD88 PER STATIC GPS OBSERVATIONS. THE CONTOUR INTERVAL IS 2 FEET.
11. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
12. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFM, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.

PLAN REFERENCES:

- 1. "ESTATE OF CHARLES H. MENDUM" BY WILLIAM A. GROVER DATED DECEMBER, 1906. RCRD PLAN #0169.
2. "LOT LINE ADJUSTMENT AND MERGER PLAN FOR TRUSTEE OF THE JANE A. SHANNON REV. TRUST TAX MAP 148, LOTS 1, 1-1" BY ROSS ENGINEERING WITH REVISION B DATED JUNE 12, 2015. RCRD PLAN #0-38608.



TAX MAP 149 LOT 16
EXISTING CONDITIONS PLAN
204 WIBIRD STREET
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
OWNED BY
ANNE & ANDREW MCPHERSON
SCALE: 1" = 10' (22x34)
1" = 20' (11x17)
OCTOBER 6, 2020

Seacoast Division TFM logo and contact information table with project number 47403-00 and sheet number S-1.

FOR REVIEW

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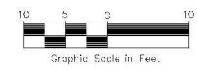


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Oct 06, 2020 - 02:17 PM
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McPherson - 204 Wibir Street Survey\Drawings\47403-00 Survey.dwg

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 678:15, II, III AND IV AND 672:14:
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN JULY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.
FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

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Revision Date table with empty header

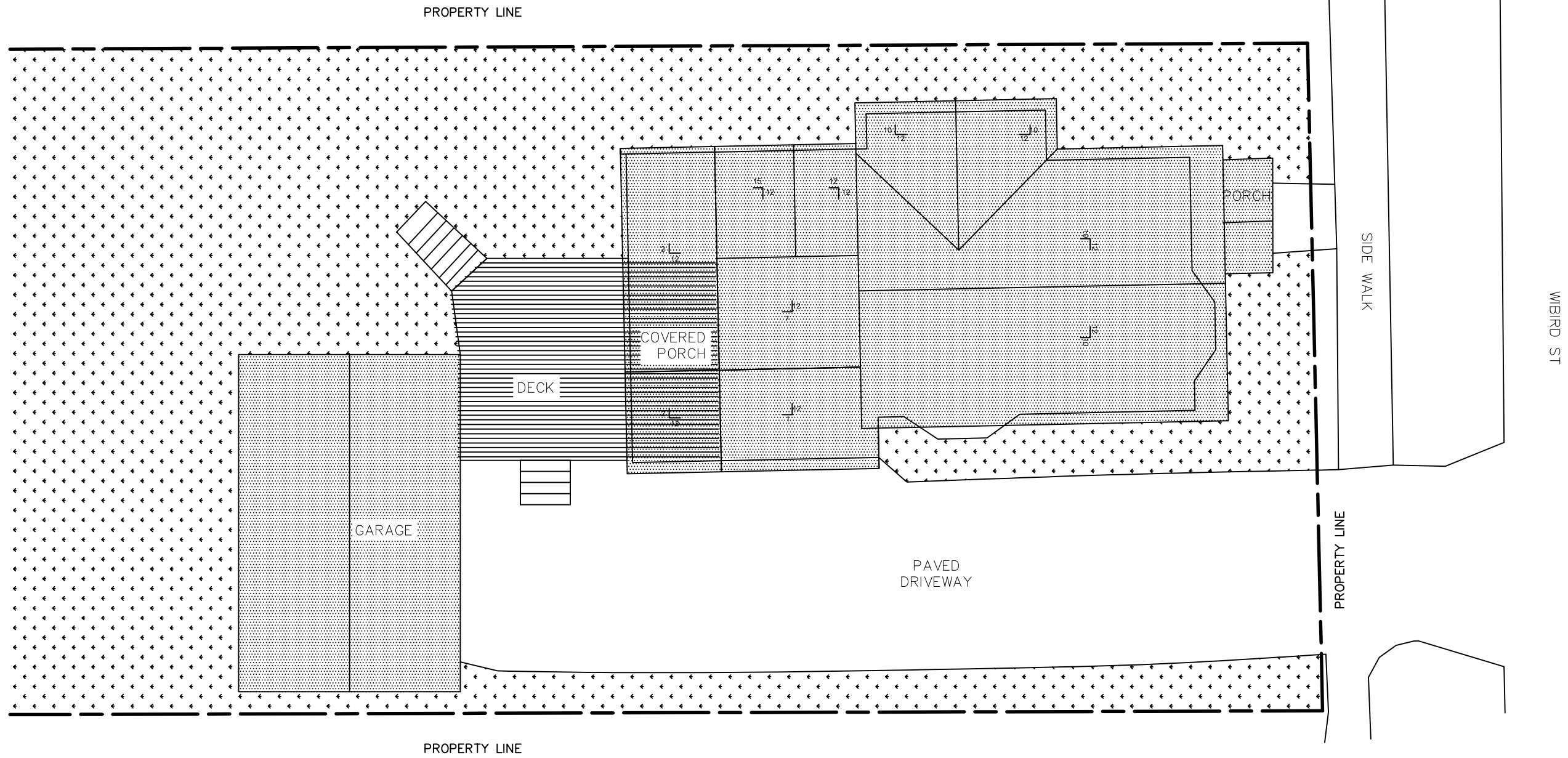
McPherson Residence
204 WIBIRD ST
PORTSMOUTH NH
03801

EXISTING SITE PLAN

SCALE: SCALED TO FIT

EC-S1.0

Drawn by: TFM
Project No: 0288
May 25, 2021



1 EXISTING CONDITIONS SITE PLAN
SCALE: 1'-0" = 3/32"



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McPherson Residence
204 WIBIRD ST
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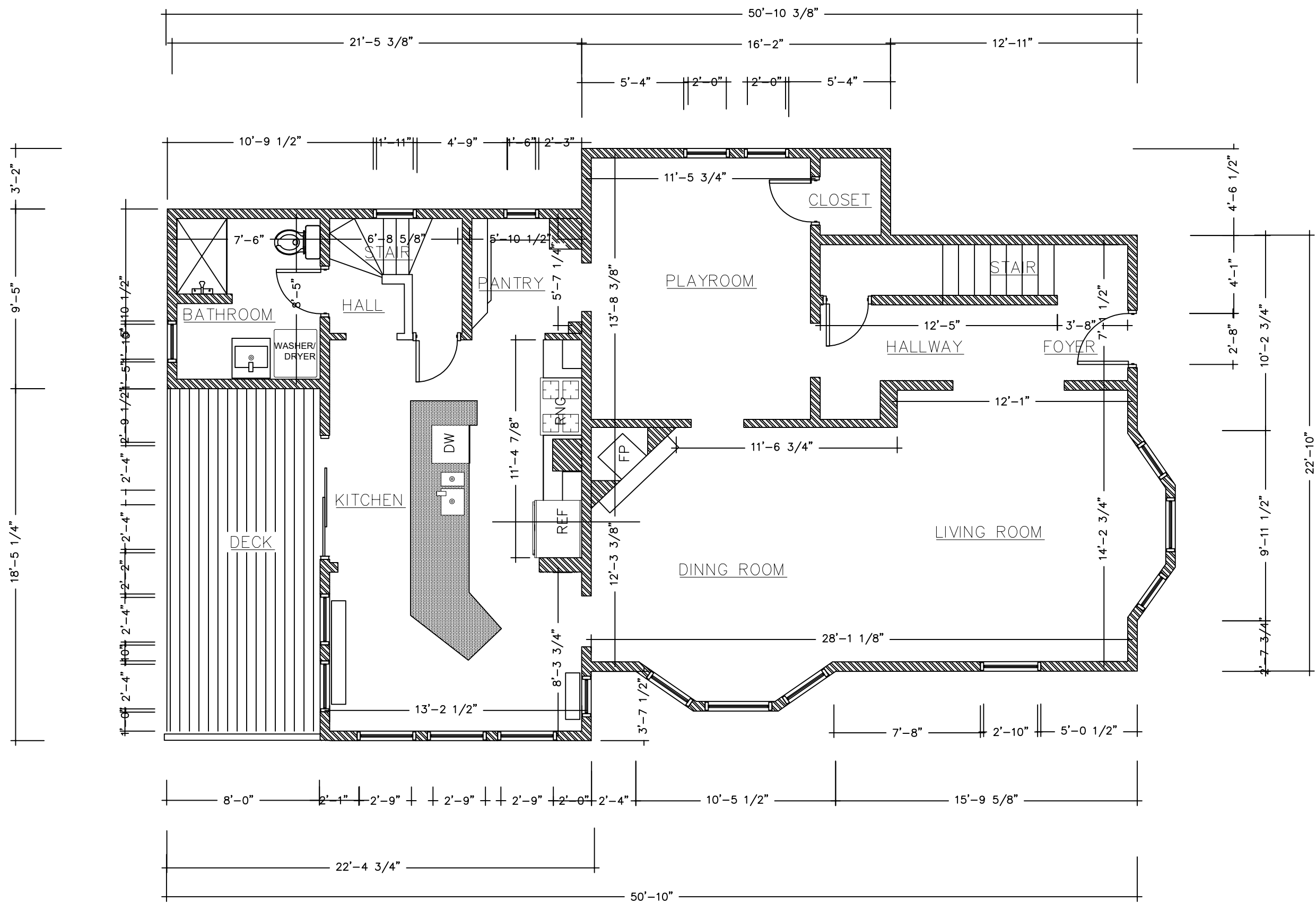
EXISTING SITE PLAN

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EC-S1.1
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1 EXISTING CONDITIONS FIRST FLOOR PLAN
 SCALE: 1'-0" = 3/16"

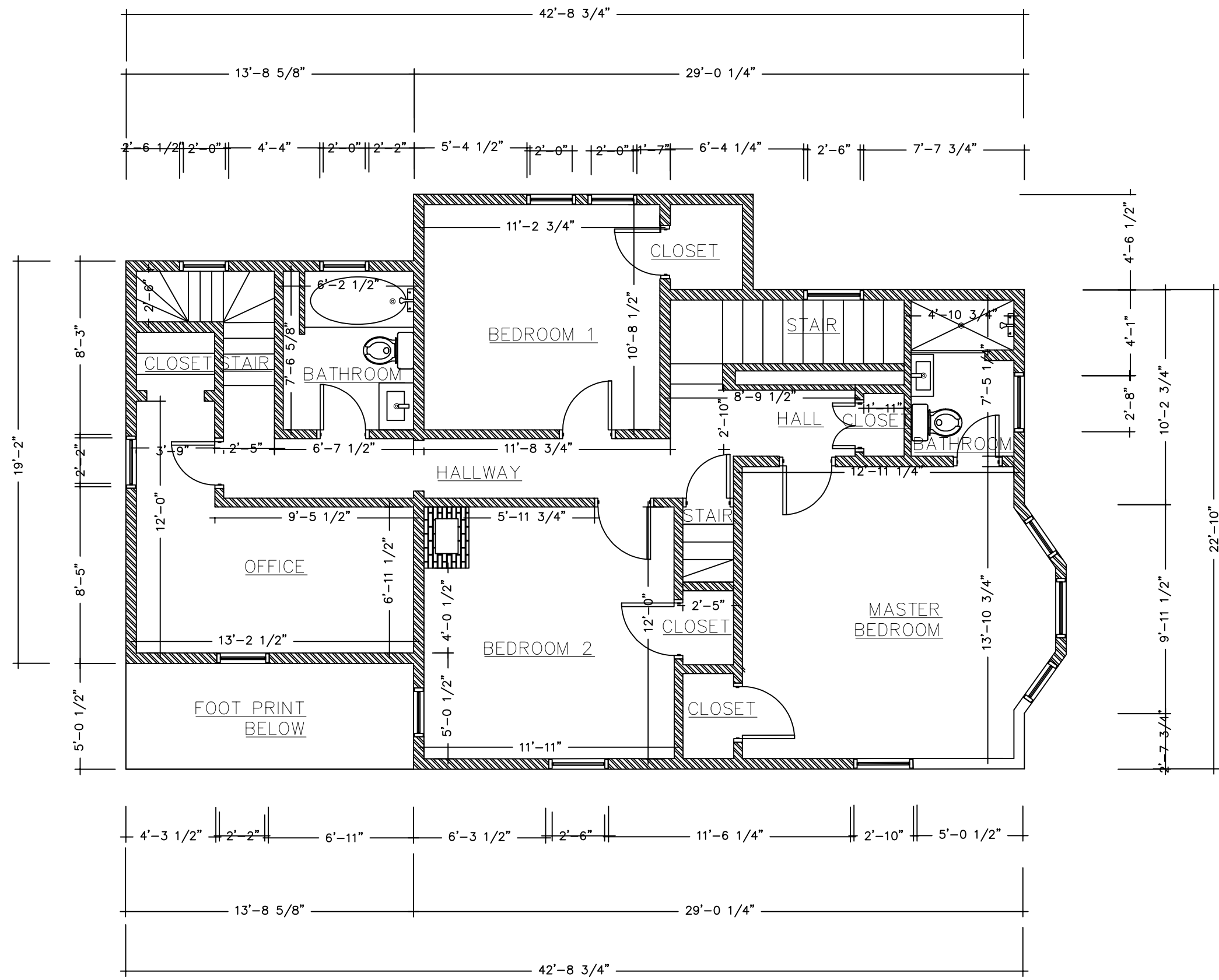
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McPherson Residence
 204 WIBIRD ST
 PORTSMOUTH NH
 03801

EXISTING FIRST FLOOR PLAN

SCALE: 1'-0" = 3/16"

EC-1.1
 Drawn by: MPG
 Project No: 0288
 May 25, 2021



1 EXISTING CONDITIONS SECOND FLOOR PLAN
SCALE: 1'-0" = 3/16"



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McPherson Residence
204 WIBIRD ST
PORTSMOUTH NH
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EXISTING SECOND FLOOR PLAN

SCALE: 1'-0" = 3/16"

EC-1.2

Drawn by: MPG
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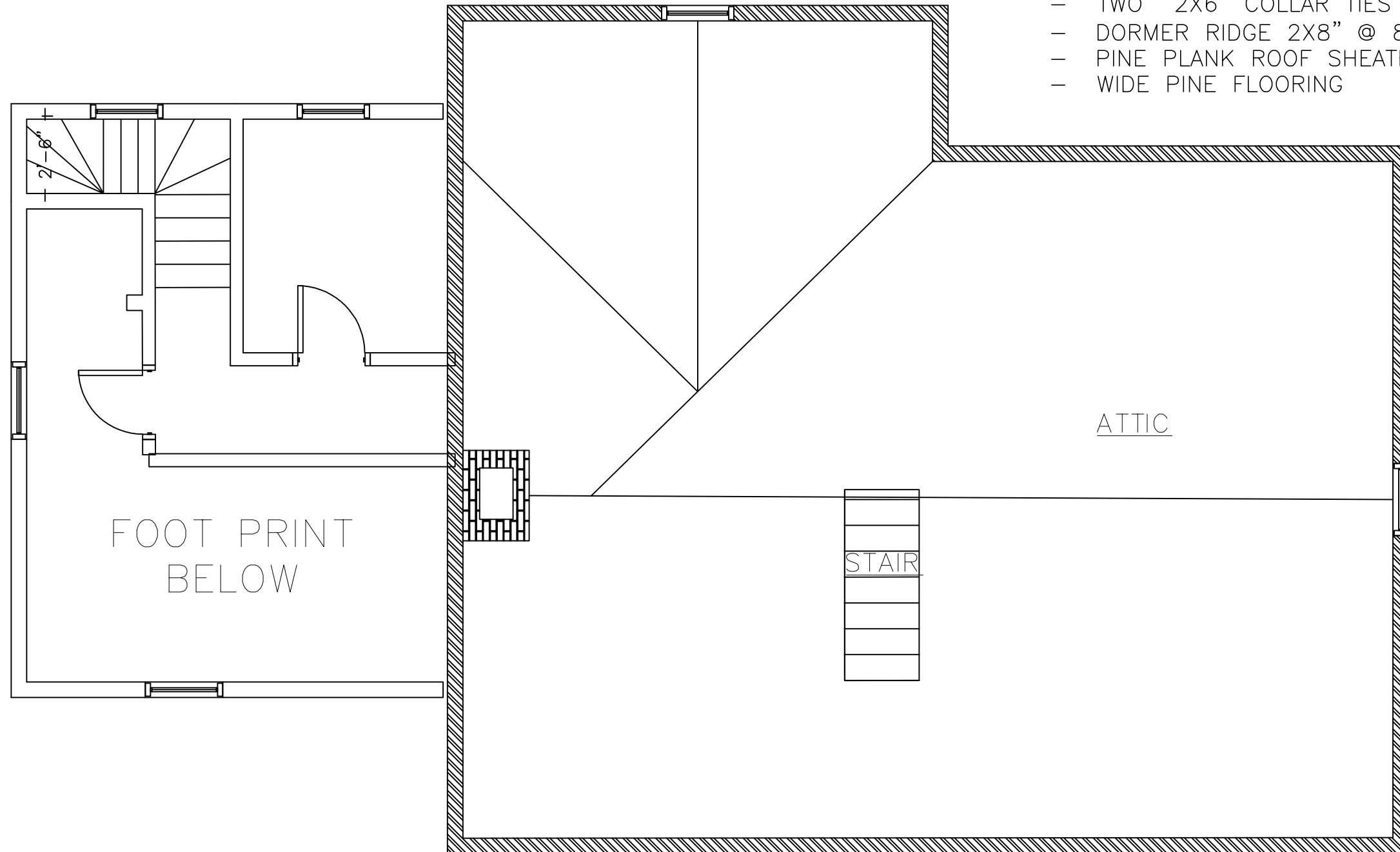
McPerhson Residence
 204 WIBIRD ST
 PORTSMOUTH NH
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EXISTING
 THIRD FLOOR
 PLAN

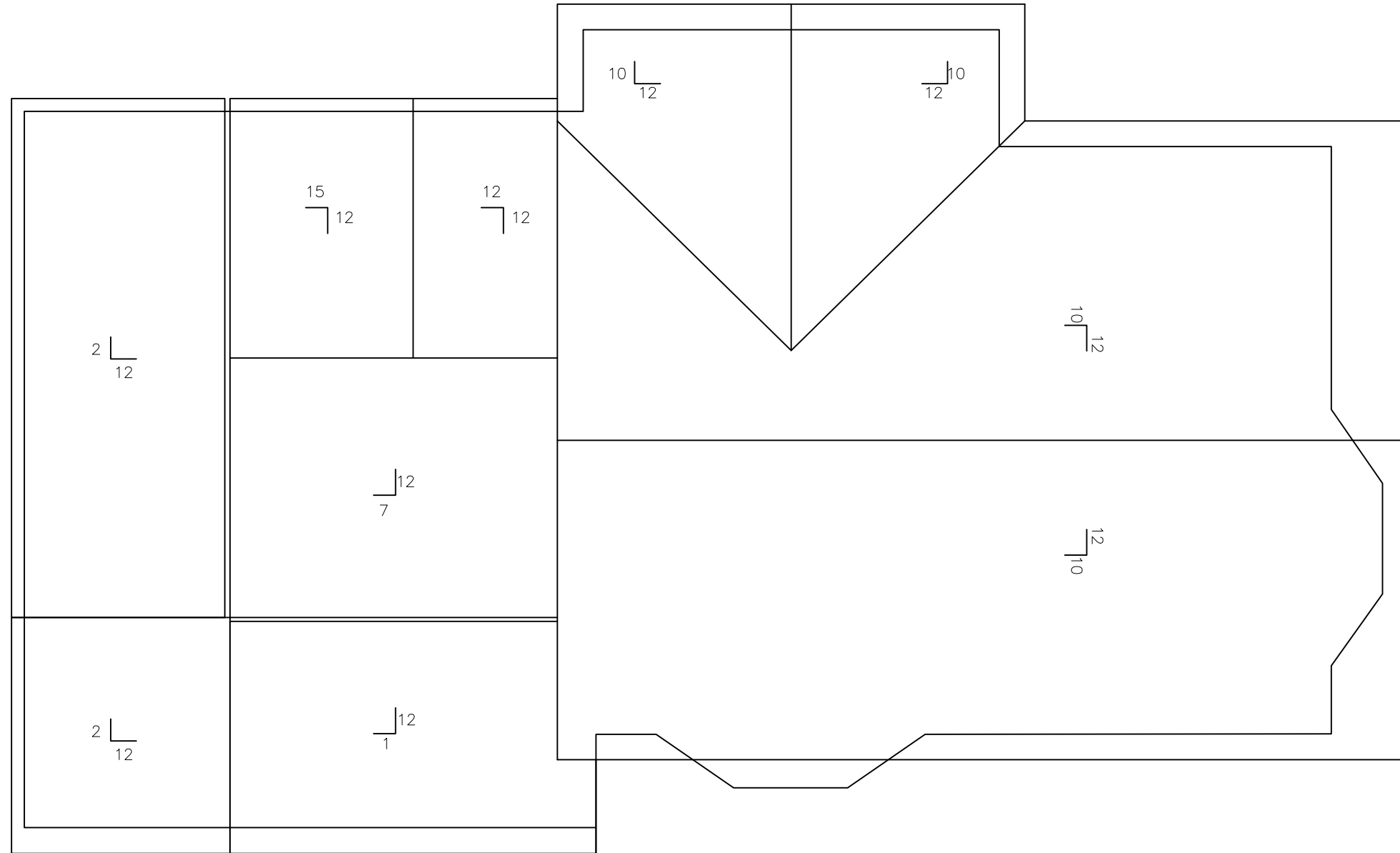
SCALE: 1'-0" = 1/4"

EC-1.3
 Drawn by: MPG
 Project No: 0288
 May 25, 2021

- NOTE
- TRUE 2X8" RIDGE AT 124" HEIGHT
 - TRUE 2X6" RAFTERS 24" OC
 - TWO 2X6" COLLAR TIES
 - DORMER RIDGE 2X8" @ 88" HEIGHT
 - PINE PLANK ROOF SHEATHING
 - WIDE PINE FLOORING



1 EXISTING CONDITIONS ATTIC FLOOR PLAN
 SCALE: 1'-0" = 1/4"



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McPherson
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EXISTING
 ROOF
 PLAN

SCALE: 1'-0" = 3/16"

EC-1.4

Drawn by: MPG
 Project No: 0288
 May 25, 2021

1 EXISTING CONDITIONS ROOF PLAN
 SCALE: 1'-0" = 3/16"



Issue	Date
EC	3-1-2021

Revision	Date

McPherson Residence
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PORTSMOUTH NH
03801

EXISTING
NORTH
ELEVATION

SCALE: 1'-0" = 1/8"

EC-2.1

Drawn by: MPG
Project No: 0288
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1 EXISTING CONDITIONS EAST ELEVATION
SCALE: 1'-0" = 1/8"



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1 EXISTING CONDITIONS NORTH ELEVATION
 SCALE: 1'-0" = 1/8"

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McPherson Residence
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EXISTING SOUTH ELEVATION

SCALE: 1'-0" = 1/8"

EC-2.2
 Drawn by: MPG
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1 EXISTING CONDITIONS SOUTH ELEVATION
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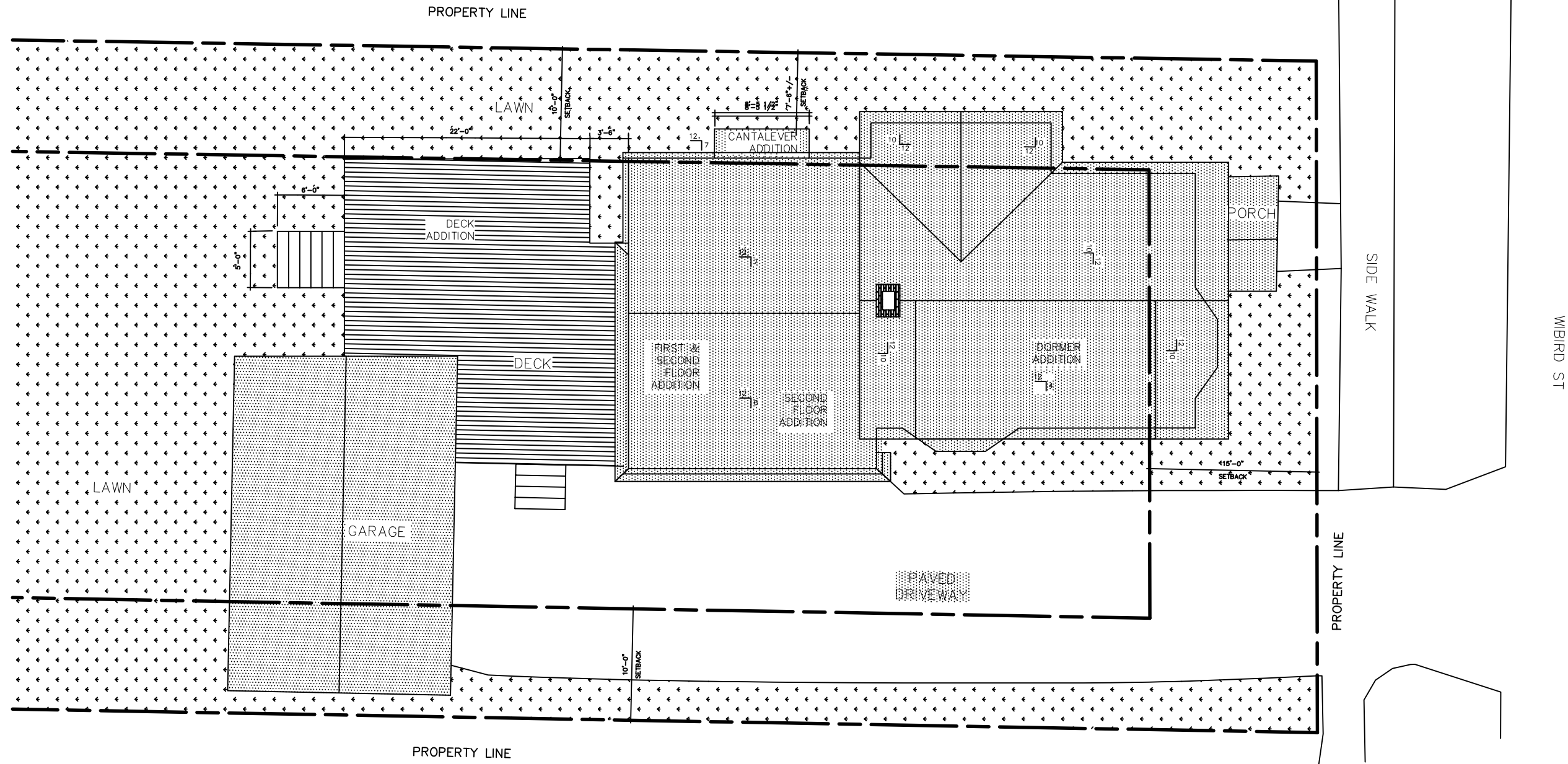
McPherson Residence
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EXISTING WEST ELEVATION

SCALE: 1'-0" = 1/8"

EC-2.3

Drawn by: MPG
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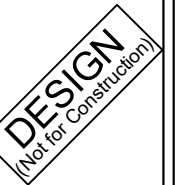


1 PROPOSED SITE PLAN
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PROPOSED
SITE PLAN

SCALE: 1'-0" = 3/32"

S1.1
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Revisions	5-19-2021
Revisions	5-25-2021
Revisions	6-24-2021

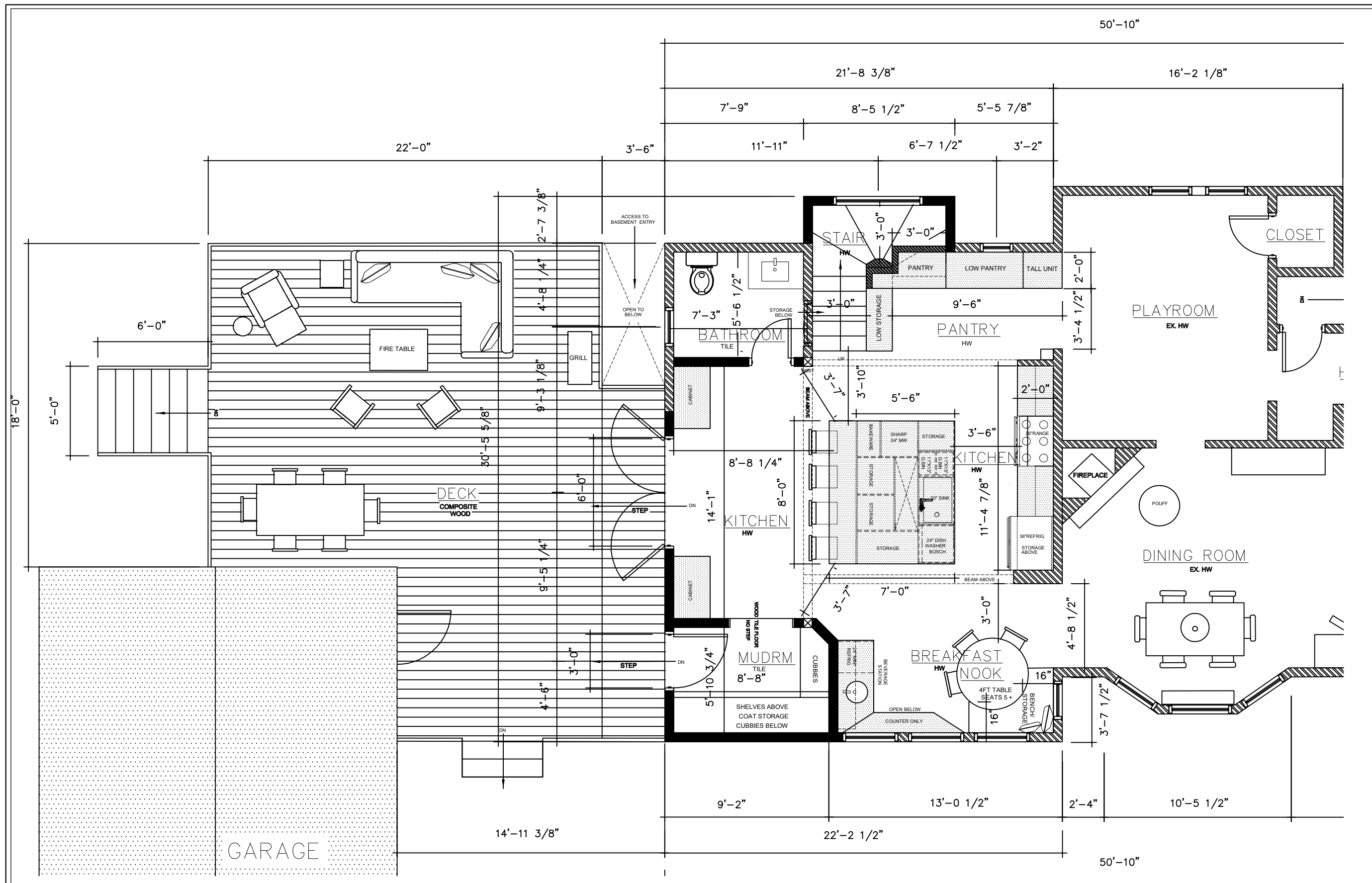
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McPherson Residence
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PROPOSED FIRST FLOOR PLAN

SCALE: 1'-0" = 3/16"

A1.1
 Drawn by: MPG
 Project No: 0288
 May 25, 2021



○ PROPOSED FIRST FLOOR PLAN
 SCALE: 1'-0" = 3/16"

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Revisions	5-25-2021

Revision	Date
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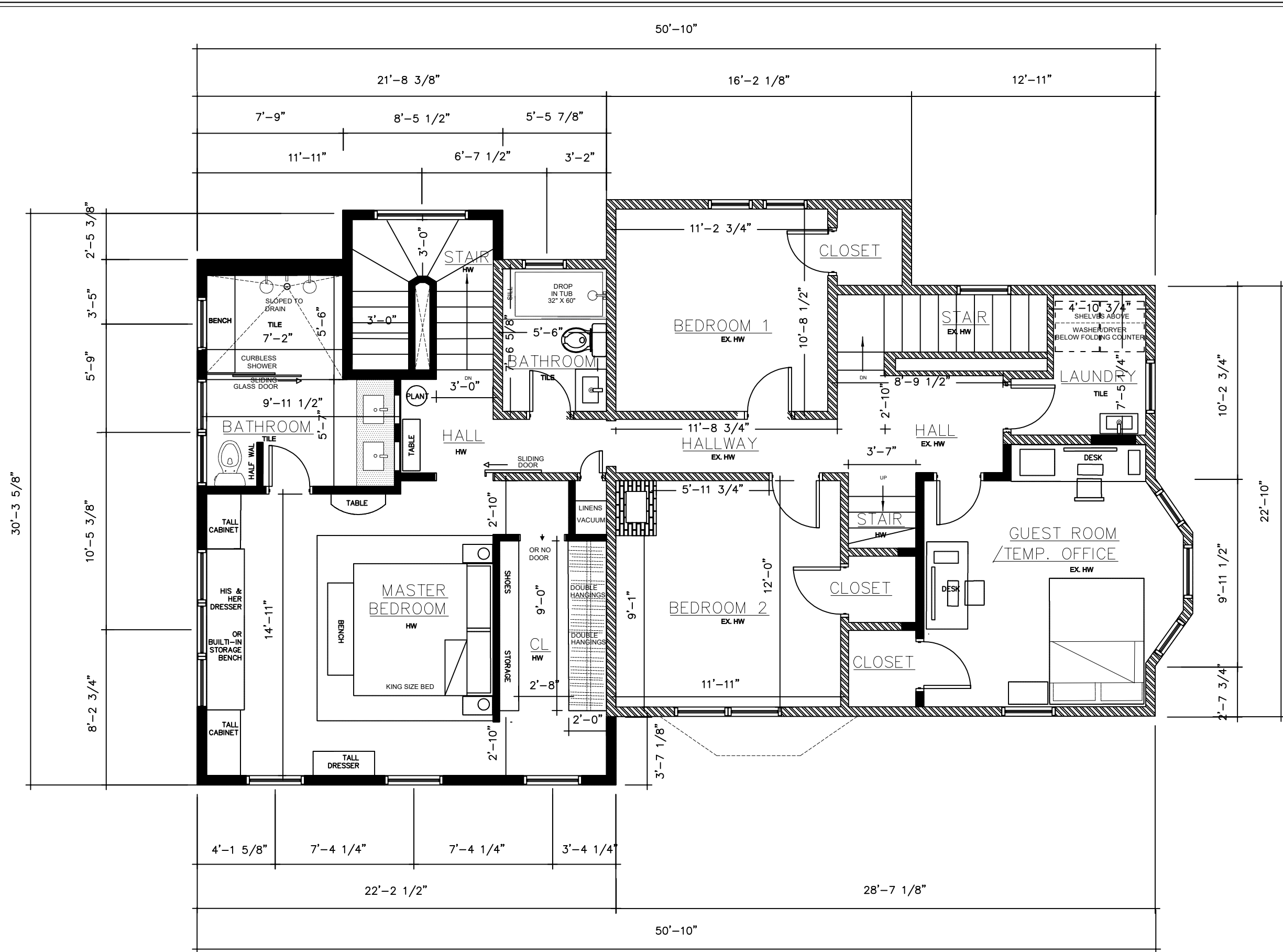
McPherson Residence
204 WIBIRD ST
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PROPOSED
SECOND FLOOR
PLAN

SCALE: 1'-0" = 3/16"

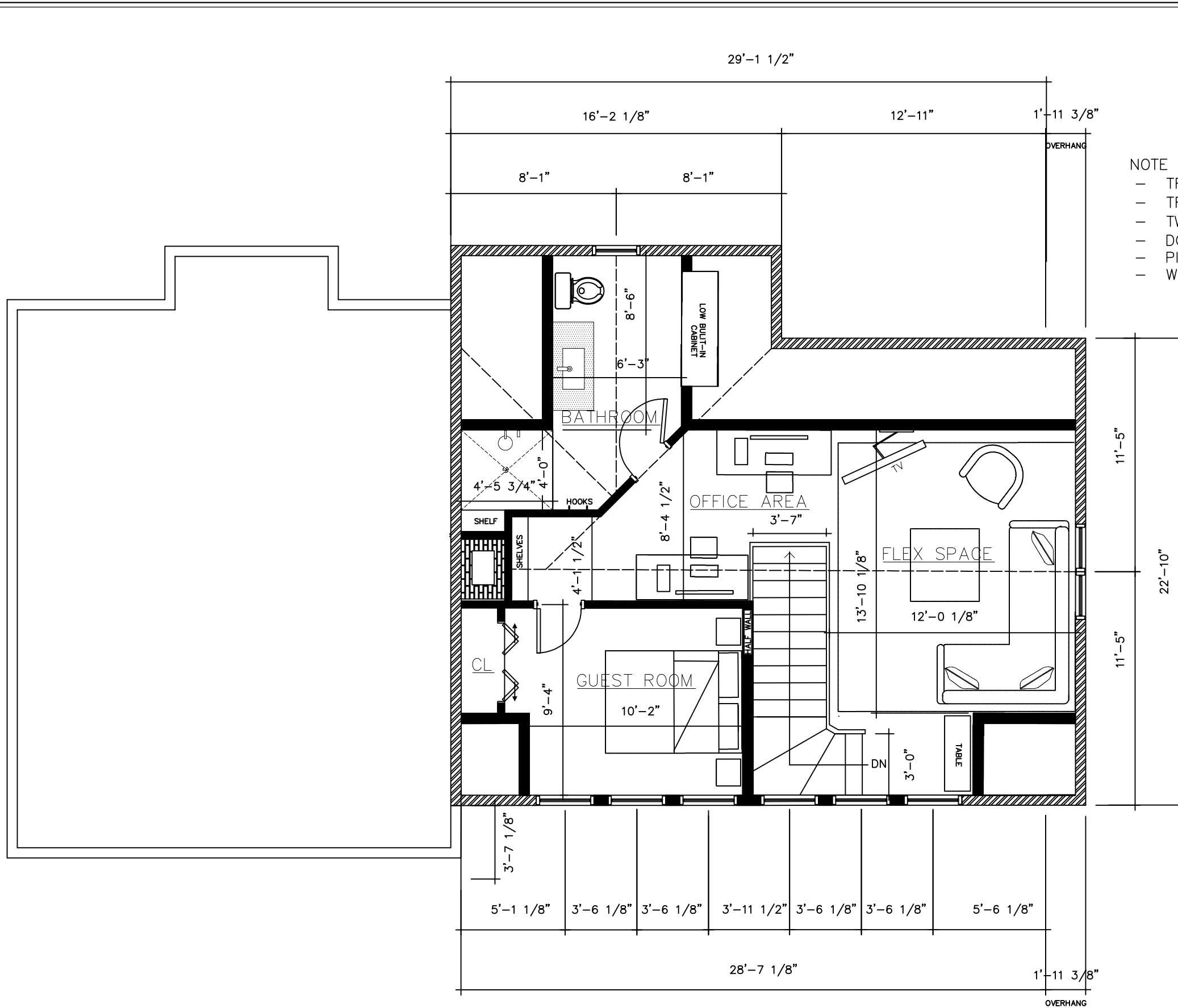
A1.2

Drawn by: MPG
Project No: 0288
May 25, 2021



○ PROPOSED SECOND FLOOR PLAN
SCALE: 1'-0" = 3/16"

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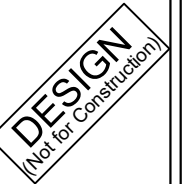


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MPG home design, LLC.
 10 Railroad Street
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Issue	Date
Design	3-12-2021
Revisions	4-07-2021
Revisions	5-19-2021
Design	5-20-2021
Revisions	5-25-2021

Revision	Date

McPherson
 Residence
 204 WIBIRD ST
 PORTSMOUTH NH
 03801

PROPOSED
 ATTIC FLOOR
 PLAN

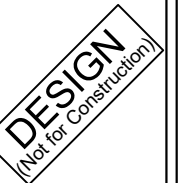
SCALE: 1'-0" = 3/16"

A1.3

Drawn by: MPG
 Project No: 0288
 May 25, 2021

PROPOSED ATTIC FLOOR PLAN
 SCALE: 1'-0" = 3/16"

SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MAY VARY.
 NOT INTENDED AS FINAL CONSTRUCTION DOCUMENTS -
 CONTRACTOR(S) TO VERIFY ALL DIMENSIONS IN THE FIELD.



Issue	Date
Design	3-12-2021
Revisions	4-07-2021
Revisions	5-19-2021
Revisions	5-20-2021
Revisions	5-25-2021

Revision	Date

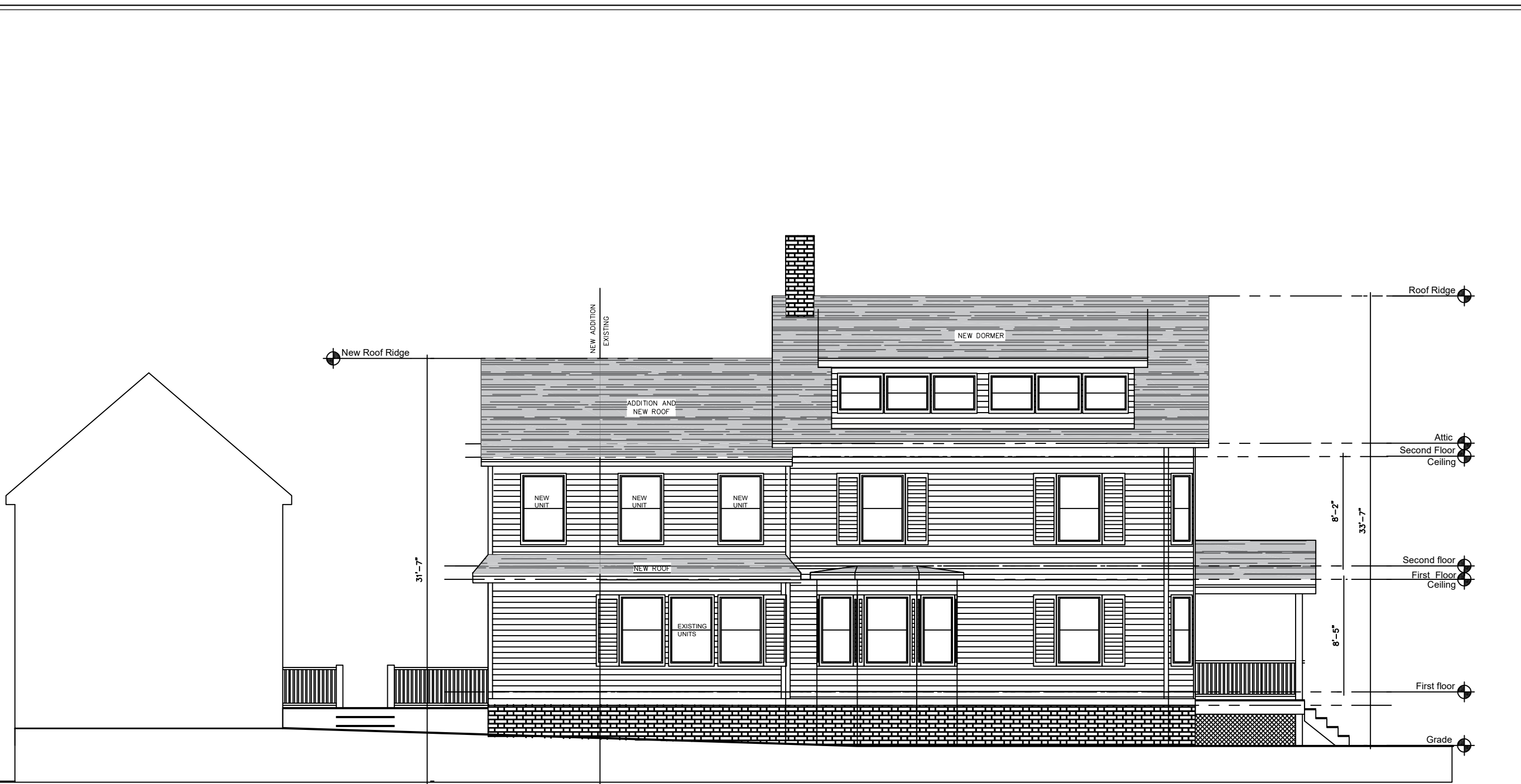
McPherson Residence
 204 WIBIRD ST
 PORTSMOUTH NH
 03801

EXISTING
 NORTH
 ELEVATION

SCALE: 1'-0" = 1/8"

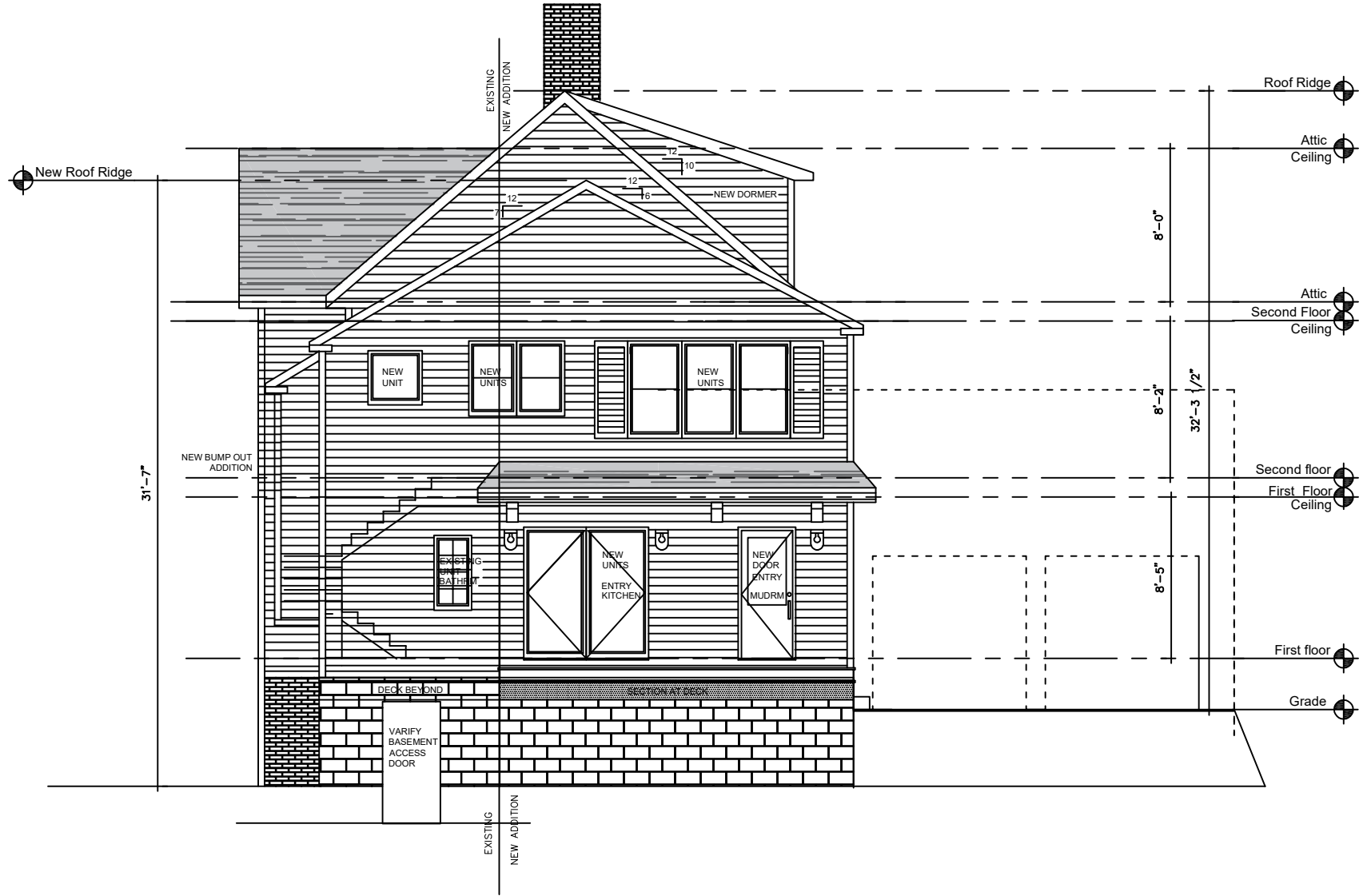
A2.1

Drawn by: MPG
 Project No: 0288
 May 25, 2021



1 PROPOSED NORTH ELEVATION
 SCALE: 1'-0" = 1/8"

SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MAY VARY.
 NOT INTENDED AS FINAL CONSTRUCTION DOCUMENTS -
 CONTRACTOR(S) TO VERIFY ALL DIMENSIONS IN THE FIELD.

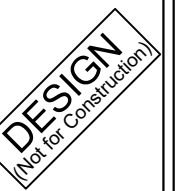


1 PROPOSED EAST ELEVATION
SCALE: 1'-0" = 1/8"

SIZES AND DIMENSIONS ARE APPROXIMATE. ACTUAL MAY VARY.
NOT INTENDED AS FINAL CONSTRUCTION DOCUMENTS -
CONTRACTOR(S) TO VERIFY ALL DIMENSIONS IN THE FIELD.



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Issue	Date
Design	3-12-2021
Revisions	4-07-2021
Revisions	5-19-2021
Revisions	5-25-2021

Revision	Date

McPherson Residence
204 WIBIRD ST
PORTSMOUTH NH
03801

EXISTING
EAST
ELEVATION

SCALE: 1'-0" = 1/8"

A2.2
Drawn by: MPG
Project No: 0288
May 25, 2021



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DESIGN
(Not for Construction)

Issue	Date
Design	3-12-2021
Revisions	4-07-2021
Revisions	5-19-2021
Revisions	5-25-2021
Revisions	6-24-2021

Revision	Date

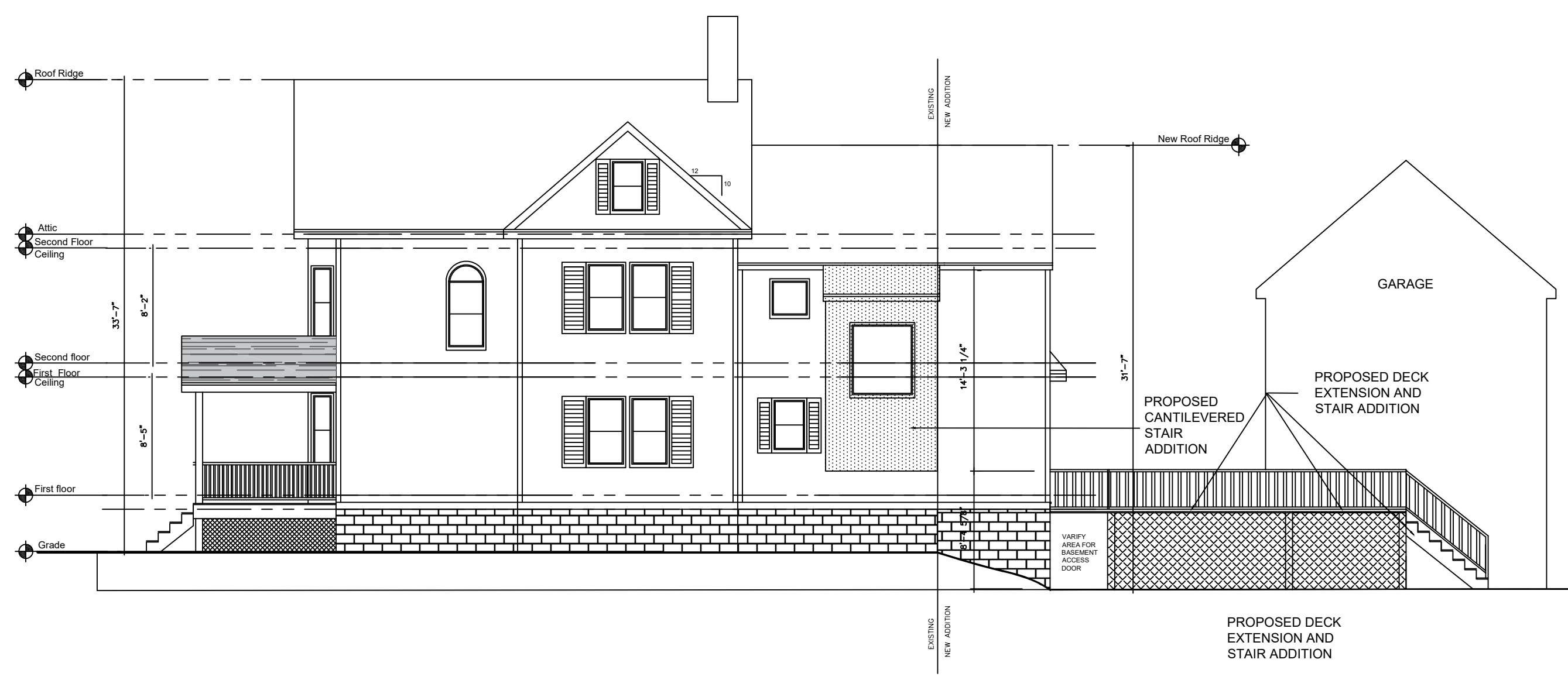
McPherson Residence
 204 WIBIRD ST
 PORTSMOUTH NH
 03801

EXISTING SOUTH ELEVATION

SCALE: 1'-0" = 1/8"

A2.3

Drawn by: MPG
 Project No: 0288
 May 25, 2021



1 PROPOSED SOUTH ELEVATION
 SCALE: 1'-0" = 1/8"

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