



WILLIAM STARCK ARCHITECTS, INC.

October 27, 2020

City of Portsmouth Zoning Board of Adjustment
1 Junkins Avenue
Portsmouth NH, 03801

Re: **Citizens Bank
Zoning Variance Request Criteria**

Dear Zoning Board Members:

This letter is to supplement the Land Use Application submitted by State Permits, Inc. on behalf of Citizens Bank to seek a Land Use relief from the City of Portsmouth's Zoning Ordinance and is intended to address §10.233.20 by providing an explanation that the Variance request meets the required criteria for authorization of a Variance by the Board.

§10.233.21 The variance will not be contrary to the public interest;

The character of the Gateway Corridor District shall remain intact.

§10.233.22 The spirit of the Ordinance will be observed;

The proposal, as represented, will benefit the surrounding businesses and establishments at the shopping mall/.

§10.233.23 Substantial justice will be done;

The proposed free-standing automated teller machine (ATM) is considered an accessory use to a principal use and not attached to a principal structure, so by enforcing the ordinance would result in a loss of potential revenue to the local businesses and establishments and the general public.

§10.233.24 The values of surrounding properties will not be diminished;

The proposed free-standing automated teller machine (ATM) will enhance the surrounding business properties and promote commerce.

§10.233.25 Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship;

Without the authorized Variance, Citizens Bank and Bromley Portsmouth, LLC would not be able to keep the agreement between both parties resulting in a hardship of professional fees paid and a termination of contract between Citizens Bank and Bromley Portsmouth, LLC.

Citizens Bank is proposing to construct a free-standing walk-up automated teller machine (ATM) structure located at 1465 Woodbury Avenue and owned by Bromley Portsmouth, LLC through a lease agreement. The property land use description is identified as a shopping mall, approximately 19.26 acres and designated by zoning as (G1) Gateway Corridor District. The existing parking lot located at 1465 Woodbury Avenue provides six-



WILLIAM STARCK ARCHITECTS, INC.

hundred-sixty-four (664) existing parking spaces, of which thirty (30) spaces are designated for handicap accessible parking.

The proposed free-standing structure design shall consist of a single use automated teller machine (ATM) housed within a prefabricated structure erected on a reinforced concrete slab. A handicap accessible concrete sidewalk shall be provided so that the general public can access the walk-up automated teller machine (ATM). In addition to the existing parking spaces, two (2) new additional parking spaces will be provided solely for parking at the free-standing walk-up automated teller machine (ATM). The designated parking spaces will consist of one handicap van accessible parking space and one regular vehicle space. The perimeter of the parking lot shall be constructed of a six inch wide precast concrete curb defining the boundary of the parking lot. Improvements to the existing open lawn area at the proposed freestanding automated teller machine (ATM) site shall include plantings and new loam and seed.

Citizens Bank and Bromley Portsmouth, LLC are requesting a land use zoning variance from the City of Portsmouth zoning ordinance §10.571. The City of Portsmouth zoning ordinance defines an ATM as “an unattended electronic device that is activated by customers to conduct financial transactions. An ATM may be located on the outside of a building, or in an access-controlled entrance to a building, or within a principal use in a building and may serve pedestrians or patrons in motor vehicles. An ATM servicing patrons in motor vehicles, must meet the standards for drive-thru establishments provided in this Ordinance. An ATM is permitted only as an accessory use to a related principal use and is not permitted as a principal use or in a free-standing structure not attached to a principal use.

Zoning ordinance §10.571 states that no accessory building, structure or use, shall be located in any required front yard, or closer to a street than the principal building. There is no principal building or structure as it relates to a financial institution at the current property.

Citizens Bank and Bromley Portsmouth, LLC are seeking an authorization of a variance from the Board of Adjustments and Rules to consider this request based on that there is no financial institution principal building or structure on the property that the proposed automated teller machine (ATM) can be an accessory use too. By constructing the proposed free-standing walk-up automated teller machine (ATM) at the shopping mall at 1465 Woodbury Avenue will not only benefit the surrounding businesses, but can also attract new consumers to the shopping mall and visitors to the area.

Sincerely,

WILLIAM STARCK ARCHITECTS, INC.

Michael Pereira
Project Manager

MP/ml
Doc.ZoningOrdinanceLet.



WILLIAM STARCK ARCHITECTS, INC.

October 27, 2020

City of Portsmouth Zoning Board of Adjustment
1 Junkins Avenue
Portsmouth NH, 03801

**RE: Citizens Bank Walk-Up ATM
1465 Woodbury Avenue
Portsmouth, NH 03801
Relief of Land Use Criteria**

Dear Board Members,

Citizens Bank is proposing to construct a free-standing walk-up automated teller machine (ATM) at 1465 Woodbury Avenue in Portsmouth, NH through a land-lease agreement with Bromley Portsmouth, LLC. The existing property is designated by zoning as a Gateway Corridor District and categorized as a shopping mall. The current shopping mall is approximately 19.25 acres. The proposed location for construction the free-standing walk-up automated teller machine (ATM) structure is located on a small portion of lawn area, parallel to Woodbury Avenue and is adjacent to the existing Wendy's restaurant. The proposed location currently does not have any accessory use component or structure constructed in the proposed vicinity.

The proposed free-standing walk-up automated teller machine (ATM) structure will be constructed on a reinforced concrete pad, measuring 8'-3" in width by 8'-9" in length and will have a handicap accessible sidewalk that permits accesses to the automated teller machine (ATM). The prefabricated ATM structure will be erected on the reinforced concrete slab and will house the automated teller machine (ATM). The prefabricated structure measures 6'-5" in width by 7'-7" in depth and has a height of 10'-3 1/4" at the roof canopy. The canopy overhang at the teller side shall have an overhang dimension of 4'-0". The free-standing automated teller machine (ATM) structure shall be protected by eight (8) concrete filled galvanized steel bollards.

The existing shopping mall parking lot located at 1465 Woodbury Avenue currently provides six-hundred thirty-five (635) existing parking spaces, of which thirty (30) spaces are designated for handicap accessible parking. The proposed free-standing walk-up automated teller machine (ATM) will provide two (2) additional parking spaces consisting of one handicap van accessible parking space with striped access space and one regular vehicle space. The proposed additional parking spaces complies with zoning ordinance, §10.1112.321 *Parking Requirements for Nonresidential Uses*. Use No.5.10-5.30 identifies one (1) parking space per 350 sf GFA for professional, business and financial services. The proposed free-standing automated teller machine is approximately 72 sf and requires one (1) parking space to satisfy the requirements; two parking spaces are proposed. The proposed parking lot measures 25'-6"



WILLIAM STARCK ARCHITECTS, INC.

width and 20'-0" in depth. The perimeter of the parking lot shall be constructed of a six inch wide precast concrete curb defining the boundary of the parking lot.

Plantings are also being proposed to be planted adjacent to the free-standing walk-up automated teller machine (ATM) structure. Plantings will not only enhance the existing landscape but will also conceal the electrical meter and panel support panel. Any lawn areas disturbed outside the work area shall be repaired in-like kind.

The proposed project is to construct a free-standing walk-up automated teller machine (ATM) so the total number of dwelling units, new hotel rooms, restaurant gross floor area and loading spaces are not applicable. The Valuation of New Construction is estimated at \$60,000.00 dollars.

The Project Representatives are as follows:

Michael Pereira, Project Manager – William Starck Architects, Inc.
120 Cove Street
Fall River, MA 02720
P: 508-679-5733
E: mpereira@starckarchitects.com

Dylan Lincoln, Project Manager – Citizens Bank
P: 401-339-0721
E: dylan.c.lincoln@citizensbank.com

Tom Godfrey, Manager – Granite Development, LLC
P: 781-258-1199
E: Tomg10@comcast.net

Sincerely,

WILLIAM STARCK ARCHITECTS, INC.

Michael Pereira
Project Manager

MP/ml
Doc.LandUseReliefLet.



WILLIAM STARCK ARCHITECTS, INC.

October 27, 2020

City of Portsmouth Zoning Board of Adjustment
1 Junkins Avenue
Portsmouth NH, 03801

Re: **Citizens Bank Walk-Up ATM**
1465 Woodbury Avenue
Portsmouth, NH 03801
Zoning Variance Request Criteria

Existing Condition Site Photos:



Photo 1: View facing south at existing to remain drive aisle.



Photo 2: View facing west at existing main entrance to the shopping mall.



Photo 3: Partial view facing northwest at existing Wendy's restaurant obstructed by existing-to-remain trees.



Photo 4: View facing north at existing shopping mall parking lot, adjacent to existing drive aisle at proposed building site.



Photo 5: View facing southwest at main shopping mall entrance.



Photo 6: View facing west at proposed building site.

LOCUS



LOCATION OF WORK

LIST OF DRAWINGS

G1.0 - COVER SHEET	AS1.0 - EXISTING SITE PLAN AT PROPOSED FREE-STANDING WALK-UP ATM	A2.4 - ATM STRUCTURE DETAILS
1 - EXISTING CONDITIONS PLAN, DEMO PLAN, NOTES & LEGEND	AS1.1 - ARCHITECTURAL ELECTRICAL PARTIAL SITE PLAN	A2.5 - ATM STRUCTURE DETAILS
2 - LAYOUT PLAN	AS1.2 - PARTIAL TAX MAP PLAN	A2.6 - ATM STRUCTURE DETAILS
3 - GRADING, DRAINAGE, & UTILITY PLAN & DETAILS	A2.0 - ATM STRUCTURE DETAILS	A2.7 - ATM STRUCTURE DETAILS
4 - CONSTRUCTION DETAILS	A2.1 - ATM STRUCTURE DETAILS	A2.8 - ATM STRUCTURE DETAILS
A1.0 - PROPOSED SITE TEST FIT PLAN AT WALK-UP ATM	A2.2 - ATM STRUCTURE DETAILS	
A1.1 - PARTIAL SITE PLAN AT PROPOSED WALK-UP ATM	A2.3 - ATM STRUCTURE DETAILS	

GENERAL NOTES

- THE CONTRACTOR SHALL BE LICENSED IN THE STATE OF NEW HAMPSHIRE AND FULLY INSURED AS REQUIRED BY APPLICABLE LAWS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER, HIS SUBCONTRACTORS & APPLICABLE DISCIPLINES, SUCH AS, BUT NOT LIMITED TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM SITE AND REMOVE AND DISPOSE DAILY.
- CONTRACTORS SHALL VISIT THE SITE AND CAREFULLY EXAMINE THE AREAS IN QUESTION AS TO CONDITIONS WHICH MAY ADVERSELY AFFECT PROPER EXECUTION OF THE WORK. ALL DIMENSIONS AND QUANTITIES SHALL BE DETERMINED OR VERIFIED BY THE CONTRACTOR. NO CLAIMS FOR EXTRA COSTS WILL BE ALLOWED BECAUSE OF LACK OF FULL KNOWLEDGE OF THE EXISTING CONDITIONS UNLESS AGREED TO IN ADVANCE WITH THE OWNER &/OR ARCHITECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DEMOLITION REQUIRED FOR A COMPLETE AND PROPER JOB, WHETHER OR NOT REFERENCE IS MADE BY WAY OF NOTES AND DESIGNATIONS.
- ALL WORK SHALL COMPLY WITH OSHA, FEDERAL, STATE BUILDING, AND FIRE AND LIFE/SAFETY CODES, WHICHEVER IS MOST STRINGENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND EXAMINING THE EXISTING SYSTEMS, MATERIALS, EQUIPMENT AND OTHER RELATED ITEMS OF WORK PRIOR TO SUBMITTING BID AND PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ACCEPT RESPONSIBILITY FOR DIMENSIONAL CORRECTNESS.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE AREA(S) DESIGNATED BY THE OWNER.
- REPAIR/RESTORE, TO ORIGINAL/NEW CONDITION, AT NO COST TO THE OWNER, ALL EXISTING ITEMS, MATERIALS, SURFACES, ETC. (INCLUDING AREAS NOT DESIGNATED FOR NEW CONSTRUCTION SHOWN ON THE DRAWINGS) WHICH ARE DAMAGED DURING CONSTRUCTION. ALL RELATED COSTS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- REPAIR EXISTING PAVING AND CURBING DAMAGED BY THIS CONTRACTOR DURING CONSTRUCTION. SAW-CUT EXISTING PAVING FOR CONTINUITY MATCH.
- ANY WORK WHICH DEVIATES FROM THAT SPECIFIED IN THE CONTRACT DOCUMENTS, CHANGED BY THE CONTRACTOR, INVOLVING THE SUBSTITUTION OF MATERIALS/EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRIERS, BARRICADES, PROTECTION, SIGNAGE, LIGHTING, ETC. AS REQUIRED TO ENSURE AND MAINTAIN SAFE ACCESS/EGRESS THROUGHOUT THE BUILDING SITE.
- DELAYS CAUSED BY IMPROPER PLANNING WILL NOT BE TOLERATED, NOR ACCEPTABLE. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR UNNECESSARY DELAYS IN THE CONTRACT.
- CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK ABOVE AND BEYOND THAT SPECIFIED IN THESE CONTRACT DOCUMENTS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. CONTRACTOR SHALL OTHERWISE DO SO AT HIS OWN EXPENSE.
- IN CASE OF CONFLICT OR CONFUSION WHERE THE CONTRACTOR DID NOT REQUEST CLARIFICATION PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL INTERPRET THE CONTRACT DOCUMENTS TO REQUIRE THE GREATER QUANTITY, HIGHER QUALITY, MOST RESTRICTIVE, AND MOST EXPENSIVE OF THE POSSIBLE INTERPRETATIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY VISUAL AND PROTECTIVE PARTITIONS AROUND CONSTRUCTION AS MAY BE NECESSARY TO ASSURE THE SAFETY OF ALL PERSONS AUTHORIZED OR UNAUTHORIZED. ALL PARTITIONS ARE TO BE CONSTRUCTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL LAWS, CODES OR REGULATIONS.
- THE G.C. SHALL ENSURE ADEQUATE DUST-CONTROL MEASURES, SUCH AS, BUT NOT LIMITED TO POLYETHYLENE SHEETING/TAPING, TEMPORARY PARTITIONING, ETC. ARE PRACTICED FOR THE DURATION OF THE PROJECT. G.C. SHALL BE RESPONSIBLE FOR ALL CLEANING MEASURES, TO RESTORE SUCH AREAS TO ORIGINAL/ NEW CONDITION (INCLUDING DRAINAGE SYSTEMS, ROOF, ETC.).

Citizens Bank

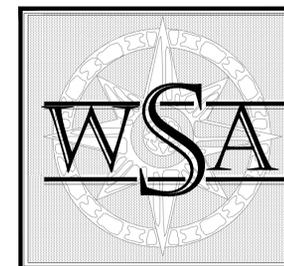
WALK-UP ATM

1465 WOODBURY AVENUE
PORTSMOUTH, NH 03801

ISSUED FOR PERMIT

SEPTEMBER 30, 2020

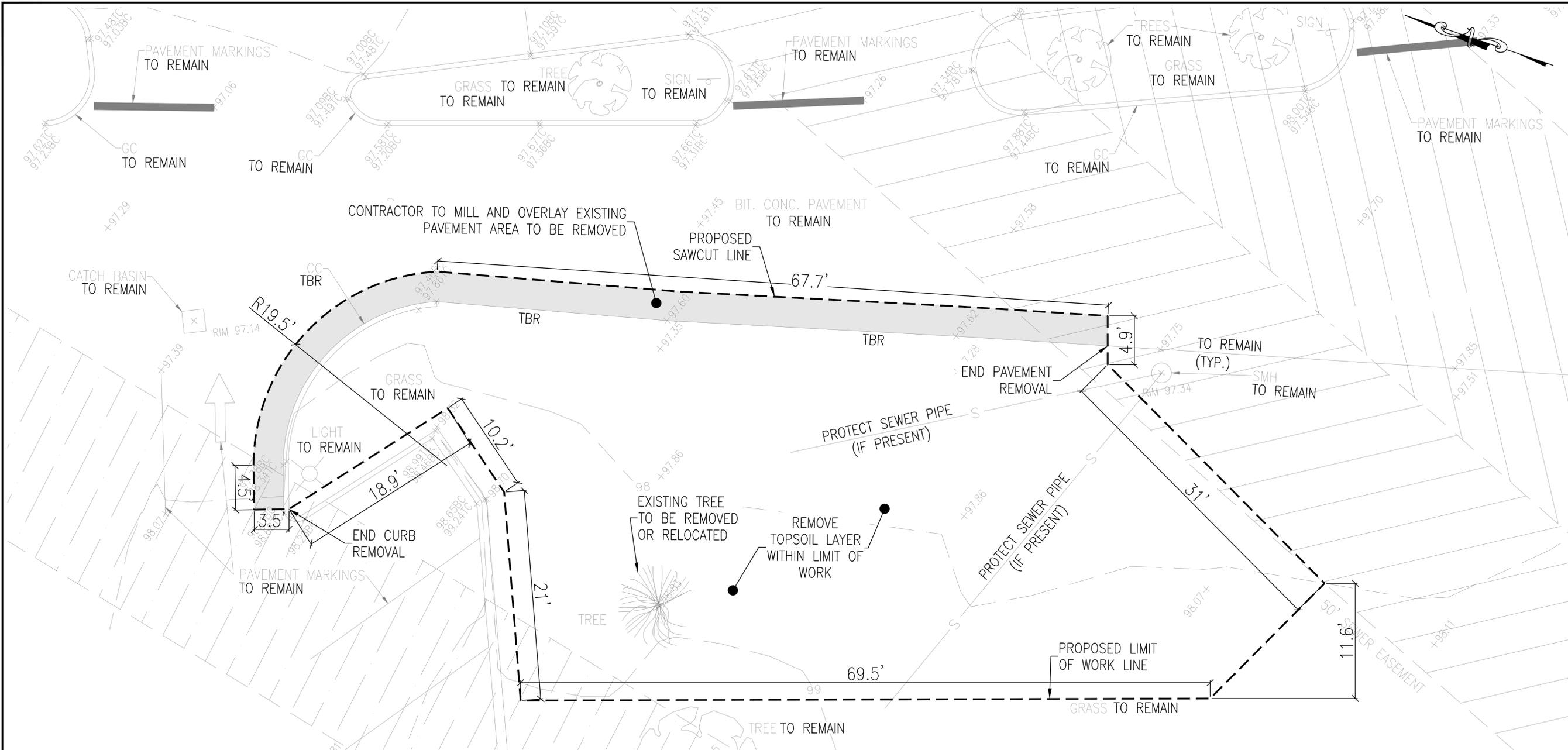
REVISED NOVEMBER 10, 2020



WILLIAM STARCK
ARCHITECTS, INC.

126 COVE STREET
FALL RIVER MASSACHUSETTS, 02720

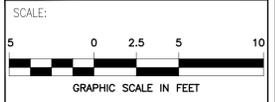
10 DORRANCE STREET, SUITE 700
PROVIDENCE, RI 02903



CONSTRUCTION PLANS

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		



DESIGNED BY: TMF
CHECK BY: PRH

SEAL:

PHILIP R. HENRY, P.E.

PREPARED FOR:

WILLIAM STARCK ARCHITECTS, INC.
126 COVE STREET
FALL RIVER, MASSACHUSETTS 02720
TEL: 508/679-5733
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E-MAIL: STARCK@STARCKARCHITECTS.COM
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PROJECT:

PROPOSED ATM
1465 WOODBURY AVENUE
PORTSMOUTH, NH 03801

PREPARED BY:

CIVIL DESIGN GROUP, LLC
21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdengineering.com
p: 978-794-5400 f: 978-965-3971

SHEET:

EXISTING CONDITIONS PLAN, DEMO PLAN, NOTES & LEGEND

1

CDG PROJECT #: 20032
DATE: 11/10/2020



LOCUS PLAN
SCALE: 1"=100±

SUMMARY OF WORK

THE WORK SHOWN ON THIS PLAN REPRESENTS VARIOUS IMPROVEMENTS TO AN EXISTING PARKING LOT. THE FOLLOWING IS A SUMMARY OF MAJOR WORK ITEMS:

- SAWCUT/REMOVE A PORTION OF THE PARKING LOT AND GRASSED AREA.
- INSTALL NEW ATM, CONCRETE PAD, AND ELECTRICAL SERVICE.
- RE-PAVE THE REMOVED SECTION OF PARKING LOT AND INSTALL NEW PAVEMENT AND CURBING.
- PLACE LOAM & SEED WITHIN DISTURBED LANDSCAPED AREAS.
- ALL OTHER INCIDENTAL WORK NECESSARY TO ACCOMMODATE PROPOSED WORK AND ADHERE TO THE PROPOSED FINAL PRODUCT INCLUDING ADJUSTMENT OF ANY DRAINAGE AND UTILITY STRUCTURES TO MATCH NEW FINISHED GRADE.

SURVEY NOTES

- EXISTING CONDITIONS BASED ON A LIMITED FIELD SURVEY PERFORMED BY DOUGLAS DESIGN GROUP ON SEPTEMBER 17, 2020.
- THE VERTICAL DATUM OF THIS SURVEY IS AN ASSUMED DATUM OF 100.00 PER AN EXISTING BENCHMARK STAKE AND NAIL.
- UTILITY LOCATIONS, AS SHOWN HEREON, ARE BASED ON VISIBLE OBSERVED SURFACE EVIDENCE (SUB-SURFACE UTILITY RESEARCH & FIELD INVESTIGATION WERE NOT PERFORMED AS PART OF THIS SURVEY). CONTACT DIG-SAFE BEFORE PLANNING ANY CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO CONSTRUCTION.

PARKING NOTE

- THIS PLAN RESULTS IN THE ADDITION OF 2 ON-SITE PARKING SPACES.

PROJECT NOTES

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- SOLID LINES SHALL BE 4" IN WIDTH (SEE PLAN FOR LENGTH & COLOR). TRAFFIC STRIPING SHALL CONSIST OF 4" SOLID LINES ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3" ON CENTER.
- ANY REMOVAL/APPLICATION OF PAVEMENT MARKINGS AND STRIPING SHALL BE PERFORMED IN THE FOLLOWING MANNER:
 - THE CONTRACTOR SHALL REMOVE 100% OF THE PAINT IN A MANNER THAT DOES NOT CAUSE EXCESSIVE NOISE/DEBRIS/DISRUPTION TO CUSTOMERS. NO RESIDUAL PAINT SHALL REMAIN.
 - ACCEPTABLE METHODS OF REMOVAL INCLUDE WATER BLASTING AND GRINDING.
 - UNACCEPTABLE METHODS OF REMOVAL INCLUDE BLACKING OUT, CHEMICAL METHODS, AND GAS-BLASTING.
- ANY DRAINAGE AND UTILITY STRUCTURES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS. SHALL BE PERFORMED BY A TOWN BONDED CONTRACTOR, AND SHALL REQUIRE A STREET AND TRENCH OPENING PERMIT FROM THE HIGHWAY DIVISION.
- THE CONTRACTOR SHALL PROTECT ANY EXISTING IRRIGATION SYSTEM(S) DURING CONSTRUCTION AND RECONFIGURE SUCH SYSTEM(S) AS NECESSARY TO ACCOUNT FOR THE PROPOSED WORK.
- EXISTING TREES AND SHRUBS SHALL BE PROTECTED DURING CONSTRUCTION.
- ALL DISTURBED LANDSCAPED AREAS SHALL BE RESTORED IN KIND. LOAM LAYER SHALL BE A MINIMUM OF 4" THICK.
- PROPOSED AREA OF DISTURBANCE = 3,300± SQUARE FEET

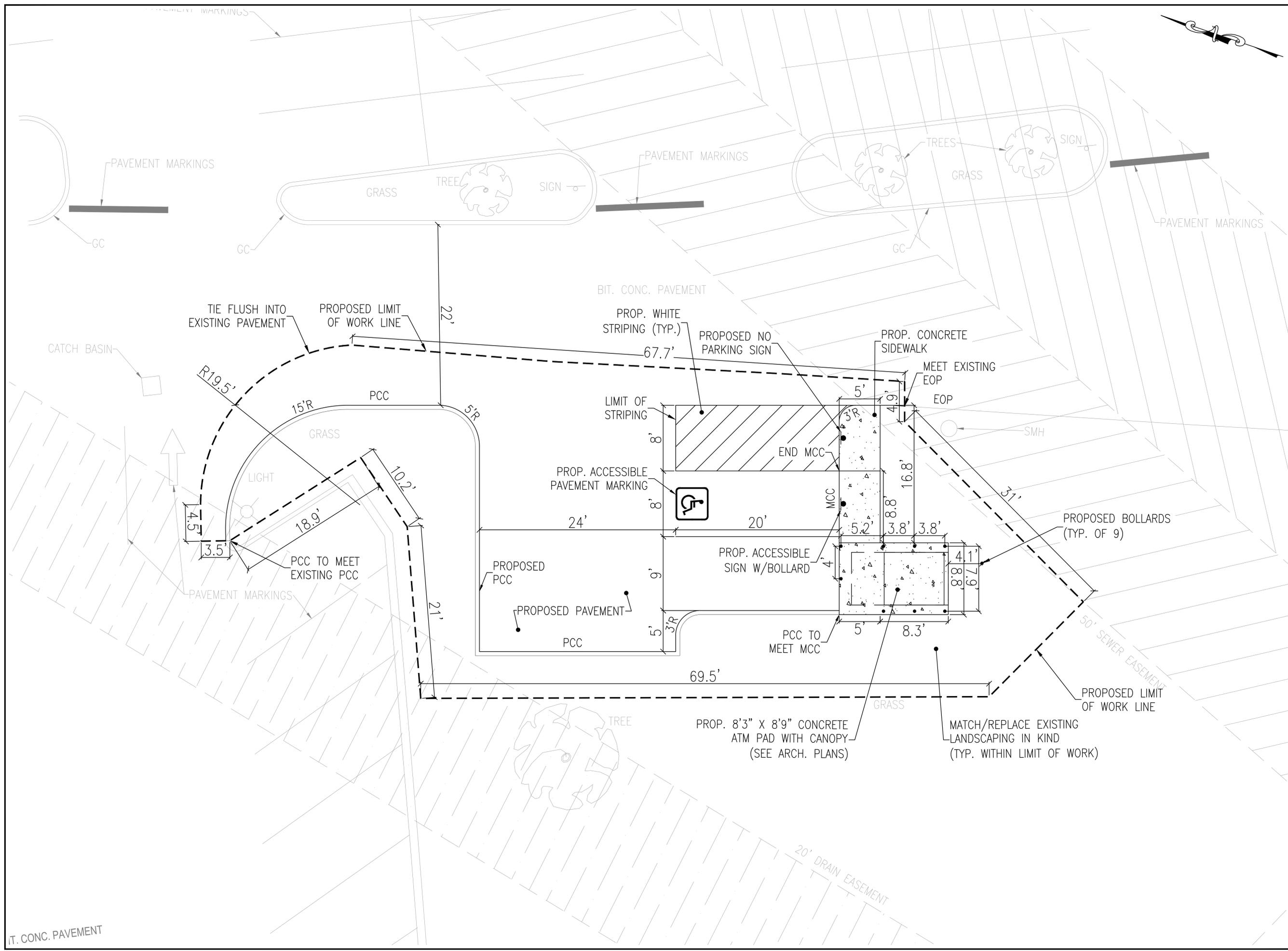
ABBREVIATIONS

BOTTOM OF CURB	BC
BITUMINOUS CONCRETE CURB	BCC
BIT.	BIT.
BEGIN REVEAL	BR
BOTTOM OF WALL	BW
CATCH BASIN	CB
CONCRETE CURB	CC
CAPE COD BERM	CCB
CHAIN LINK FENCE	CLF
CONC.	CONC.
CONTROL JOINT	CJ
CONTROL VALVE	CV
DETECTABLE WARNING	DW
ELECTRIC	ELEC
EXISTING TO REMAIN	ETR
EXISTING	EX
FINISHED FLOOR	FF
GAS PAVEMENT MARKINGS	GPM
VERTICAL GRANITE CURB	GC
GATE VALVE	GV
HANDHOLE	HH
IRRIGATION	IRRIG
LIMIT OF CURB REMOVAL	LOR
LEVEL LANDING	LL
LIMIT OF WORK	L.O.W.
LIGHT POLE	L.P.
MONOLITHIC CONCRETE CURB	MCC
MATCH EXISTING	ME
OVERHEAD WIRES	OHW
PRECAST CONCRETE CURB	PCC
PROPOSED	PR
RIGHT-OF-WAY	R.O.W.
SQUARE FEET	SF
SLOPED GRANITE CURB	SGC
SINGLE WHITE SOLID LINE	SWSL
SINGLE YELLOW SOLID LINE	SYSL
SINGLE BLUE SOLID LINE TO BE REMOVED	SBSL
TOP OF CURB	TC
TOP OF WALL	TW

LEGEND

EXISTING	PROPOSED	DESCRIPTION
99	99	CONTOUR
x 99.50	99.50	SPOT GRADE
	X'R	X-FOOT RADIUS
		CEMENT CONCRETE
		UTILITY POLE
		LIGHT POLE
		SIGN
		BUILDING WALL
		FLOW ARROW
		CATCH BASIN
		DRAIN MANHOLE
		SEWER MANHOLE
		WATER GATE
		MILL & OVERLAY

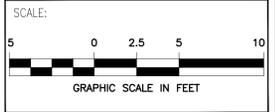




CONSTRUCTION PLANS

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		



DESIGNED BY: TMF
 CHECK BY: PRH

SEAL:

PHILIP R. HENRY, P.E.

PREPARED FOR:

WILLIAM STARCK ARCHITECTS, INC.
 126 COVE STREET
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 WEBSITE: WWW.STARCKARCHITECTS.COM

PREPARED BY:

PROPOSED ATM
 1465 WOODBURY AVENUE
 PORTSMOUTH, NH 03801

PREPARED BY:

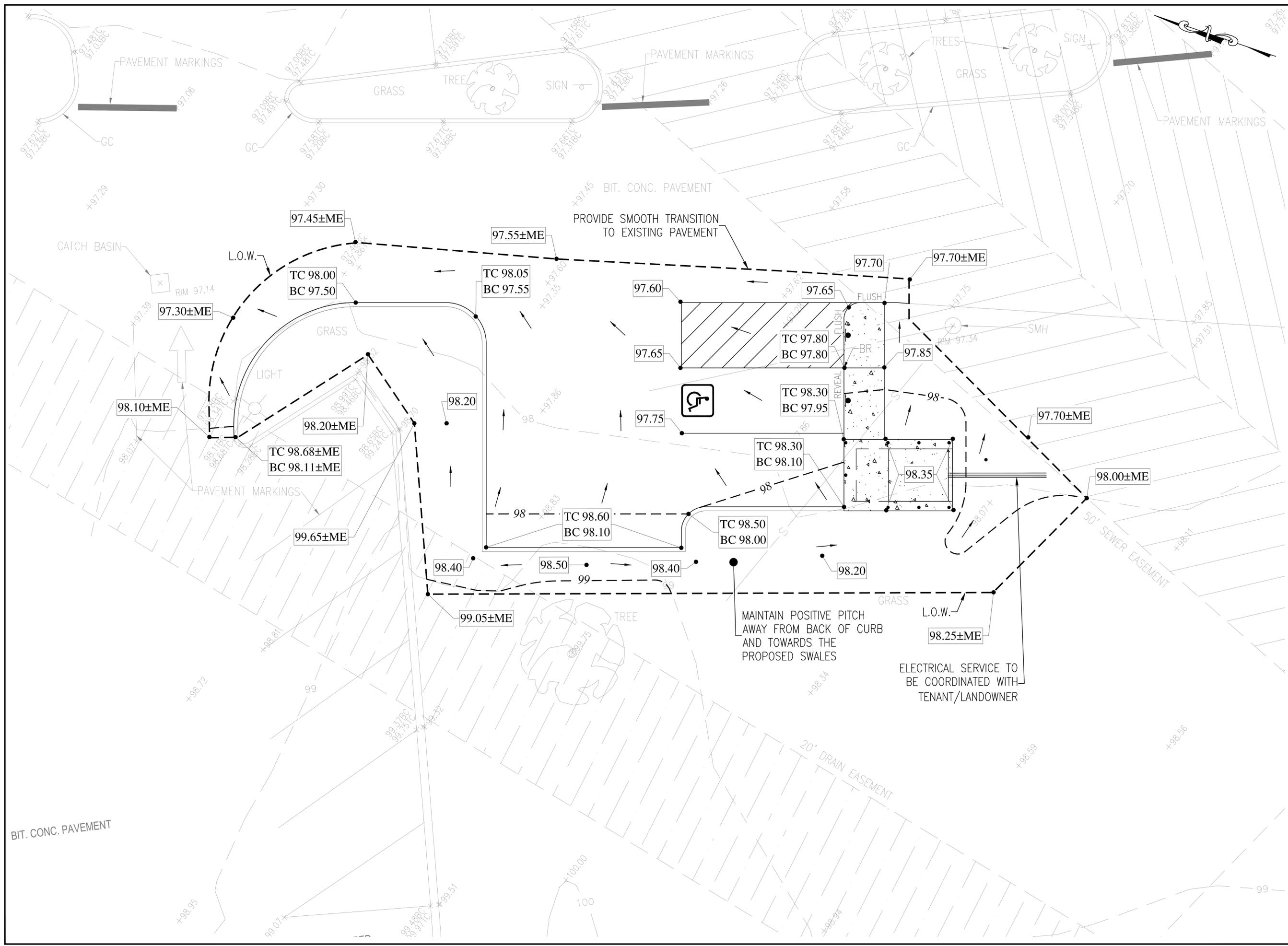
CIVIL DESIGN GROUP, LLC
 21 HIGH STREET, SUITE 207
 NORTH ANDOVER, MA 01845
 www.cdengineering.com
 p: 978-794-5400 f: 978-965-3971

SHEET:

LAYOUT PLAN

2

CDG PROJECT #: 20032
 DATE: 11/10/2020



CONSTRUCTION PLANS

REVISIONS:

REV	DATE	COMMENT
1		
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3		

SCALE:

 GRAPHIC SCALE IN FEET

DESIGNED BY: TMF
 CHECK BY: PRH

SEAL:

 PHILIP R. HENRY, P.E.

PREPARED FOR:

 WILLIAM STARCK ARCHITECTS, INC.
 126 COVE STREET
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PROJECT:

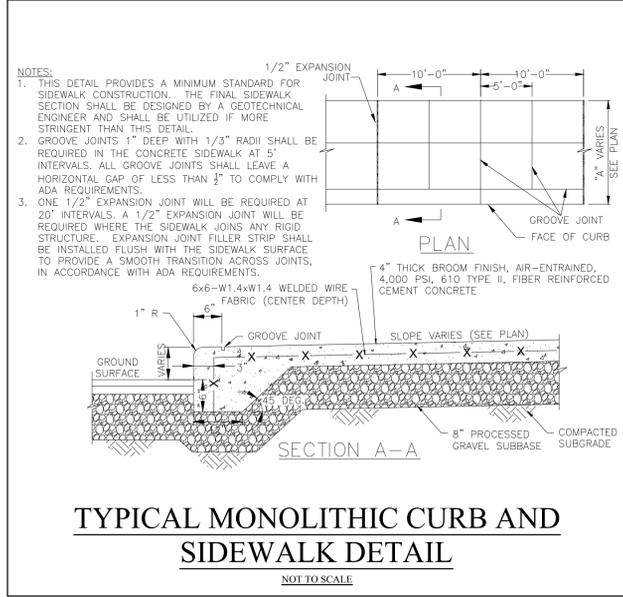
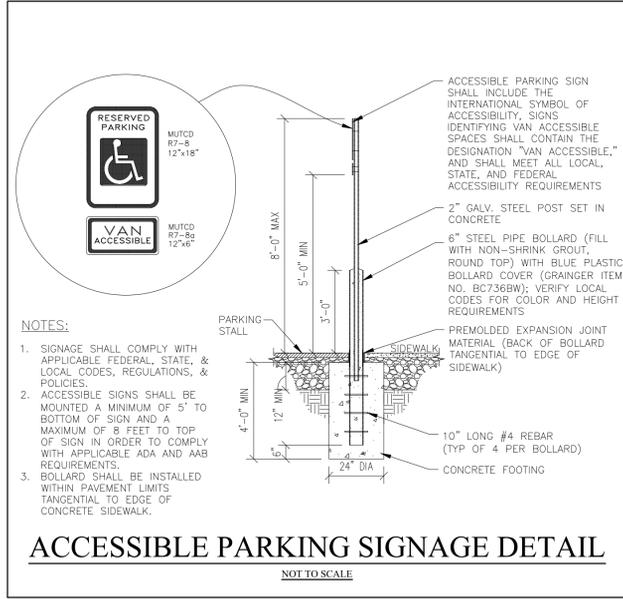
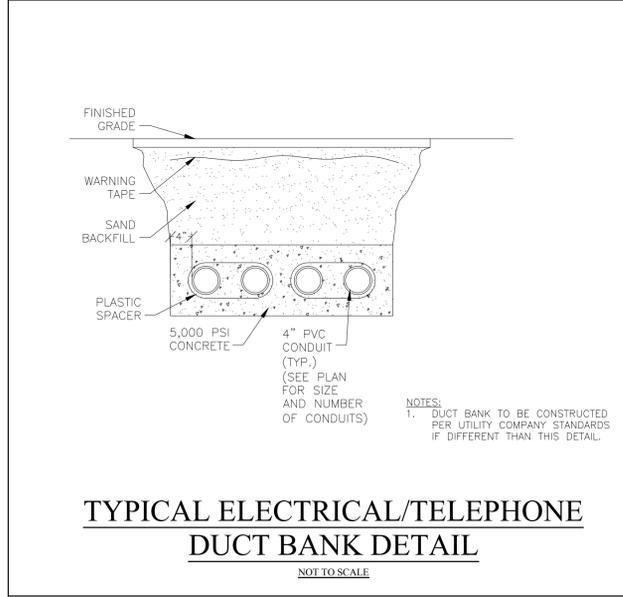
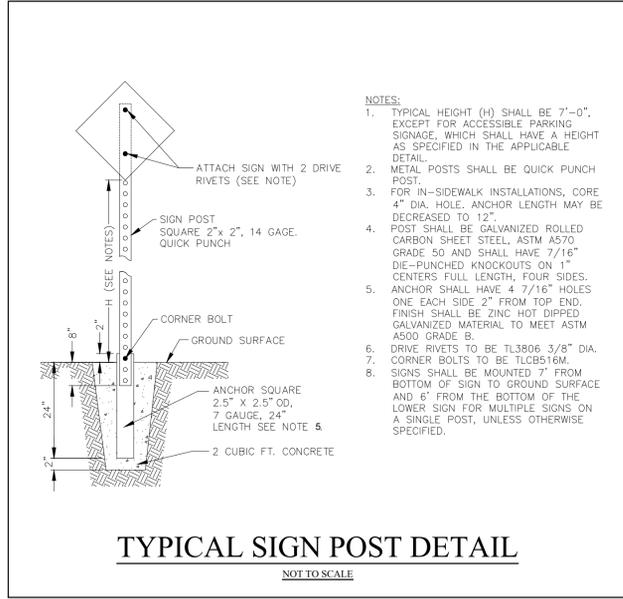
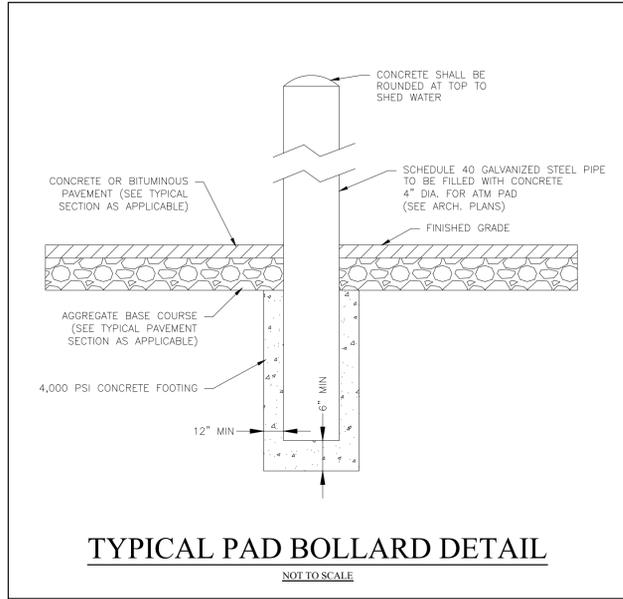
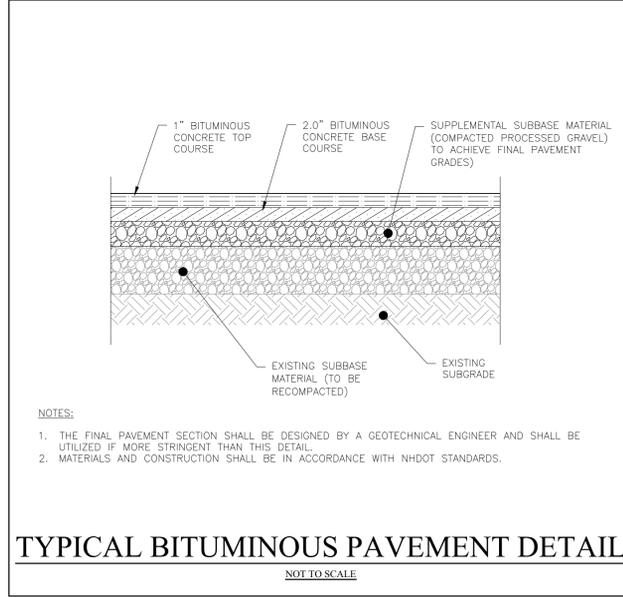
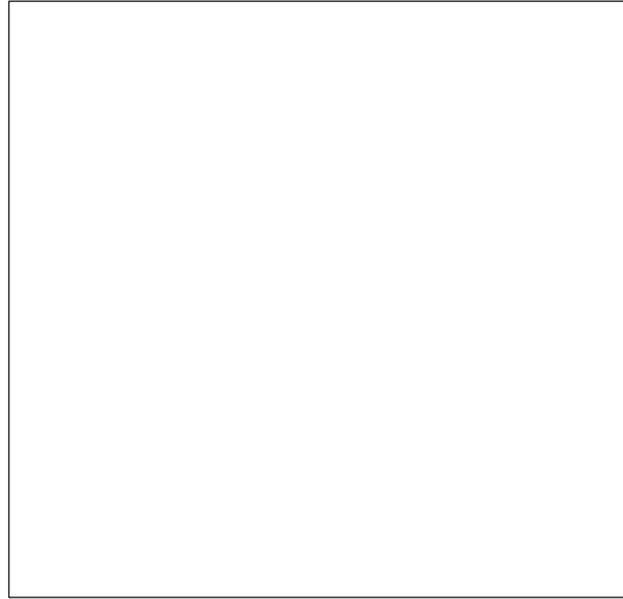
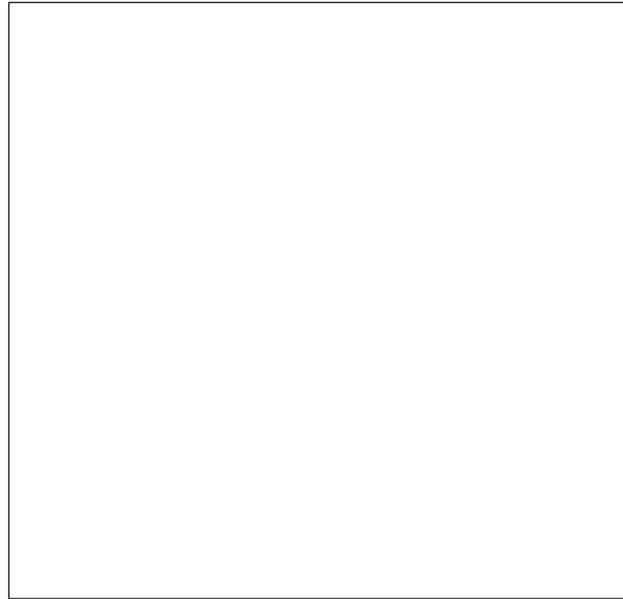
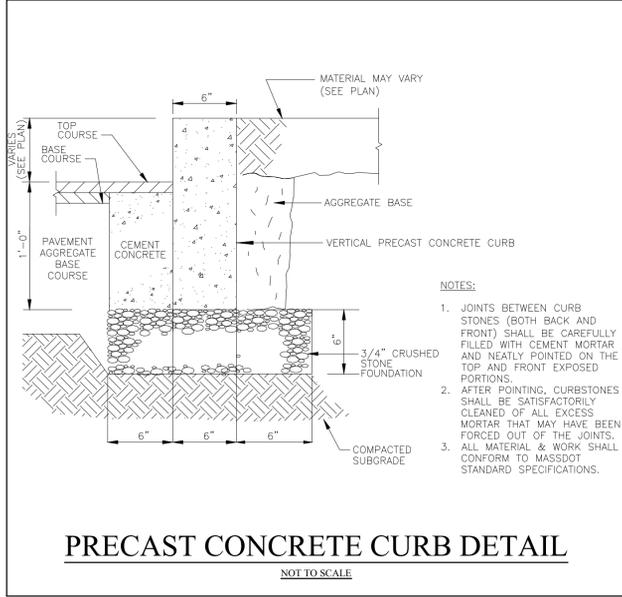
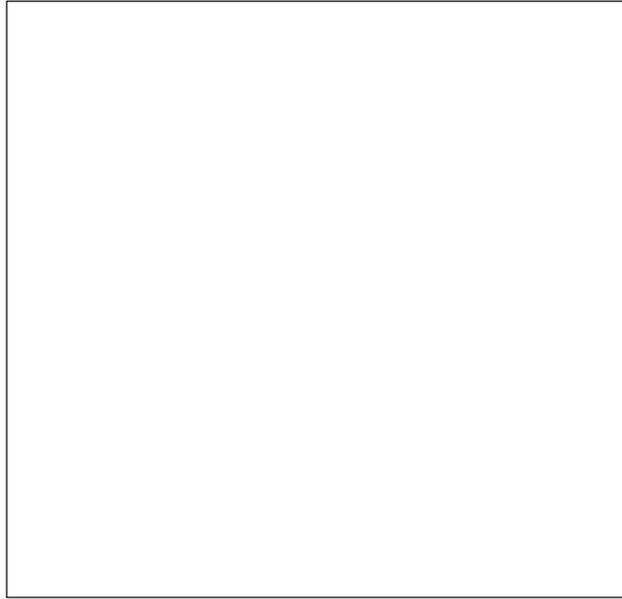
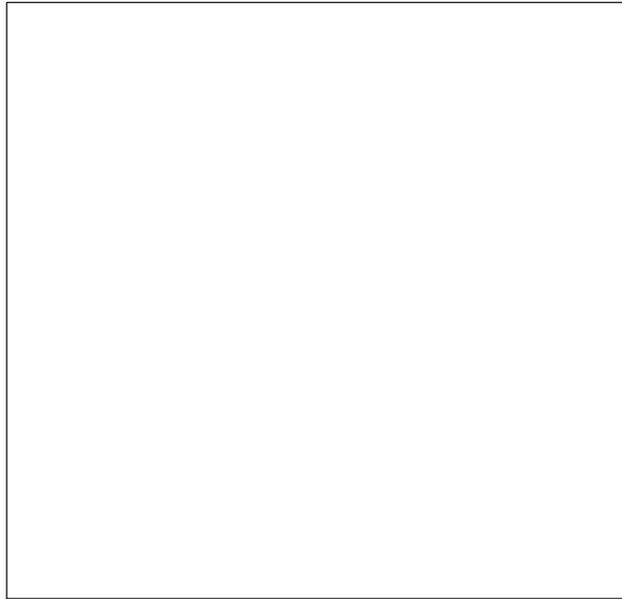
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 1465 WOODBURY AVENUE
 PORTSMOUTH, NH 03801

PREPARED BY:

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 NORTH ANDOVER, MA 01845
 www.cdengineering.com
 p: 978-794-5400 f: 978-965-3971

SHEET: **GRADING, DRAINAGE, & UTILITY PLAN & DETAILS**
3

CDG PROJECT #: 20032
 DATE: 11/10/2020



CONSTRUCTION PLANS

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		

SCALE:

NOT TO SCALE

DESIGNED BY:

TMF

CHECK BY:

PRH

SEAL:



PHILIP R. HENRY

PHILIP R. HENRY, P.E.

PREPARED FOR:



WILLIAM STARCK ARCHITECTS, INC.

126 COVE STREET
FALL RIVER, MASSACHUSETTS 02720
TEL: 508.679.5733
FAX: 508.672.8866
E-MAIL: STARCK@STARCKARCHITECTS.COM
WEBSITE: WWW.STARCKARCHITECTS.COM

PROJECT:

Citizens Bank

PROPOSED ATM
1465 WOODBURY AVENUE
PORTSMOUTH, NH 03801

PREPARED BY:

CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdengineering.com
p: 978-794-5400 f: 978-965-3971

SHEET:

CONSTRUCTION DETAILS

4

CDG PROJECT #:

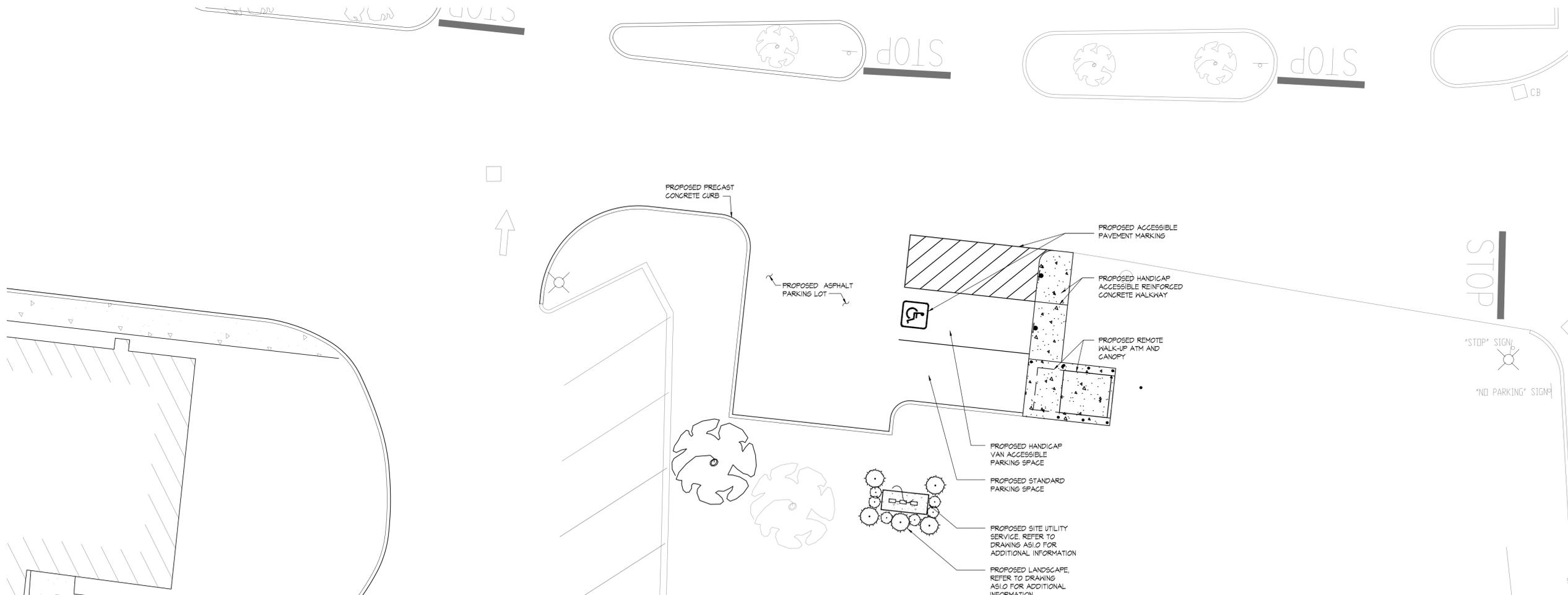
20032

DATE:

11/10/2020



1 PARTIAL EXISTING SITE PLAN at AREA OF PROPOSED IMPROVEMENTS
SCALE: NOT TO SCALE



2 PARTIAL EXISTING SITE PLAN at PROPOSED WALK-UP ATM
SCALE: 1/8" = 1'-0"



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WWW.STARCKARCHITECTS.COM



CITIZENS BANK
REMOTE WALK-UP ATM
1465 WOODBURY AVENUE
PORTSMOUTH, NH 03801

REVISIONS:

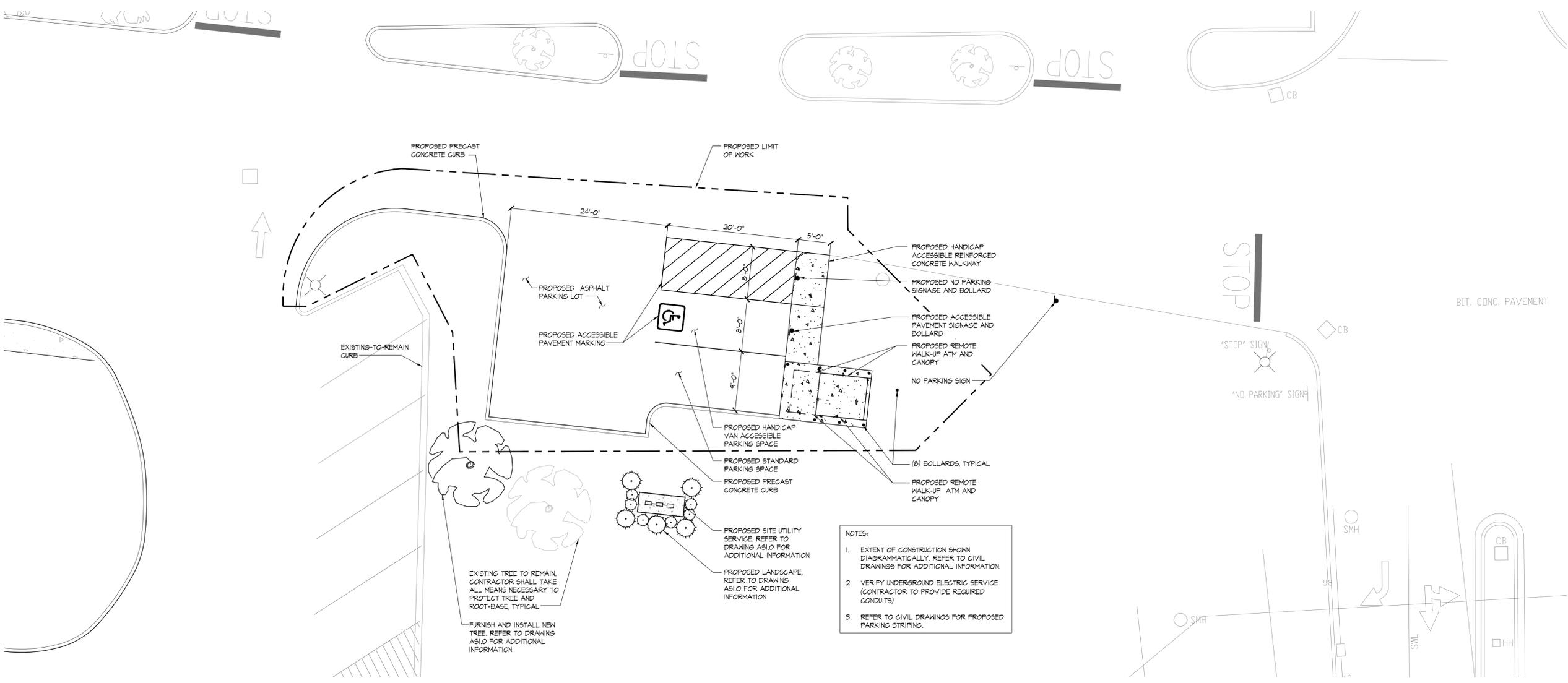
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SCALE: AS NOTED
DATE: 09/30/2020
DRAWN BY: MP
JOB NUMBER: 20-153

DRAWING NAME:
PROPOSED SITE TEST FIT PLAN AT WALK-UP ATM

DRAWING NUMBER:
A1.0

COMMENTS:



- NOTES:
1. EXTENT OF CONSTRUCTION SHOWN DIAGRAMMATICALLY. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 2. VERIFY UNDERGROUND ELECTRIC SERVICE (CONTRACTOR TO PROVIDE REQUIRED CONDUITS)
 3. REFER TO CIVIL DRAWINGS FOR PROPOSED PARKING STRIPING.

1 PARTIAL EXISTING SITE PLAN at PROPOSED WALK-UP ATM
 SCALE: 1/8" = 1'-0"
 SCALE IN FEET



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 PORTSMOUTH, NH 03801

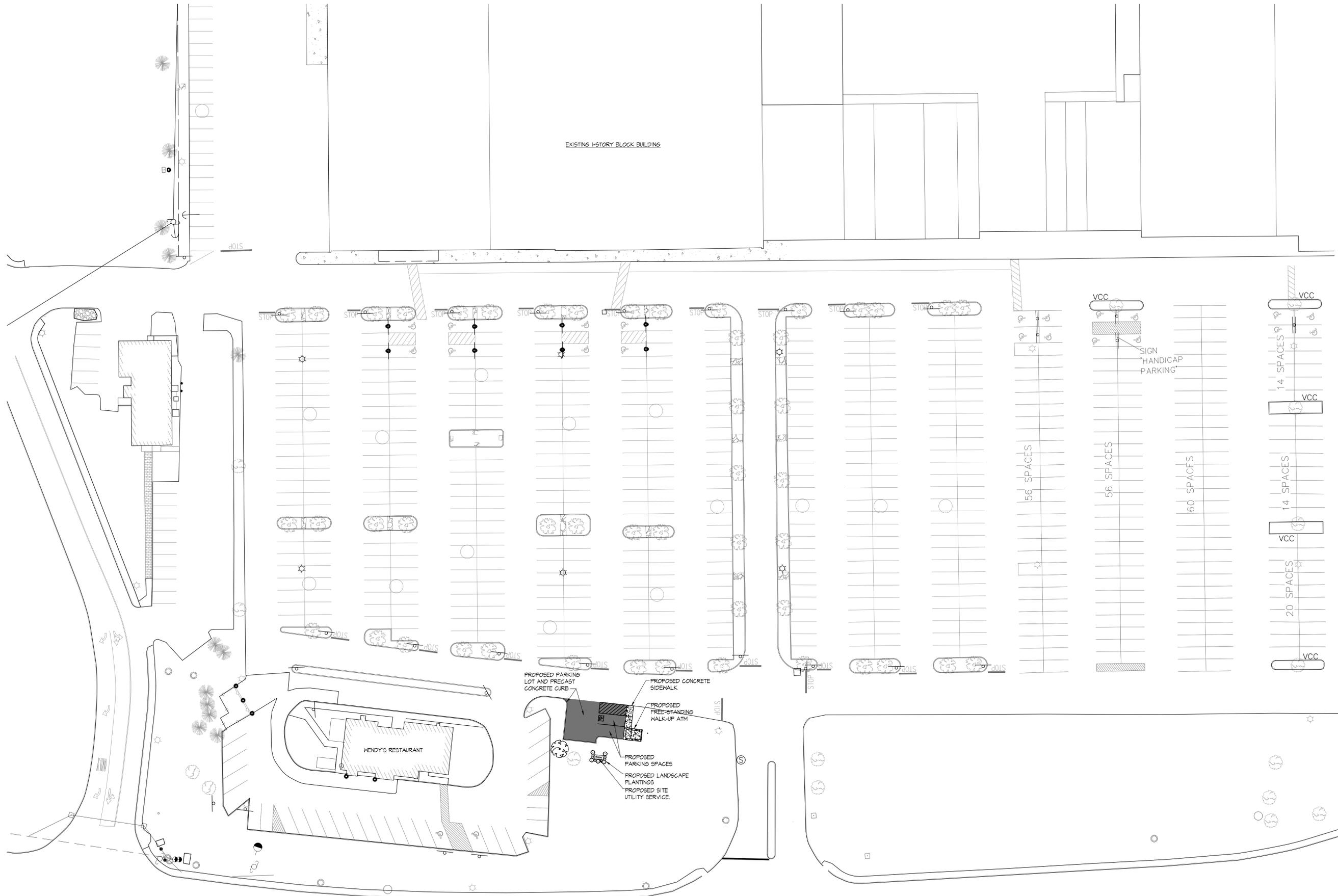
REVISIONS:
 TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED
 DATE: 09/30/2020
 DRAWN BY: MP
 JOB NUMBER: 20-153

DRAWING NAME:
PARTIAL EXISTING SITE PLAN AT PROPOSED WALK-UP ATM
 DRAWING NUMBER:

A1.1

COMMENTS:



EXISTING 1-STORY BLOCK BUILDING

KENDY'S RESTAURANT

WOODBURY AVENUE

PROPOSED PARKING LOT AND PREGAST CONCRETE CURB
 PROPOSED CONCRETE SIDEWALK
 PROPOSED FREE-STANDING WALK-UP ATM
 PROPOSED PARKING SPACES
 PROPOSED LANDSCAPE PLANTINGS
 PROPOSED SITE UTILITY SERVICE.

SIGN "HANDICAP PARKING"

56 SPACES

56 SPACES

60 SPACES

14 SPACES

20 SPACES

14 SPACES

14 SPACES



EXISTING SITE PLAN at PROPOSED FREE-STANDING WALK-UP ATM

SCALE: 1/32" = 1'-0"



SCALE IN FEET



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 PORTSMOUTH, NH 03801

REVISIONS:

▲ TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED

DATE: 09/30/2020

DRAWN BY: MP

JOB NUMBER: 20-153

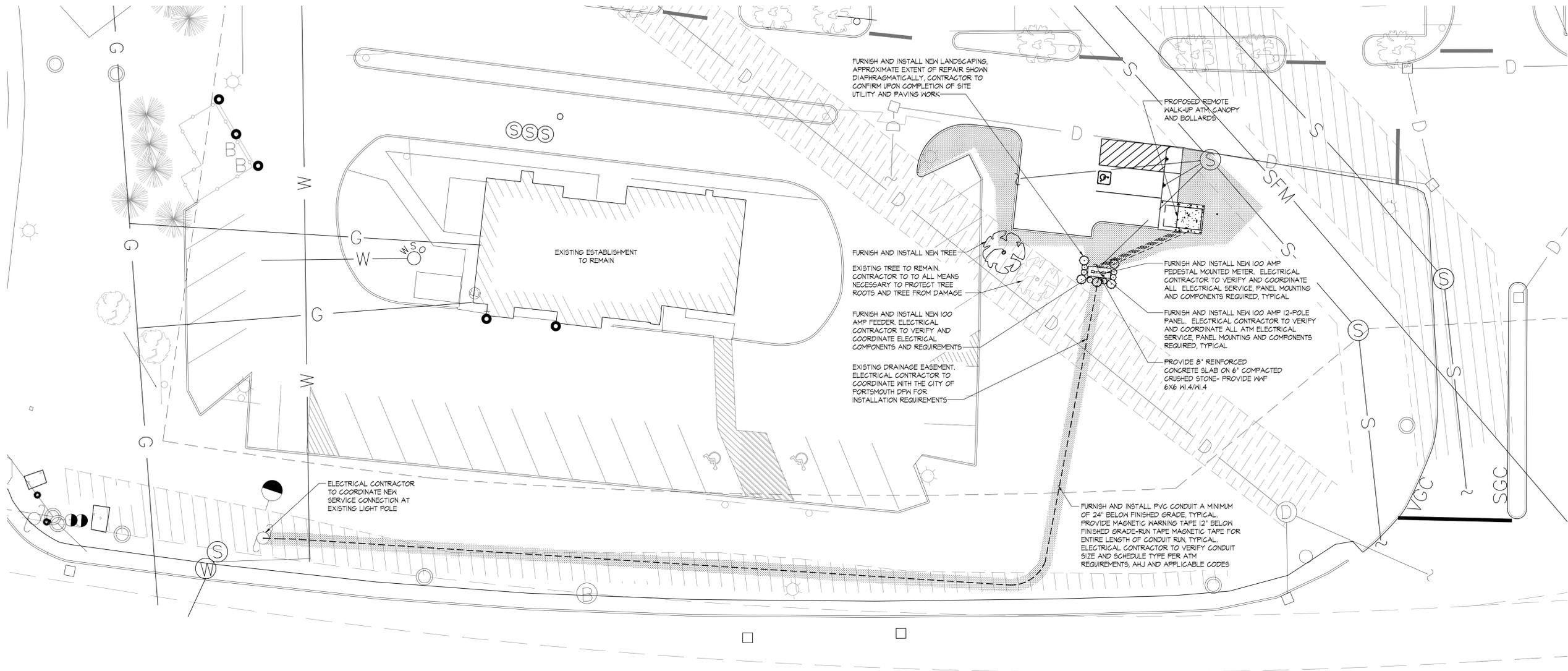
DRAWING NAME:

**EXISTING SITE PLAN
 AT PROPOSED
 FREE-STANDING
 WALK-UP ATM**

DRAWING NUMBER:

AS1.0

COMMENTS:



1 ARCHITECTURAL ELECTRICAL PARTIAL SITE PLAN
 A611 SCALE: 1/16" = 1'-0"



- GENERAL LANDSCAPING NOTES:**
1. THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
 2. ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
 3. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

PLANTING SCHEDULE:

	BAPTISIA-FALSE INDIGO:	6
	DWARF ALBERTA SPRUCE SHRUB:	5
	EASTERN REDBUD (GERGIS CANADENSIS):	1

- GENERAL ELECTRICAL NOTES:**
1. EXTENT OF CONDUIT RUNS AND ELECTRICAL COMPONENTS SHOWN DIAGRAMMATICALLY. ELECTRICAL CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK FOR ADDITIONAL INFORMATION. ANY WORK NOT SHOWN SHALL NOT RELIEVE THE ELECTRICAL CONTRACTOR OF RESPONSIBILITIES OF INSTALLING A COMPLETELY ACCEPTABLE CODE COMPLIANT INSTALLATION. THE GENERAL CONDITIONS SHOWN DIAGRAMMATICALLY SHALL BE CAREFULLY EXAMINED PRIOR TO COMMENCEMENT OF WORK. THE ELECTRICAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
 2. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY OUTLETS, MOUNTING HARDWARE AND SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, AND THE BEST PRACTICES OF THE TRADE FOR INSTALLATION OF ALL ELECTRICAL WORK. ANY ADDITIONAL CONCRETE HOUSEKEEPING PADS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND INCLUDED AS PART OF THE SCOPE OF WORK.
 3. SHOULD ANY WORK REQUIRE SUBSEQUENT MODIFICATIONS OR RE-LOCATIONS TO AVOID CONFLICTS OR INTERFERENCE WITH OTHER WORK OR EXISTING UTILITIES, THESE CHANGES SHALL BE CONDUCTED WITHOUT ADDITIONAL COST.
 4. ALTHOUGH ALL WIRING, CONTROLS BRANCH CIRCUITING AND CONDUIT IS NOT SHOWN, IT IS THE INTENT OF THIS DRAWING THAT A COMPLETE BRANCH CIRCUIT WIRING SYSTEM BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS.
 5. A GREEN GROUNDING CONDUCTOR SHALL BE RUN WITH ALL CIRCUITS. VERIFY CONDUIT SIZE TO ENSURE IT CAN ACCOMMODATE ALL PHASE, NEUTRAL AND GROUND CONDUCTORS.
 6. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL NEW SERVICE, WIRING AND GROUNDING REQUIREMENTS WITH ATM EQUIPMENT PRIOR TO COMMENCEMENT OF WORK. NO CLAIMS FOR EXTRA COSTS WILL BE ALLOWED BECAUSE OF LACK OF FULL KNOWLEDGE OF THE EXISTING CONDITIONS AND ATM EQUIPMENT UNLESS AGREED TO IN ADVANCED WITH THE OWNER/CONSTRUCTION MANAGER.
 7. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES AND STANDARDS.
 8. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL TYPEWRITTEN DIRECTORIES BENEATH TRANSPARENT PLASTIC COVERS IN METAL FRAMES IN ALL PANELS INDICATING TYPE AND LOCATION OF LOAD BEING SERVED BY INDIVIDUAL CIRCUIT BREAKER.
 9. ALL PARTS OF EQUIPMENT, INCLUDING BUT NOT LIMITED TO PANELS, JUNCTION BOXES, SAFETY SWITCHES, CIRCUIT BREAKERS AND CONDUCTORS, SHALL BE INDICATED BY NAME AT SUPPLY END AND AT LOAD END, TYPICAL.



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CITIZENS BANK
 REMOTE WALK-UP ATM
 1465 WOODBURY AVENUE
 PORTSMOUTH, NH 03801

REVISIONS:
 TAC REVIEW COMMENTS 11-10-20

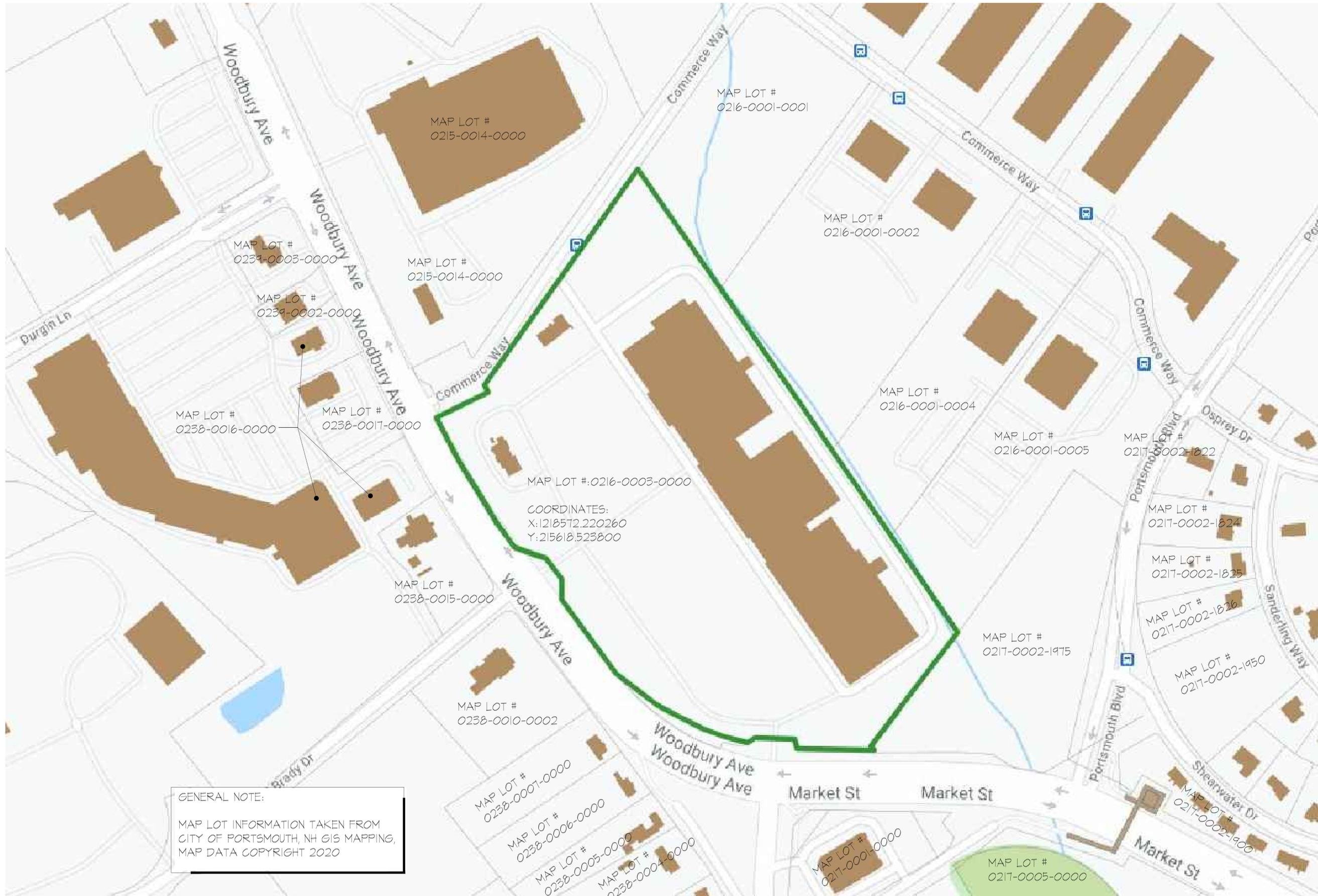
SCALE: AS NOTED
 DATE: 09/30/2020
 DRAWN BY: MP
 JOB NUMBER: 20-153

ARCHITECTURAL ELECTRICAL PARTIAL SITE PLAN

DRAWING NUMBER:

AS1.1

COMMENTS:



GENERAL NOTE:
 MAP LOT INFORMATION TAKEN FROM
 CITY OF PORTSMOUTH, NH GIS MAPPING,
 MAP DATA COPYRIGHT 2020

COORDINATES:
 X:1218572.220260
 Y:215618.523800



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REVISIONS:

▲ TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED

DATE: 09/30/2020

DRAWN BY: MP

JOB NUMBER: 20-153

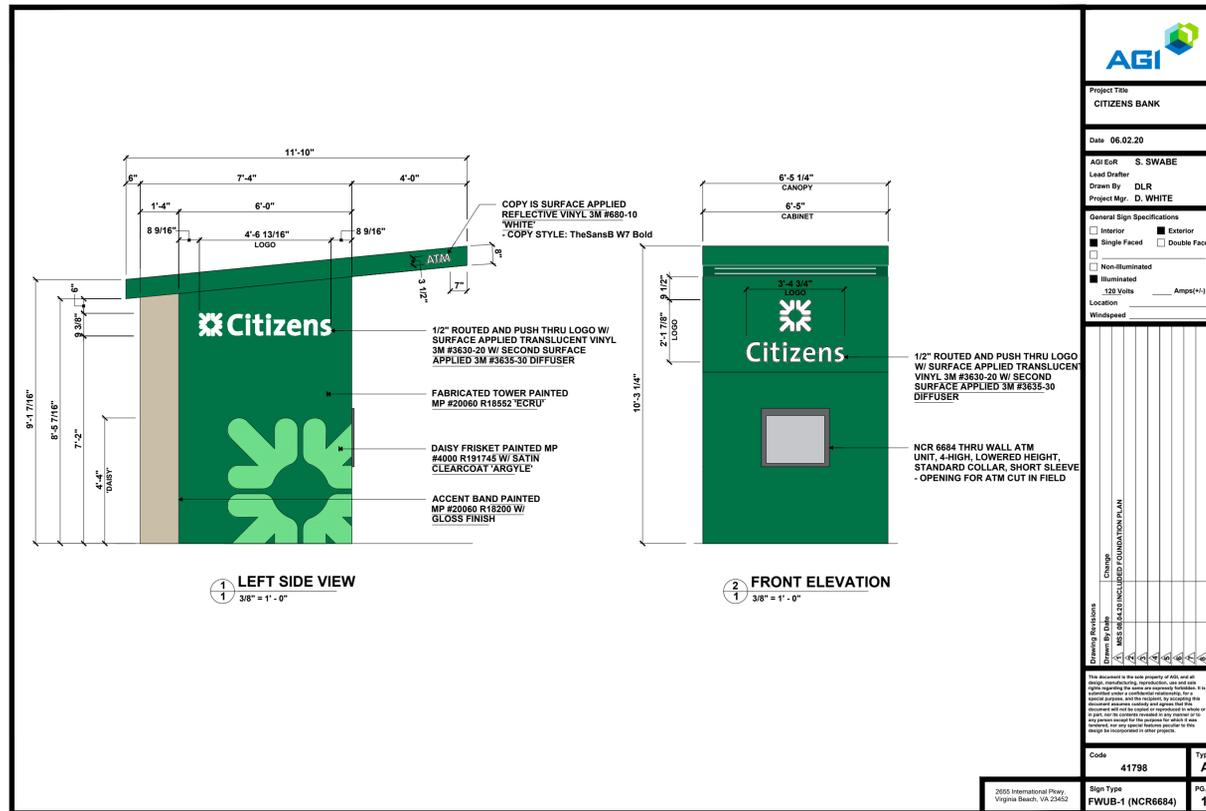
DRAWING NAME:

PARTIAL TAX MAP PLAN

DRAWING NUMBER:

AS1.2

COMMENTS:



AGI

Project Title: **CITIZENS BANK**

Date: 06.02.20

AGI Est: **S. SWABE**

Lead Drafts: **D.L.R.**

Drawn By: **DLR**

Project Mgr: **D. WHITE**

General Sign Specifications

Interior Exterior

Single Faced Double Faced

Non-Illuminated Illuminated

120 Volts Amps(+/-)

Location: _____

Windspeed: _____

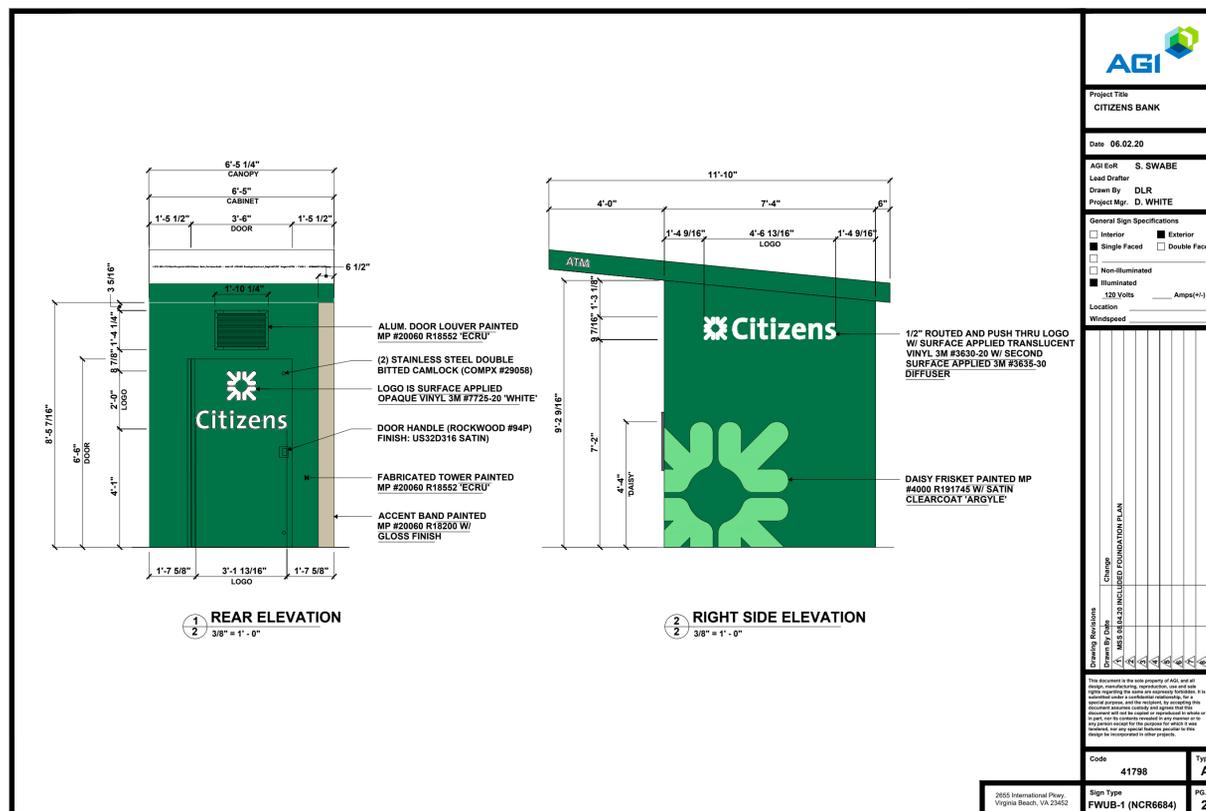
Change Log

Change	Drawn By	Date
1	M.S. DEBELIN	06/02/20

Code: 41798 Type: A

Sign Type: FWUB-1 (NCR6684) PG. #: 1

2655 International Pkwy, Virginia Beach, VA 23462



AGI

Project Title: **CITIZENS BANK**

Date: 06.02.20

AGI Est: **S. SWABE**

Lead Drafts: **D.L.R.**

Drawn By: **DLR**

Project Mgr: **D. WHITE**

General Sign Specifications

Interior Exterior

Single Faced Double Faced

Non-Illuminated Illuminated

120 Volts Amps(+/-)

Location: _____

Windspeed: _____

Change Log

Change	Drawn By	Date
1	M.S. DEBELIN	06/02/20

Code: 41798 Type: A

Sign Type: FWUB-1 (NCR6684) PG. #: 2

2655 International Pkwy, Virginia Beach, VA 23462



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 PORTSMOUTH, NH 03801

REVISIONS:
 TAC REVIEW COMMENTS 11-10-20

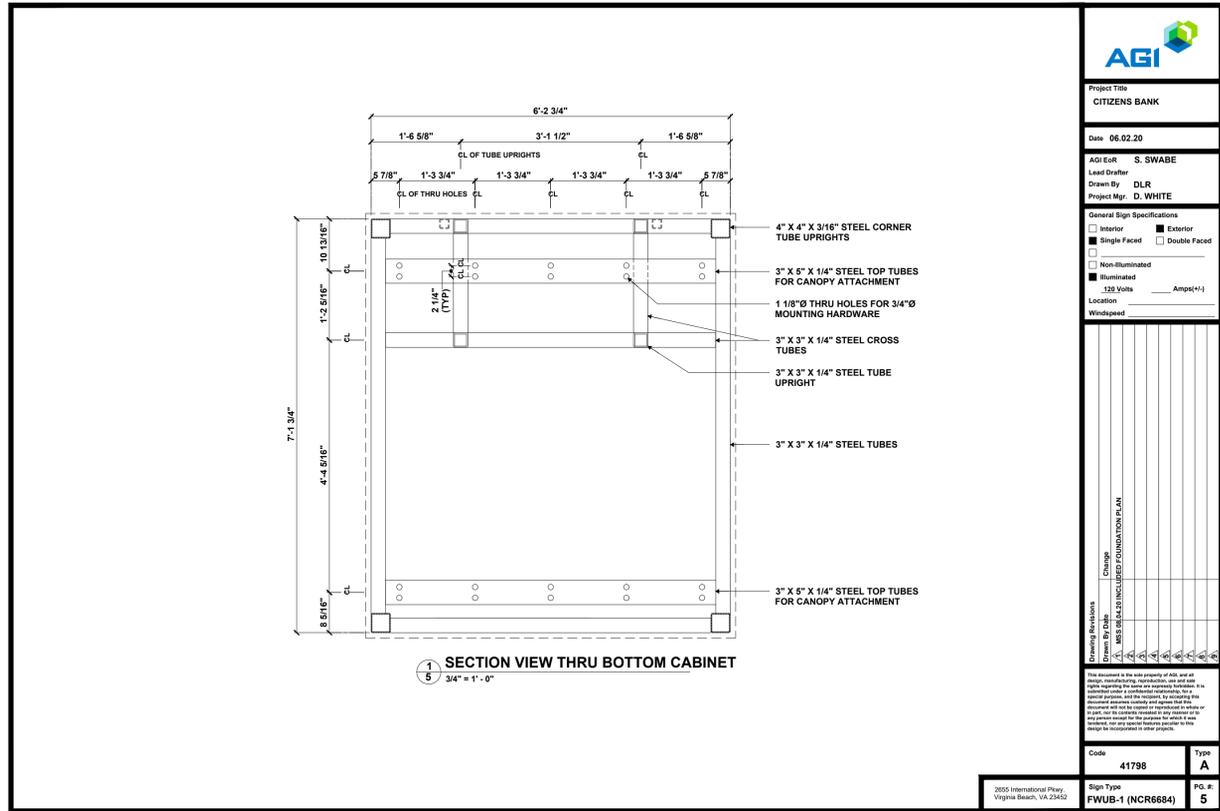
SCALE: AS NOTED
 DATE: 09/30/2020
 DRAWN BY: MP
 JOB NUMBER: 20-153

DRAWING NAME:
ATM STRUCTURE DETAILS

DRAWING NUMBER:

A2.0

COMMENTS:



Project Title
CITIZENS BANK

Date: 06.02.20

AGI EOR: S. SWABE
Lead Designer

Drawn By: DLR
Project Mgr.: D. WHITE

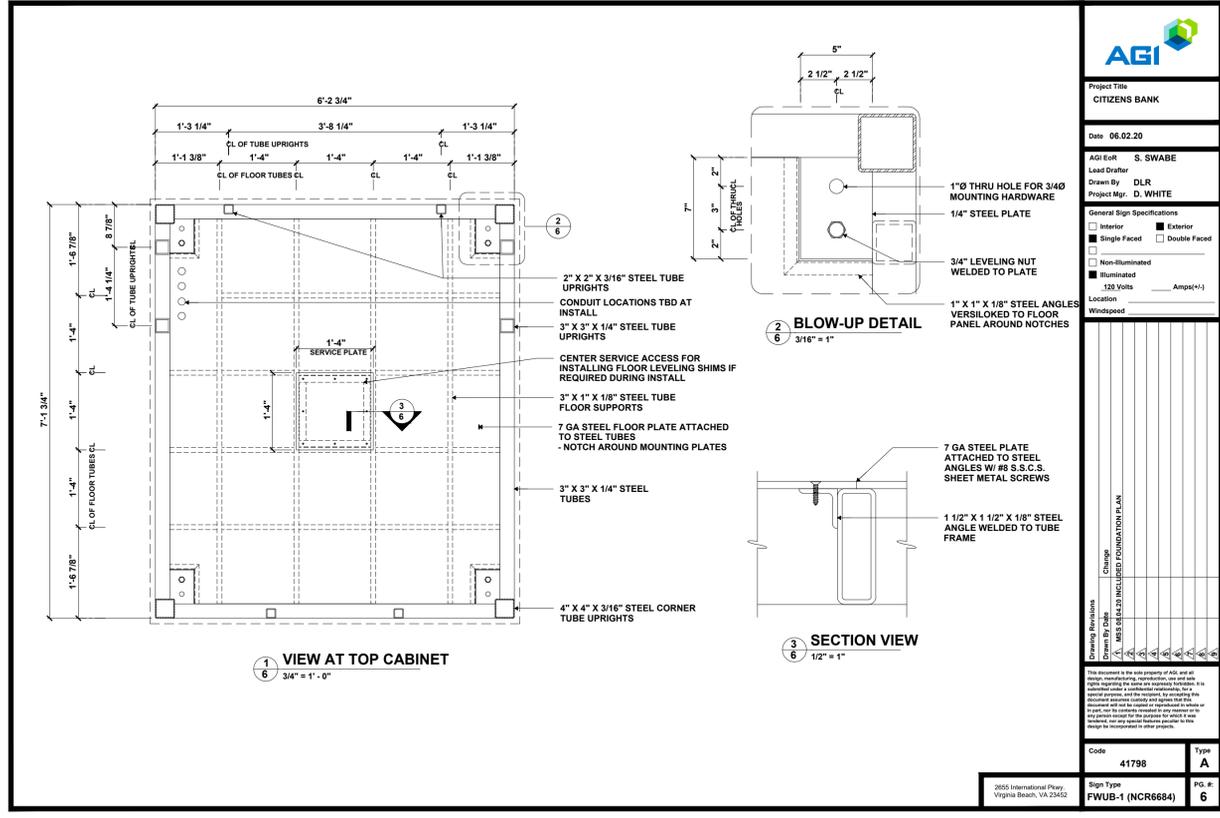
General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 120 Volts Amps(+/-)
 Location:
 Windspeed:

Change	Description
1	ISSUED FOR CONSTRUCTION

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Code: 41798 Type: A
 Sign Type: FWUB-1 (NCR6684) PG. #: 5

2055 International Place,
Virginia Beach, VA 23462



Project Title
CITIZENS BANK

Date: 06.02.20

AGI EOR: S. SWABE
Lead Designer

Drawn By: DLR
Project Mgr.: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 120 Volts Amps(+/-)
 Location:
 Windspeed:

Change	Description
1	ISSUED FOR CONSTRUCTION

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Code: 41798 Type: A
 Sign Type: FWUB-1 (NCR6684) PG. #: 6

2055 International Place,
Virginia Beach, VA 23462



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WWW.STARCKARCHITECTS.COM



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PORTSMOUTH, NH 03801

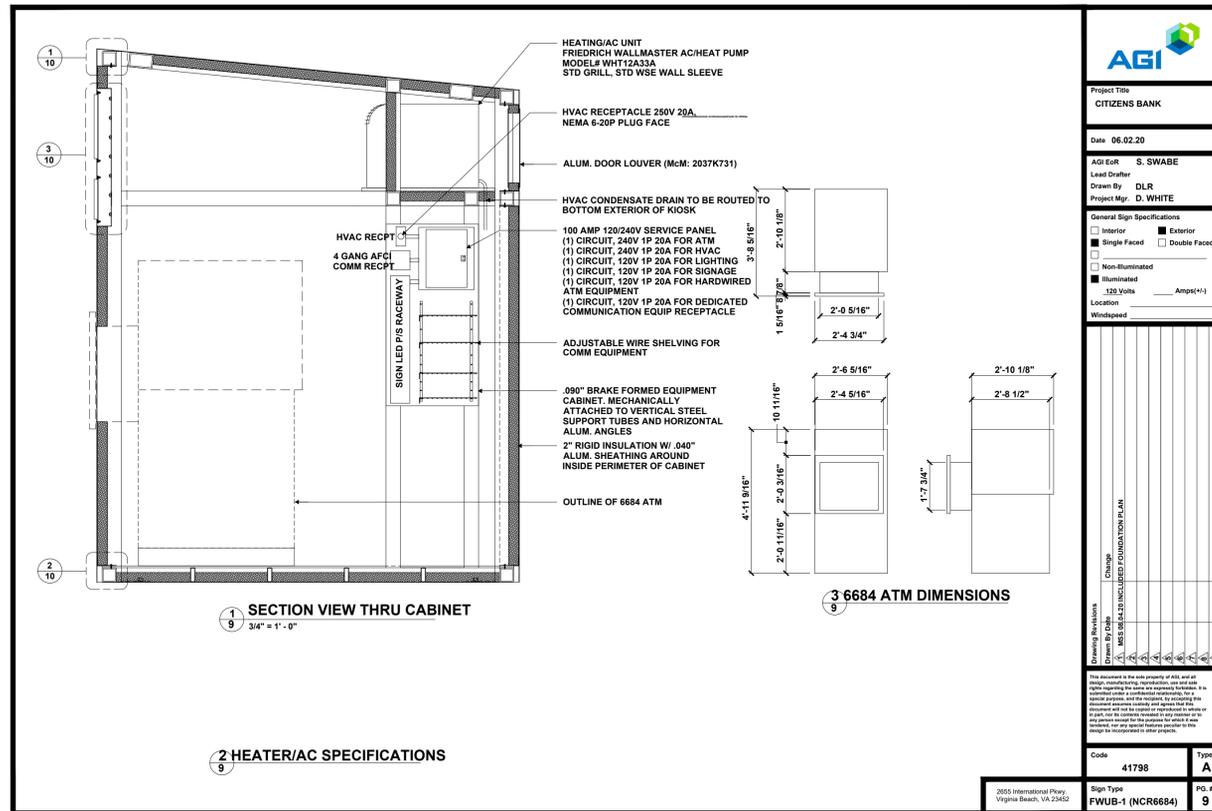
REVISIONS:
 TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED
 DATE: 09/30/2020
 DRAWN BY: MP
 JOB NUMBER: 20-153
 DRAWING NAME:
ATM STRUCTURE DETAILS

DRAWING NUMBER:

A2.2

COMMENTS:



AGI

Project Title
CITIZENS BANK

Date: 06.02.20

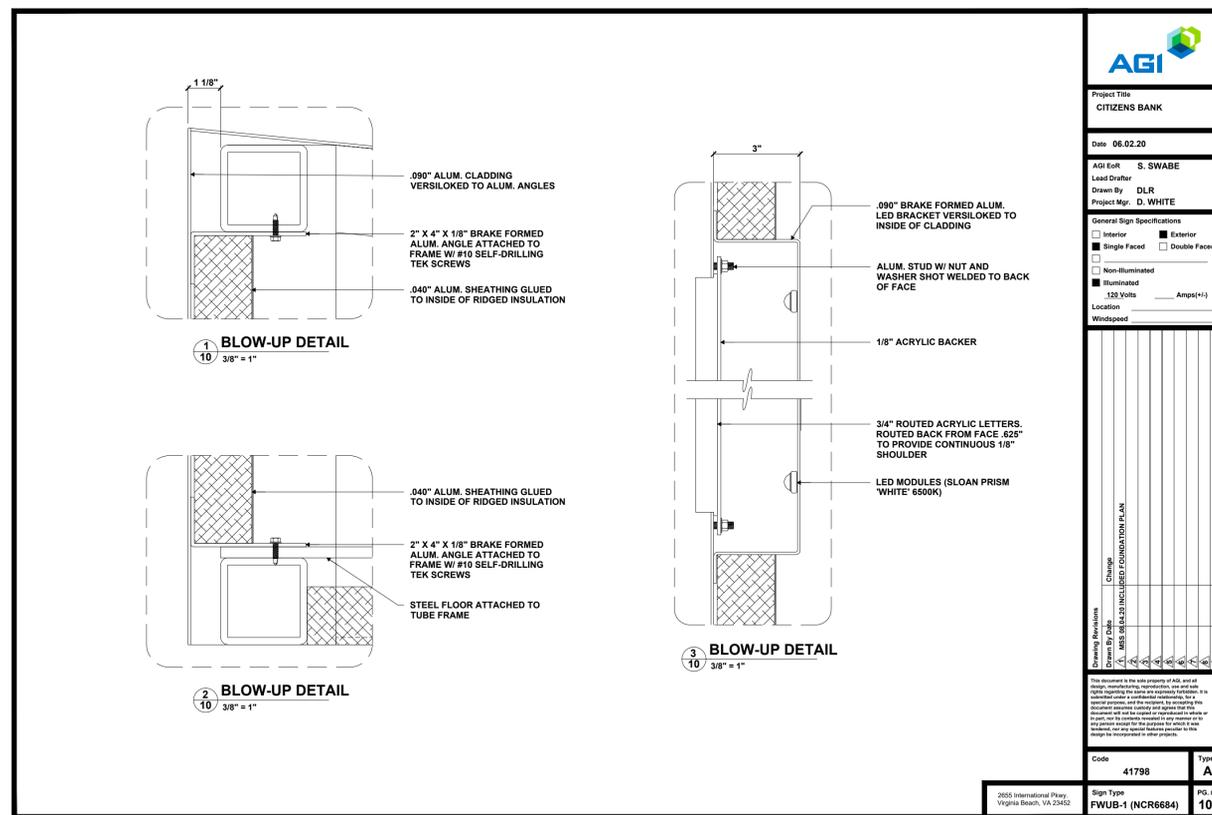
AGI EOR: S. SWABE
Lead Designer: DLR
Project Mgr: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 120 Volts Amps(+/-)
 Location
 Windspeed

Change Log
 1. MRS 06/14/20 INCLUDED FOUNDATION PLAN

Code: 41798 Type: A
 Sign Type: FWUB-1 (NCR6684) Pg. #: 9

2055 International Pkwy, Virginia Beach, VA 23462



AGI

Project Title
CITIZENS BANK

Date: 06.02.20

AGI EOR: S. SWABE
Lead Designer: DLR
Project Mgr: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 120 Volts Amps(+/-)
 Location
 Windspeed

Change Log
 1. MRS 06/14/20 INCLUDED FOUNDATION PLAN

Code: 41798 Type: A
 Sign Type: FWUB-1 (NCR6684) Pg. #: 10

2055 International Pkwy, Virginia Beach, VA 23462



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REVISIONS:
 TAC REVIEW COMMENTS 11-10-20

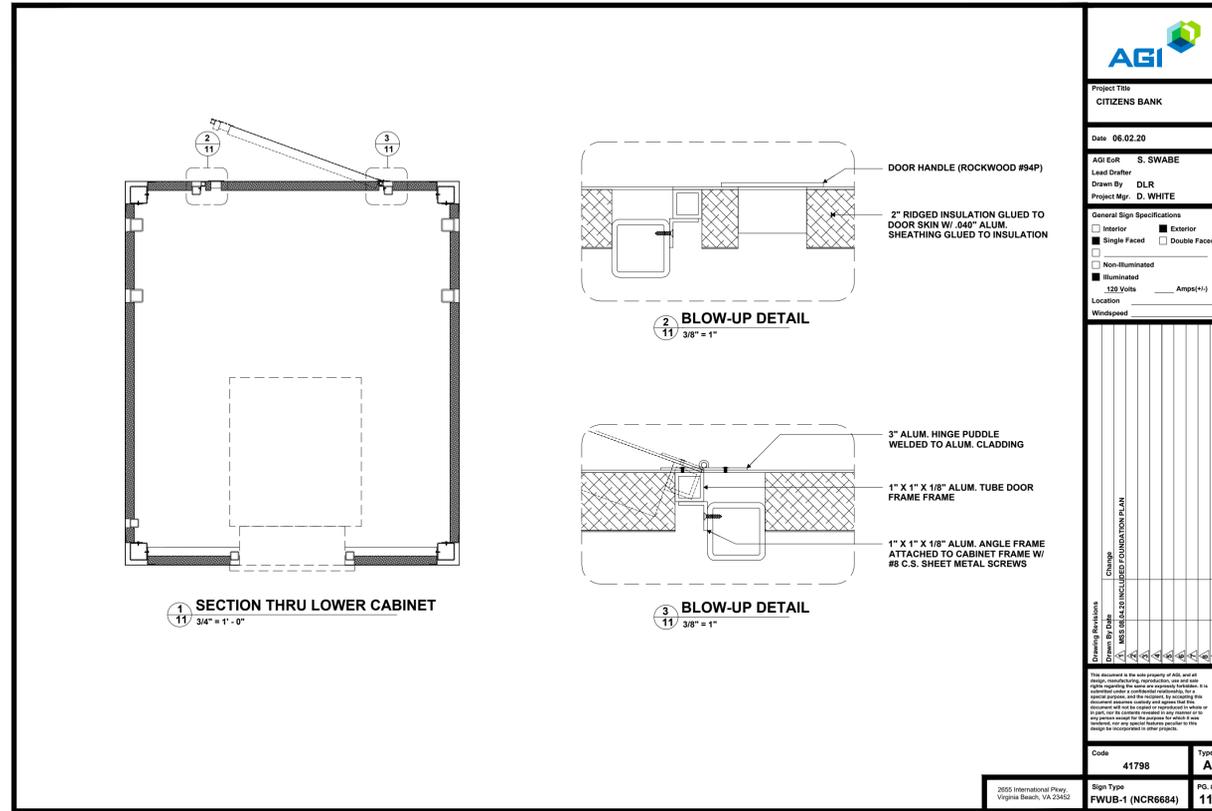
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 DRAWN BY: MP
 JOB NUMBER: 20-153

DRAWING NAME:
ATM STRUCTURE DETAILS

DRAWING NUMBER:

A2.4

COMMENTS:



AGI

Project Title
CITIZENS BANK

Date: 06.02.20

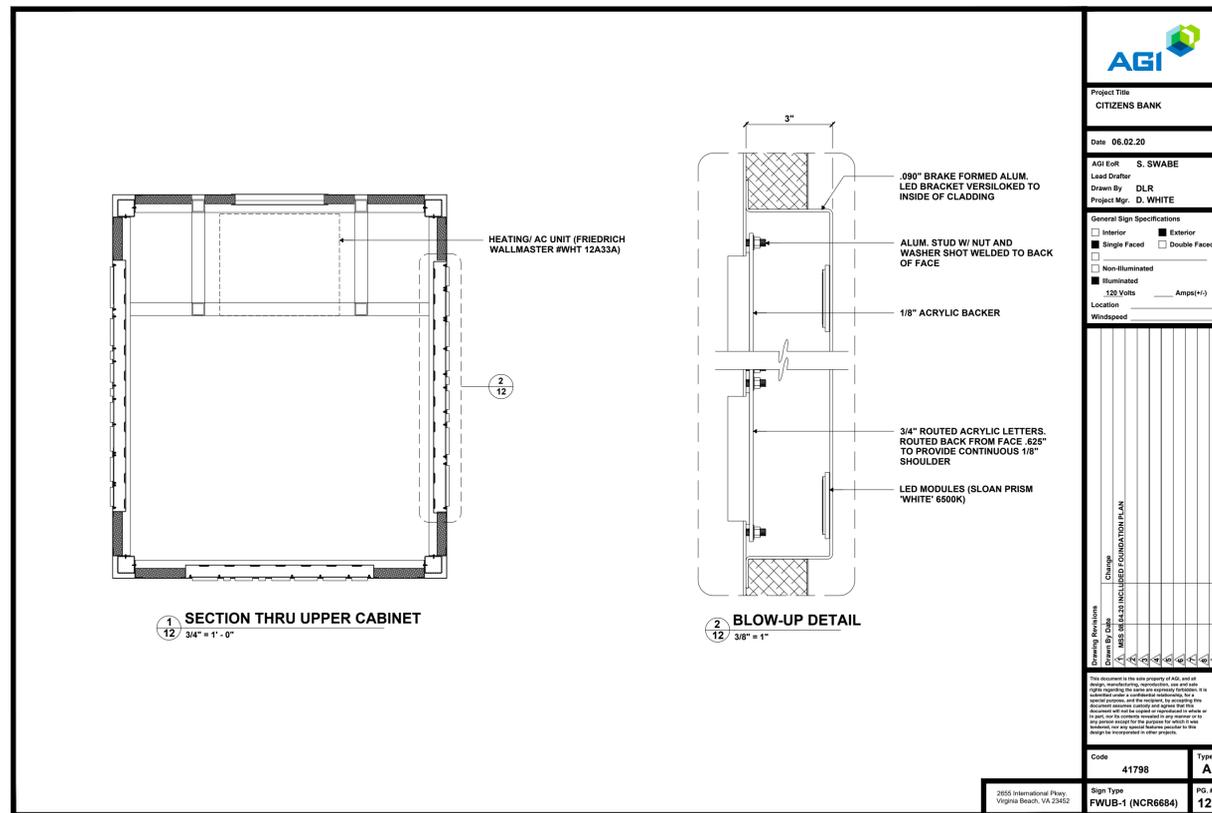
AGI EOR: S. SWABE
Lead Draftsman: DLR
Project Mgr.: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 120 Volts _____ Amps(+/-)
 Location: _____
 Windspeed: _____

Change Log
 1. MISE 06/23/20 INCLUDED FOUNDATION PLAN

Code: 41798 Type: A
 Sign Type: FWUB-1 (NCR6684) PG. #: 11

2855 International Place, Virginia Beach, VA 23462



AGI

Project Title
CITIZENS BANK

Date: 06.02.20

AGI EOR: S. SWABE
Lead Draftsman: DLR
Project Mgr.: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 120 Volts _____ Amps(+/-)
 Location: _____
 Windspeed: _____

Change Log
 1. MISE 06/23/20 INCLUDED FOUNDATION PLAN

Code: 41798 Type: A
 Sign Type: FWUB-1 (NCR6684) PG. #: 12

2855 International Place, Virginia Beach, VA 23462



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 PORTSMOUTH, NH 03801

REVISIONS:
 1. TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED
 DATE: 09/30/2020
 DRAWN BY: MP
 JOB NUMBER: 20-153
 DRAWING NAME:
ATM STRUCTURE DETAILS

DRAWING NUMBER:
A2.5

COMMENTS:

LED LAYOUT TBD

Project Title: CITIZENS BANK
Date: 06.02.20
AGI EOR: S. SWABE
Lead Designer: DLR
Project Mgr.: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 120 Volts _____ Amps(+/-)
 Location _____
 Windspeed _____

Change Log

Drawn By	Date	Description
DLR	06.02.20	ISSUED FOR FOUNDATION PLAN

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Code: 41798 **Type:** A
Sign Type: FWUB-1 (NCR6684) **PG. #:** 13

2055 International Plaza, Virginia Beach, VA 23462

1 CANOPY SHIPPING STAND ELEVATION
1/2" = 1'-0"

2 SIDE VIEW
1/2" = 1'-0"

CS 6" X 2.32 ALUM. CHANNEL
 12 - 13 X 5 1/2" LONG HEX. HEAD BOLT W/ FLAT WASHER, LOCK WASHER INTO CANOPY LIFTING ANGLE
 3/4" X 1" LONG SCHED. 40 STEEL SPACER TUBE
 3" X 3" X 3/16" STEEL TUBE UPRIGHT
 2" X 2" X 1/8" STEEL TUBE STIFFENER

Project Title: CITIZENS BANK
Date: 06.02.20
AGI EOR: S. SWABE
Lead Designer: DLR
Project Mgr.: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated
 Illuminated
 120 Volts _____ Amps(+/-)
 Location _____
 Windspeed _____

Change Log

Drawn By	Date	Description
DLR	06.02.20	ISSUED FOR FOUNDATION PLAN

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Code: 41798 **Type:** A
Sign Type: FWUB-1 (NCR6684) **PG. #:** 14

2055 International Plaza, Virginia Beach, VA 23462



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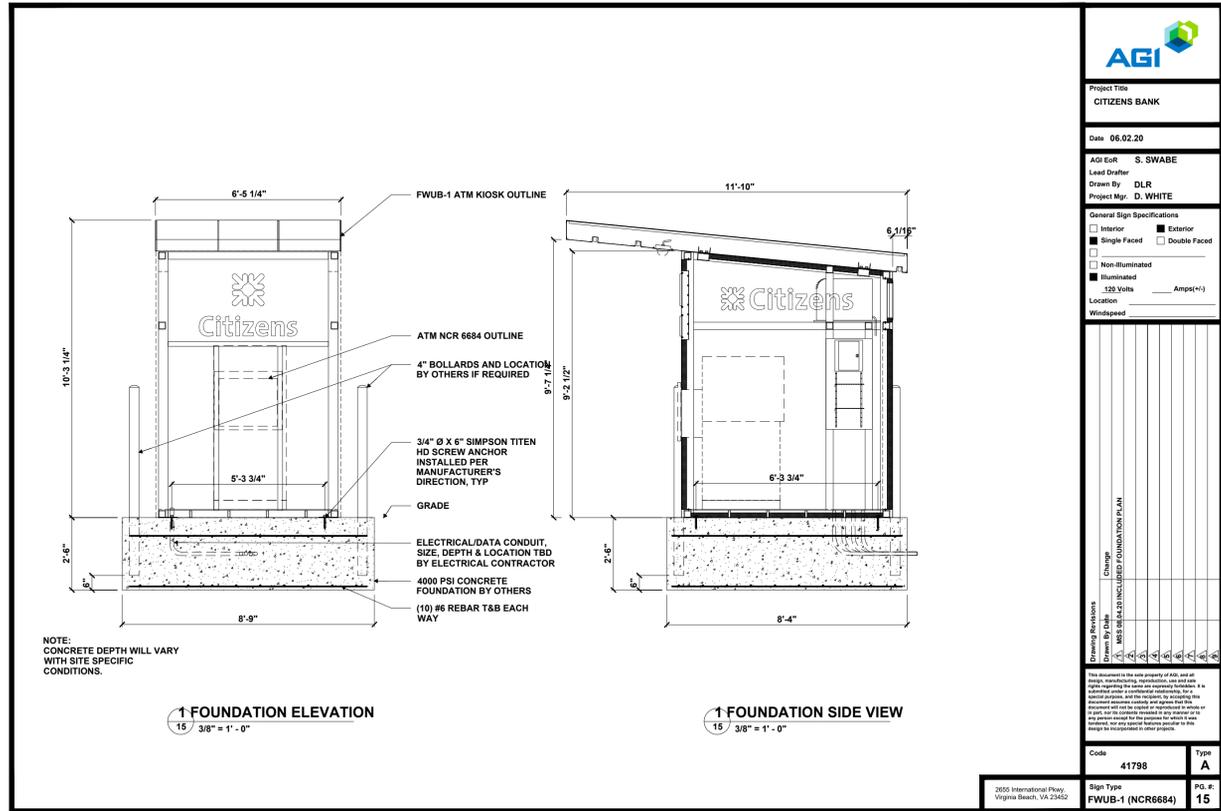
REVISIONS:
 TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED
DATE: 09/30/2020
DRAWN BY: MP
JOB NUMBER: 20-153
DRAWING NAME:
ATM STRUCTURE DETAILS

DRAWING NUMBER:

A2.6

COMMENTS:



AGI

Project Title
CITIZENS BANK

Date: 06.02.20

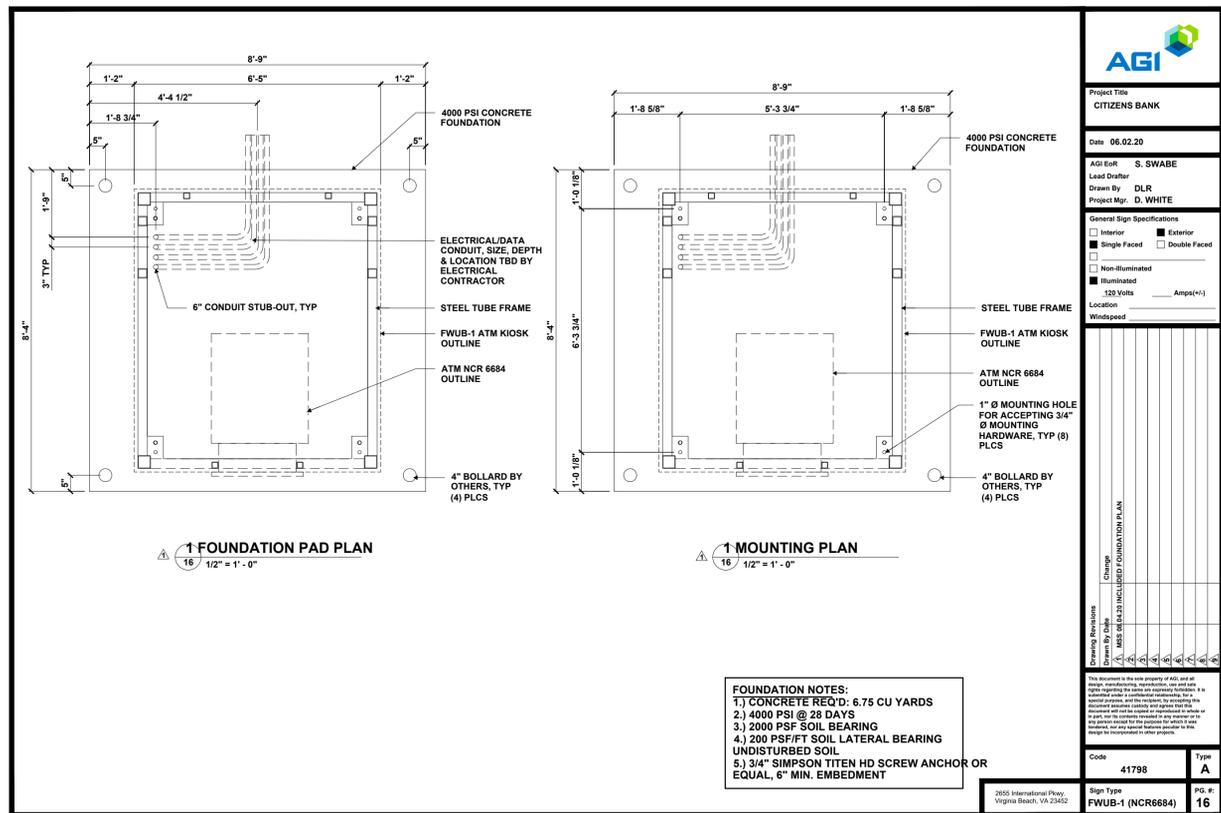
AGI Est: S. SWABE
Lead Draft: S. SWABE
Drawn By: DLR
Project Mgr: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated Illuminated
 Location: 120 Volts Amps(+/-)
 Windspeed

Change
 1. MISE DE LA SEULE FONDATION PL. AN.

Code: 41798 Type: A
 Sign Type: FWUB-1 (NCR6684) PG. #: 15

2005 International Pkwy,
Virginia Beach, VA 23462



AGI

Project Title
CITIZENS BANK

Date: 06.02.20

AGI Est: S. SWABE
Lead Draft: S. SWABE
Drawn By: DLR
Project Mgr: D. WHITE

General Sign Specifications
 Interior Exterior
 Single Faced Double Faced
 Non-Illuminated Illuminated
 Location: 120 Volts Amps(+/-)
 Windspeed

Change
 1. MISE DE LA SEULE FONDATION PL. AN.

Code: 41798 Type: A
 Sign Type: FWUB-1 (NCR6684) PG. #: 16

2005 International Pkwy,
Virginia Beach, VA 23462



WILLIAM STARCK ARCHITECTS, INC.
 126 COVE STREET
 FALL RIVER, MASSACHUSETTS 02720
 10 DORRANCE STREET, SUITE 700
 PROVIDENCE, RI 02903
 T: 508.679.5733
 F: 508.672.8556
 WWW.STARCKARCHITECTS.COM



CITIZENS BANK
 REMOTE WALK-UP ATM
 1465 WOODBURY AVENUE
 PORTSMOUTH, NH 03801

REVISIONS:
 TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED
 DATE: 09/30/2020
 DRAWN BY: MP
 JOB NUMBER: 20-153

DRAWING NAME:
ATM STRUCTURE DETAILS

DRAWING NUMBER:

A2.7

COMMENTS:

