

LOCUS



LOCATION OF WORK

LIST OF DRAWINGS

G1.0 - COVER SHEET	A2.0 - ATM STRUCTURE DETAILS
1 - EXISTING CONDITIONS PLAN, DEMO PLAN, NOTES & LEGEND	A2.1 - ATM STRUCTURE DETAILS
2 - LAYOUT PLAN	A2.2 - ATM STRUCTURE DETAILS
3 - GRADING, DRAINAGE, & UTILITY PLAN & DETAILS	A2.3 - ATM STRUCTURE DETAILS
A1.0 - PROPOSED SITE TEST FIT PLAN AT WALK-UP ATM	A2.4 - ATM STRUCTURE DETAILS
A1.1 - PARTIAL SITE PLAN AT PROPOSED WALK-UP ATM	A2.5 - ATM STRUCTURE DETAILS
AS1.0 - ARCHITECTURAL ELECTRICAL PARTIAL SITE PLAN	A2.6 - ATM STRUCTURE DETAILS
	A2.7 - ATM STRUCTURE DETAILS
	A2.8 - ATM STRUCTURE DETAILS

GENERAL NOTES

1. THE CONTRACTOR SHALL BE LICENSED IN THE STATE OF NEW HAMPSHIRE AND FULLY INSURED AS REQUIRED BY APPLICABLE LAWS.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER, HIS SUBCONTRACTORS & APPLICABLE DISCIPLINES, SUCH AS, BUT NOT LIMITED TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM SITE AND REMOVE AND DISPOSE DAILY.
4. CONTRACTORS SHALL VISIT THE SITE AND CAREFULLY EXAMINE THE AREAS IN QUESTION AS TO CONDITIONS WHICH MAY ADVERSELY AFFECT PROPER EXECUTION OF THE WORK. ALL DIMENSIONS AND QUANTITIES SHALL BE DETERMINED OR VERIFIED BY THE CONTRACTOR. NO CLAIMS FOR EXTRA COSTS WILL BE ALLOWED BECAUSE OF LACK OF FULL KNOWLEDGE OF THE EXISTING CONDITIONS UNLESS AGREED TO IN ADVANCE WITH THE OWNER &/OR ARCHITECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DEMOLITION REQUIRED FOR A COMPLETE AND PROPER JOB, WHETHER OR NOT REFERENCE IS MADE BY WAY OF NOTES AND DESIGNATIONS.
6. ALL WORK SHALL COMPLY WITH OSHA, FEDERAL, STATE BUILDING, AND FIRE AND LIFE/SAFETY CODES, WHICHEVER IS MOST STRINGENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND EXAMINING THE EXISTING SYSTEMS, MATERIALS, EQUIPMENT AND OTHER RELATED ITEMS OF WORK PRIOR TO SUBMITTING BID AND PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ACCEPT RESPONSIBILITY FOR DIMENSIONAL CORRECTNESS.
9. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE AREA(S) DESIGNATED BY THE OWNER.
10. REPAIR/RESTORE, TO ORIGINAL/NEW CONDITION, AT NO COST TO THE OWNER, ALL EXISTING ITEMS, MATERIALS, SURFACES, ETC. (INCLUDING AREAS NOT DESIGNATED FOR NEW CONSTRUCTION SHOWN ON THE DRAWINGS) WHICH ARE DAMAGED DURING CONSTRUCTION. ALL RELATED COSTS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. REPAIR EXISTING PAVING AND CURBING DAMAGED BY THIS CONTRACTOR DURING CONSTRUCTION. SAW-CUT EXISTING PAVING FOR CONTINUITY MATCH.
12. ANY WORK WHICH DEVIATES FROM THAT SPECIFIED IN THE CONTRACT DOCUMENTS, CHANGED BY THE CONTRACTOR, INVOLVING THE SUBSTITUTION OF MATERIALS/EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
13. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRIERS, BARRICADES, PROTECTION, SIGNAGE, LIGHTING, ETC. AS REQUIRED TO ENSURE AND MAINTAIN SAFE ACCESS/EGRESS THROUGHOUT THE BUILDING SITE.
14. DELAYS CAUSED BY IMPROPER PLANNING WILL NOT BE TOLERATED, NOR ACCEPTABLE. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR UNNECESSARY DELAYS IN THE CONTRACT.
15. CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK ABOVE AND BEYOND THAT SPECIFIED IN THESE CONTRACT DOCUMENTS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. CONTRACTOR SHALL OTHERWISE DO SO AT HIS OWN EXPENSE.
16. IN CASE OF CONFLICT OR CONFUSION WHERE THE CONTRACTOR DID NOT REQUEST CLARIFICATION PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL INTERPRET THE CONTRACT DOCUMENTS TO REQUIRE THE GREATER QUANTITY, HIGHER QUALITY, MOST RESTRICTIVE, AND MOST EXPENSIVE OF THE POSSIBLE INTERPRETATIONS.
17. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY VISUAL AND PROTECTIVE PARTITIONS AROUND CONSTRUCTION AS MAY BE NECESSARY TO ASSURE THE SAFETY OF ALL PERSONS AUTHORIZED OR UNAUTHORIZED. ALL PARTITIONS ARE TO BE CONSTRUCTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL LAWS, CODES OR REGULATIONS.
18. THE G.C. SHALL ENSURE ADEQUATE DUST-CONTROL MEASURES, SUCH AS, BUT NOT LIMITED TO POLYETHYLENE SHEETING/TAPING, TEMPORARY PARTITIONING, ETC. ARE PRACTICED FOR THE DURATION OF THE PROJECT. G.C. SHALL BE RESPONSIBLE FOR ALL CLEANING MEASURES, TO RESTORE SUCH AREAS TO ORIGINAL/ NEW CONDITION (INCLUDING DRAINAGE SYSTEMS, ROOF, ETC.).

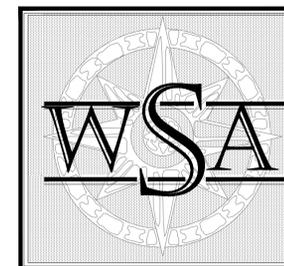
Citizens Bank

WALK-UP ATM

1465 WOODBURY AVENUE
PORTSMOUTH, NH 03801

ISSUED FOR PERMIT

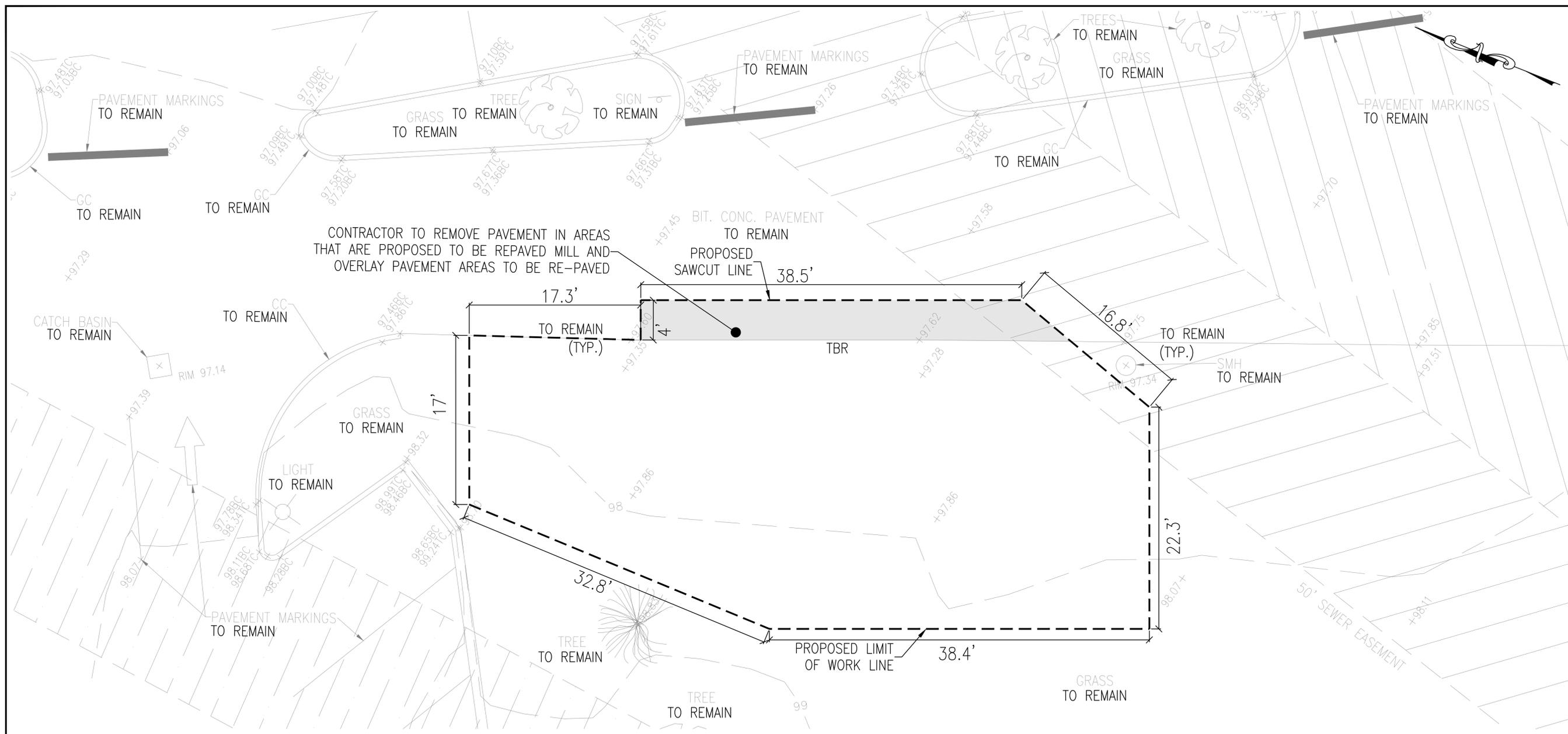
SEPTEMBER 30, 2020



WILLIAM STARCK
ARCHITECTS, INC.

126 COVE STREET
FALL RIVER MASSACHUSETTS, 02720

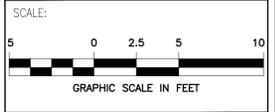
10 DORRANCE STREET, SUITE 700
PROVIDENCE, RI 02903



CONSTRUCTION PLANS

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		



DESIGNED BY: TMF
CHECK BY: PRH

SEAL:

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PORTSMOUTH, NH 03801

PREPARED BY:

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SHEET:

EXISTING CONDITIONS PLAN, DEMO PLAN, NOTES & LEGEND

1

CDG PROJECT #: 20032
DATE: 09/24/2020



LOCUS PLAN
SCALE: 1"=100±

SUMMARY OF WORK

THE WORK SHOWN ON THIS PLAN REPRESENTS VARIOUS IMPROVEMENTS TO AN EXISTING PARKING LOT. THE FOLLOWING IS A SUMMARY OF MAJOR WORK ITEMS:

- SAWCUT/REMOVE A PORTION OF THE PARKING LOT AND GRASSSED AREA.
- INSTALL NEW ATM, CONCRETE PAD, AND ELECTRICAL SERVICE.
- RE-PAVE THE REMOVED SECTION OF PARKING LOT AND INSTALL NEW PAVEMENT AND CURBING.
- PLACE LOAM & SEED WITHIN DISTURBED LANDSCAPED AREAS.
- ALL OTHER INCIDENTAL WORK NECESSARY TO ACCOMMODATE PROPOSED WORK AND ADHERE TO THE PROPOSED FINAL PRODUCT INCLUDING ADJUSTMENT OF ANY DRAINAGE AND UTILITY STRUCTURES TO MATCH NEW FINISHED GRADE.

SURVEY NOTES

1. EXISTING CONDITIONS BASED ON A LIMITED FIELD SURVEY PERFORMED BY DOUGLAS DESIGN GROUP ON SEPTEMBER 17, 2020.
2. THE VERTICAL DATUM OF THIS SURVEY IS AN ASSUMED DATUM OF 100.00 PER AN EXISTING BENCHMARK STAKE AND NAIL.
3. UTILITY LOCATIONS, AS SHOWN HEREON, ARE BASED ON VISIBLE OBSERVED SURFACE EVIDENCE (SUB-SURFACE UTILITY RESEARCH & FIELD INVESTIGATION WERE NOT PERFORMED AS PART OF THIS SURVEY). CONTACT DIG-SAFE BEFORE PLANNING ANY CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO CONSTRUCTION.

PARKING NOTE

1. THIS PLAN RESULTS IN THE ADDITION OF 2 ON-SITE PARKING SPACES.

PROJECT NOTES

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
2. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
3. SOLID LINES SHALL BE 4" IN WIDTH (SEE PLAN FOR LENGTH & COLOR). TRAFFIC STRIPING SHALL CONSIST OF 4" SOLID LINES ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3' ON CENTER.
4. ANY REMOVAL/APPLICATION OF PAVEMENT MARKINGS AND STRIPING SHALL BE PERFORMED IN THE FOLLOWING MANNER:
 - THE CONTRACTOR SHALL REMOVE 100% OF THE PAINT IN A MANNER THAT DOES NOT CAUSE EXCESSIVE NOISE/DEBRIS/DISRUPTION TO CUSTOMERS. NO RESIDUAL PAINT SHALL REMAIN.
 - ACCEPTABLE METHODS OF REMOVAL INCLUDE WATER BLASTING AND GRINDING.
 - UNACCEPTABLE METHODS OF REMOVAL INCLUDE BLACKING OUT, CHEMICAL METHODS, AND GAS-BLASTING.
5. ANY DRAINAGE AND UTILITY STRUCTURES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
6. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS. SHALL BE PERFORMED BY A TOWN BONDED CONTRACTOR, AND SHALL REQUIRE A STREET AND TRENCH OPENING PERMIT FROM THE HIGHWAY DIVISION.
7. THE CONTRACTOR SHALL PROTECT ANY EXISTING IRRIGATION SYSTEM(S) DURING CONSTRUCTION AND RECONFIGURE SUCH SYSTEM(S) AS NECESSARY TO ACCOUNT FOR THE PROPOSED WORK.
8. EXISTING TREES AND SHRUBS SHALL BE PROTECTED DURING CONSTRUCTION.
9. ALL DISTURBED LANDSCAPED AREAS SHALL BE RESTORED IN KIND. LOAM LAYER SHALL BE A MINIMUM OF 4" THICK.
10. PROPOSED AREA OF DISTURBANCE = 1,800± SQUARE FEET

ABBREVIATIONS

ABBREVIATION	DESCRIPTION
BC	BOTTOM OF CURB
BCC	BITUMINOUS CONCRETE CURB
BIT.	BITUMINOUS
BR	BEGIN REVEAL
BW	BOTTOM OF WALL
CB	CONCRETE CURB
CC	CAPE COD BERM
CCB	CHAIN LINK FENCE
CLF	CONCRETE
CLF CONC.	CONCRETE
CJ	CONTROL JOINT
CV	CONTROL VALVE
DW	DETECTABLE WARNING
ELEC	ELECTRIC
ETR	EXISTING TO REMAIN
EX.	EXISTING
FF	FINISHED FLOOR
GPM	GAS PAVEMENT MARKINGS
GV	VERTICAL GRANITE CURB
GY	GATE VALVE
HH	HANDHOLE
IRRIG	IRRIGATION
LOR	LIMIT OF CURB REMOVAL
LL	LEVEL LANDING
L.O.W.	LIMIT OF WORK
LL	LIGHT POLE
MCC	MONOLITHIC CONCRETE CURB
ME	MATCH EXISTING
OHW	OVERHEAD WIRES
PCC	PRECAST CONCRETE CURB
PR	PROPOSED
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FEET
SQC	SLOPED GRANITE CURB
SWSL	SINGLE WHITE SOLID LINE
SYSL	SINGLE YELLOW SOLID LINE
SBSL	SINGLE BLUE SOLID LINE
TBR	TO BE REMOVED
TC	TOP OF CURB
TW	TOP OF WALL

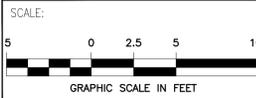
LEGEND

EXISTING	PROPOSED	DESCRIPTION
99	99	CONTOUR
x 99.50	99.50	SPOT GRADE
	X'R	X-FOOT RADIUS
		CEMENT CONCRETE
		UTILITY POLE
		LIGHT POLE
		SIGN
		BUILDING WALL
		FLOW ARROW
		CATCH BASIN
DMH		DRAIN MANHOLE
SMH		SEWER MANHOLE
WG		WATER GATE
		MILL & OVERLAY



REVISIONS:

REV	DATE	COMMENT
1		
2		
3		



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PREPARED BY:

PROPOSED ATM
 1465 WOODBURY AVENUE
 PORTSMOUTH, NH 03801

PREPARED BY:

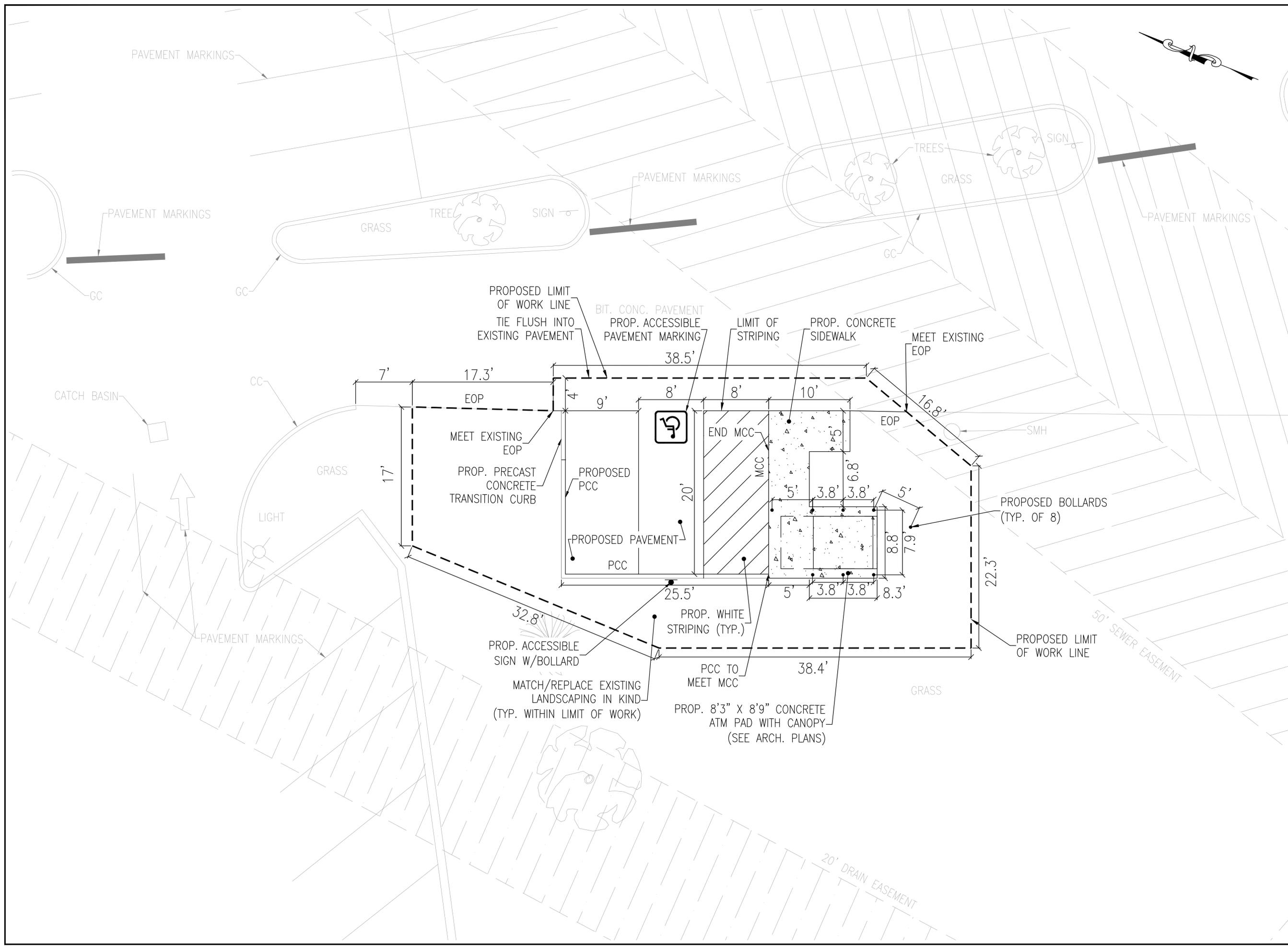
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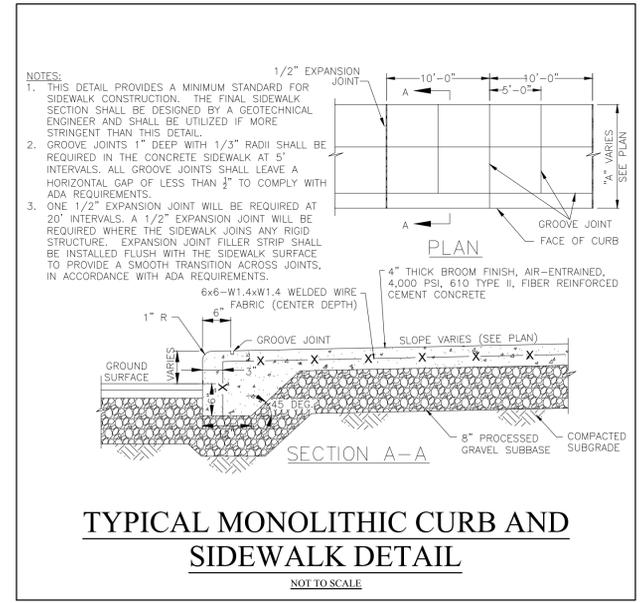
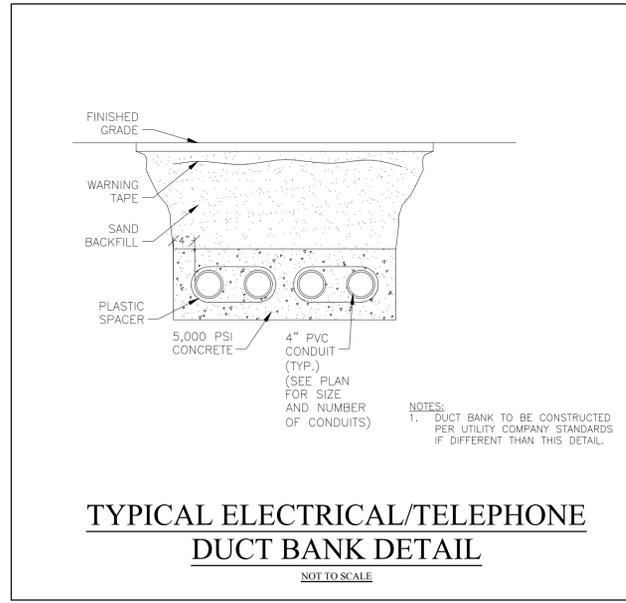
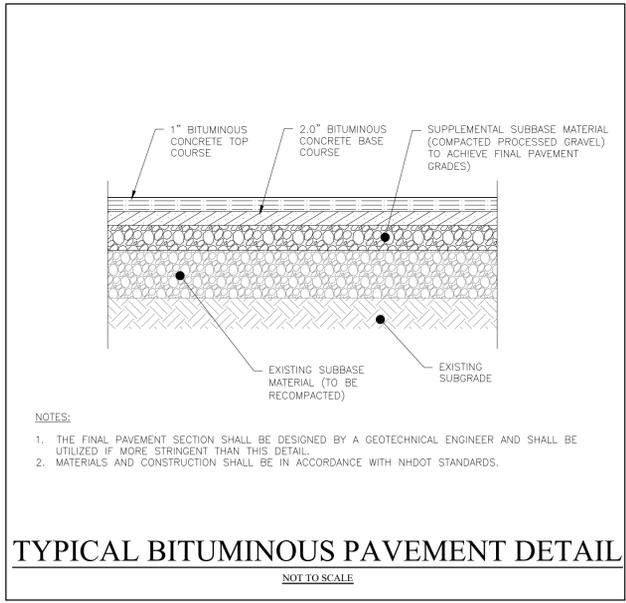
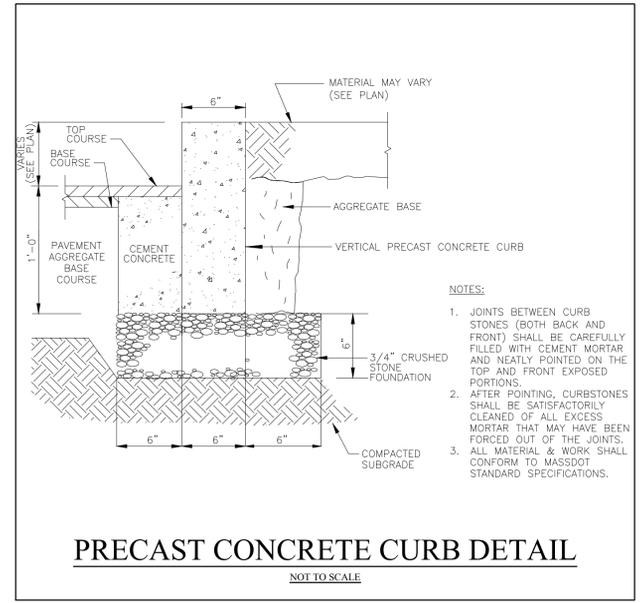
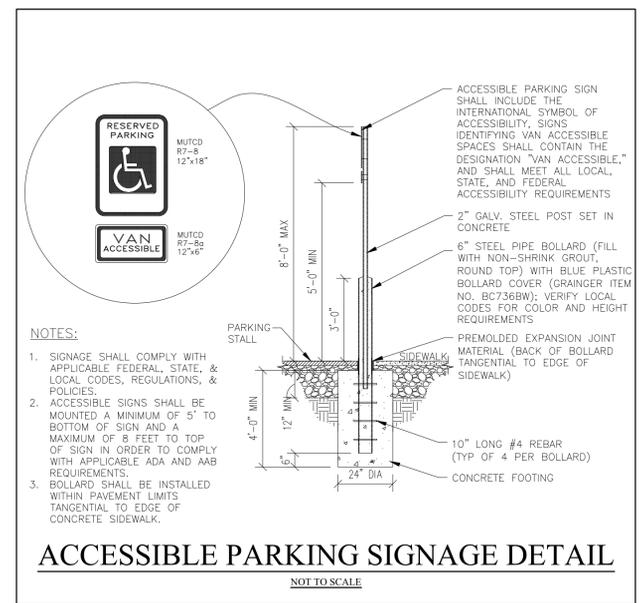
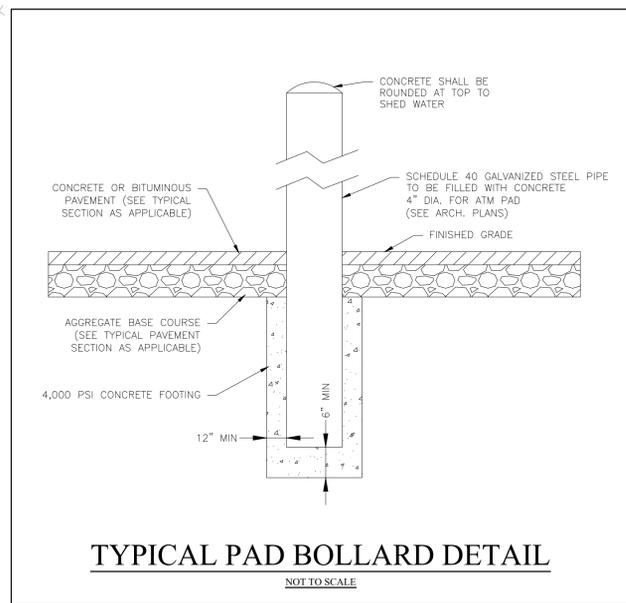
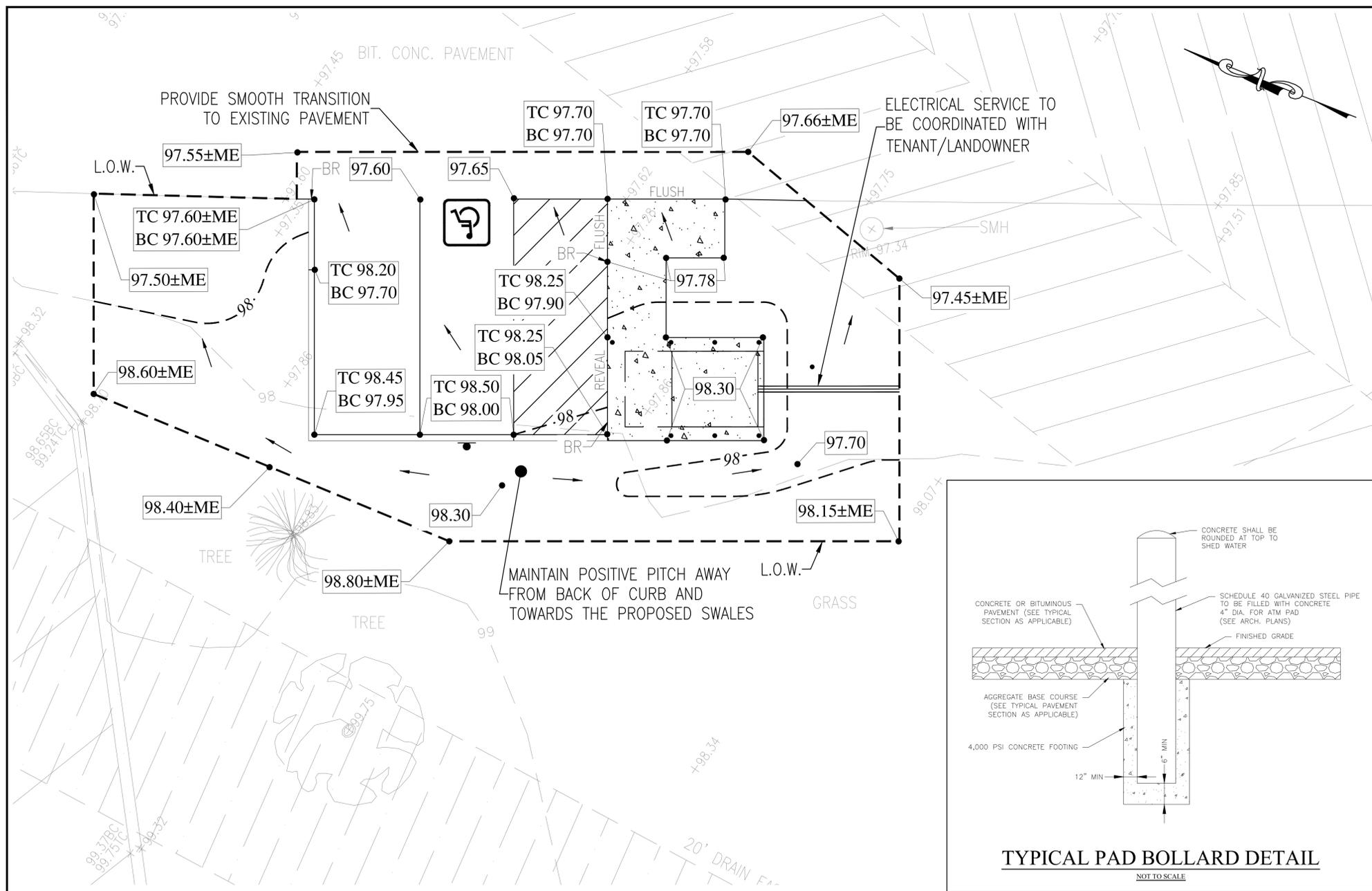
SHEET:

LAYOUT PLAN

2

CDG PROJECT #: 20032
 DATE: 09/24/2020

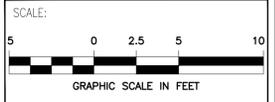




CONSTRUCTION PLANS

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		



DESIGNED BY: TMF
CHECK BY: PRH

SEAL:

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PROJECT:

PROPOSED ATM
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PORTSMOUTH, NH 03801

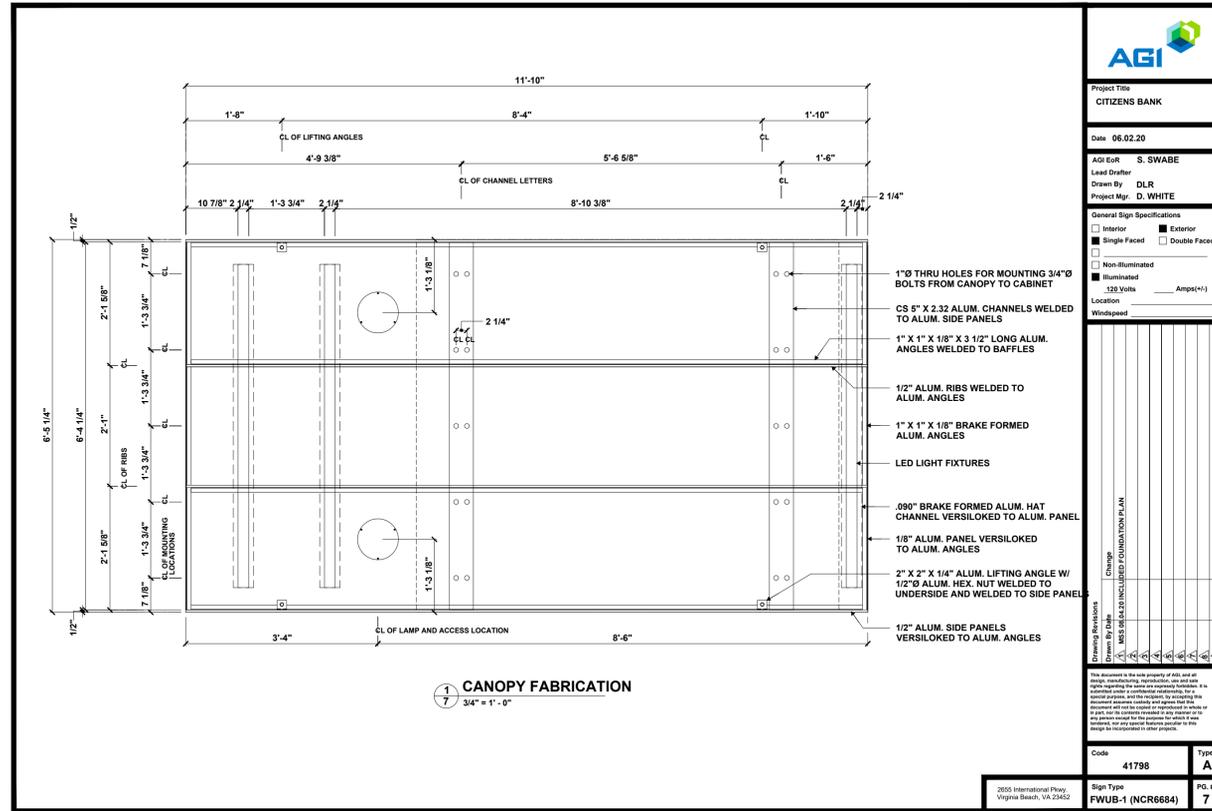
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SHEET: **GRADING, DRAINAGE, & UTILITY PLAN & DETAILS**

3

CDG PROJECT #: 20032
DATE: 09/24/2020



AGI

Project Title
CITIZENS BANK

Date: 06.02.20

AGI EOR: S. SWABE
Lead Designer
Drawn By: DLR
Project Mgr.: D. WHITE

General Sign Specifications

Interior Exterior

Single Faced Double Faced

Non-Illuminated Illuminated

120 Volts Amps(+/-)

Location

Windspeed

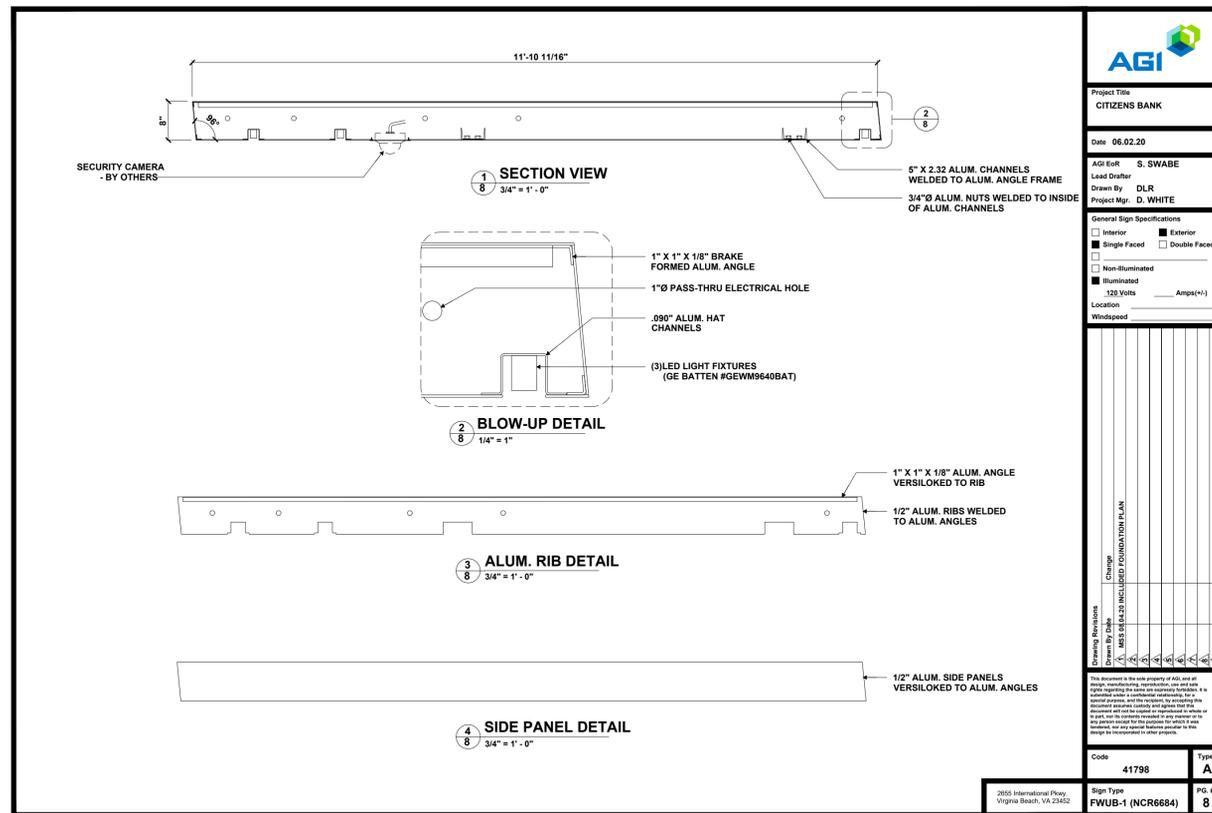
Change Log

Change	By	Date	Description
1	M.S. DE ALZIS	06/02/20	INITIAL FOUNDATION PLAN

Code: 41798 Type: A

Sign Type: FWUB-1 (NCR6684) PG. #: 7

2055 International Pkwy, Virginia Beach, VA 23462



AGI

Project Title
CITIZENS BANK

Date: 06.02.20

AGI EOR: S. SWABE
Lead Designer
Drawn By: DLR
Project Mgr.: D. WHITE

General Sign Specifications

Interior Exterior

Single Faced Double Faced

Non-Illuminated Illuminated

120 Volts Amps(+/-)

Location

Windspeed

Change Log

Change	By	Date	Description
1	M.S. DE ALZIS	06/02/20	INITIAL FOUNDATION PLAN

Code: 41798 Type: A

Sign Type: FWUB-1 (NCR6684) PG. #: 8

2055 International Pkwy, Virginia Beach, VA 23462



WILLIAM STARCK ARCHITECTS, INC.
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10 DORRANCE STREET, SUITE 700
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WWW.STARCKARCHITECTS.COM



CITIZENS BANK
REMOTE WALK-UP ATM
1465 WOODBURY AVENUE
PORTSMOUTH, NH 03801

REVISIONS:

SCALE: AS NOTED
DATE: 09/30/2020
DRAWN BY: MP
JOB NUMBER: 20-153
DRAWING NAME:
ATM STRUCTURE DETAILS

DRAWING NUMBER:

A2.3

COMMENTS:



WILLIAM STARCK ARCHITECTS, INC.

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F: 508.672.8556
WWW.STARCKARCHITECTS.COM



CITIZENS BANK
REMOTE WALK-UP ATM
1465 WOODBURY AVENUE
PORTSMOUTH, NH 03801

REVISIONS:

SCALE: AS NOTED

DATE: 09/30/2020

DRAWN BY: MP

JOB NUMBER: 20-153

DRAWING NAME:

ATM STRUCTURE
DETAILS

DRAWING NUMBER:

A2.5

COMMENTS:

1 SECTION THRU LOWER CABINET
3/4" = 1'-0"

2 BLOW-UP DETAIL
3/8" = 1"

DOOR HANDLE (ROCKWOOD #94P)

2" RIDGED INSULATION GLUED TO DOOR SKIN W/ .040" ALUM. SHEATHING GLUED TO INSULATION

3" ALUM. HINGE PUDDLE WELDED TO ALUM. CLADDING

1" X 1" X 1/8" ALUM. TUBE DOOR FRAME FRAME

1" X 1" X 1/8" ALUM. ANGLE FRAME ATTACHED TO CABINET FRAME W/ #8 C.S. SHEET METAL SCREWS

AGI

Project Title
CITIZENS BANK

Date 06.02.20

AGI EOR S. SWABE
Lead Draftsman DLR
Project Mgr. D. WHITE

General Sign Specifications

Interior Exterior
Single Faced Double Faced
Non-Illuminated Illuminated
120 Volts Amps(+/-)
Location
Windspeed

Change
MSE 06/25/20 INCLUDED FOUNDATION PLAN

Code 41798 Type A
Sign Type FWUB-1 (NCR6684) PG. # 11

2855 International Place,
Virginia Beach, VA 23462

1 SECTION THRU UPPER CABINET
3/4" = 1'-0"

2 BLOW-UP DETAIL
3/8" = 1"

HEATING/AC UNIT (FRIEDRICH WALLMASTER #WH1 12A33A)

3/8" BRAKE FORMED ALUM. LED BRACKET VERSILOCKED TO INSIDE OF CLADDING

ALUM. STUD W/ NUT AND WASHER SHOT WELDED TO BACK OF FACE

1/8" ACRYLIC BACKER

3/4" ROUTED ACRYLIC LETTERS, ROUTED BACK FROM FACE .625" TO PROVIDE CONTINUOUS 1/8" SHOULDER

LED MODULES (SLOAN PRISM 'WHITE' 6500K)

AGI

Project Title
CITIZENS BANK

Date 06.02.20

AGI EOR S. SWABE
Lead Draftsman DLR
Project Mgr. D. WHITE

General Sign Specifications

Interior Exterior
Single Faced Double Faced
Non-Illuminated Illuminated
120 Volts Amps(+/-)
Location
Windspeed

Change
MSE 06/25/20 INCLUDED FOUNDATION PLAN

Code 41798 Type A
Sign Type FWUB-1 (NCR6684) PG. # 12

2855 International Place,
Virginia Beach, VA 23462



WILLIAM STARCK ARCHITECTS, INC.

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PORTSMOUTH, NH 03801

REVISIONS:

SCALE: AS NOTED
DATE: 09/30/2020
DRAWN BY: MP
JOB NUMBER: 20-153

DRAWING NAME:
ATM STRUCTURE
DETAILS

DRAWING NUMBER:

A2.8

COMMENTS:

GENERAL:

- ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE INTERNATIONAL BUILDING CODE (IBC).
- CONSTRUCTION METHODS AND PROJECT SAFETY DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTIFY DIMENSIONS TAKE PRECEDENCE OVER CALLED DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL DISCREPANCIES AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR DISCREPANCY.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL.
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION UNLESS NOTED OTHERWISE OR SEPARATED IN EVERY INSTANCE.
- ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
- WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

STEEL:

- STEEL SHAPES SHALL CONFORM TO THE FOLLOWING:

ROUND HSS SQUARE/	ASTM A500, GR B	Fy=42 KSI MIN.
RECT HSS THREADED	ASTM A500, GR B	Fy=48 KSI MIN.
ROD STEEL PLATE STD.	ASTM A36 ASTM A36	Fy=48 KSI MIN.
PIPE	ASTM A53, GR B	Fy=35 KSI MIN.
- BOLTS SHALL CONFORM TO ASTM A307 UNF.
- BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNF.
- ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNF.
- NUTS SHALL CONFORM TO ASTM A307.
- WELDER SHALL CONFORM TO ASTM FB44.
- STEEL MEMBERS SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNF.
- WELDING:
 - WELD STRUCTURAL STEEL IN COMPLIANCE WITH AWS D1.1 AND AISC SPECIFICATION. CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-FREQUENCY ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
 - ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING.
 - UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM WELD SIZE PER AISC SPECIFICATION, SECTION J2, TABLE J2.4.
 - BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE).

CONCRETE & REINFORCEMENT:

- MINIMUM 28-DAY COMPRESSIVE STRENGTH (F_c) SHALL BE 4000 PSI. THE MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.45 BY WEIGHT. A MINIMUM OF 5-3/4 BAGS OF CEMENT SHALL BE USED PER CUBIC YARD WITH A SLUMP OF 4" TO 5".
- REINFORCEMENT TO BE ASTM A618 OR 60, F_y=60 KSI UNF. CALCIUM CHLORIDE OR ADDED CHLORINE IS NOT PERMITTED.
- VIBRATION: ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS.
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-11.
- PROVIDE A MINIMUM OF 2-1/2" COVER OF ALL EMBEDDED STEEL REBAR AND A MINIMUM OF 6 INCHES OF COVER FOR DIRECT BURIED PIPE OR TUBE MEMBERS.

FOUNDATIONS:

- CONCRETE POURED INTO CONFINED EARTH EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR A MINIMUM OF 7 DAYS PRIOR TO SIGN BOX INSTALLATION. EXCEPTION: IF THE OVERALL HEIGHT OF THE SIGN IS LESS THAN 10 FEET AND THE SIGN IS IMMEDIATELY BRACED AGAINST WIND, CURE FOR A MINIMUM OF 4 DAYS. THE BOX MAY BE INSTALLED THE SAME DAY AS THE FOOTING IS POURED.
- FOOTINGS MUST BE POURED AGAINST UNDISTURBED EARTH. SOIL BACKFILLS IS UNACCEPTABLE. WHEN A SIGN/TUBE IS USED AS THE FORM, CONCRETE SHALL BE USED TO BACKFILL THE SPACE BETWEEN THE SIGN/TUBE AND UNDISTURBED EARTH.
- COLD WEATHER PLACEMENT: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES. DO NOT POUR CONCRETE DURING OR WHEN FREEZING TEMPERATURES ARE ANTICIPATED WITHIN 3 DAYS OF POUR.

ALUMINUM:

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2010 ALUMINUM DESIGN MANUAL (ADM), THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASMS), AND MC CHAPTER 22.
- PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH F_y=35 KSI MIN, F_t=55 KSI MIN, F_u=70 KSI MIN, F_u=75 KSI MIN.
- STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B908 WITH F_y=35 KSI MIN, F_t=55 KSI MIN, F_u=70 KSI MIN, F_u=75 KSI MIN.
- SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH F_y=35 KSI MIN, F_t=55 KSI MIN, F_u=70 KSI MIN, F_u=75 KSI MIN.
- EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH F_y=35 KSI MIN, F_t=55 KSI MIN, F_u=70 KSI MIN, F_u=75 KSI MIN.
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING.
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM WELD SIZE WELD PER ADM. ALL ALUMINUM WELDING JOINTS SHALL HAVE WELD SIZE OF AT LEAST 1/8" HIGH.
- FILLET WELDS SHALL MEET EXPOSED THINWALL MEMBER WALL THICKNESS JOINED.
- ALUMINUM WELD FILLET SHALL BE 5/16" ALL 07.
- WELDING PROCESS SHOWN OR STAY SHALL BE IN ACCORDANCE WITH AWS D1.2.
- ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 3003 H14 ALUMINUM AND 0.125" BACKS MINIMUM. UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS, THIS NOTE SHALL SUPERSEDE DRAWING DETAILS.
- PROVIDE REDBRESSE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHEN IN CONTACT WITH CONCRETE.
- PASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

Project Title
CITIZENS BANK

Date
06.02.20

Attn: **S. SWABE**

Lead Draftsman
DLR

Drawn By
D. WHITE

Project Mgr.
D. WHITE

General Sign Specifications

Interior Exterior

Single Faced Double Faced

Non-Illuminated Illuminated

120 Volts _____ Amps (+/-) _____

Location _____

Windspeed _____

Change _____

Drawings Revisions

1	WELDED SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING.
---	---

Code **41798** Type **A**

Sign Type **FWUB-1 (NCR6684)** PG. # **16**

2055 International Pkwy,
Virginia Beach, VA 23462



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Owner: BROMLEY PORTSMOUTH LLC/RCQ PORTSMOUTH LLC C/O QUINCY & CO INC

Name of Owner/Applicant: Kelly Ley - State Permits Inc Date Submitted: 10/6/2020

Phone Number: 608-407-9086 E-mail: kelly@permit.com

Site Address: 1465 Woodbury Ave Map: 0216 Lot: 0003/0000/ /

Zoning District: G1 Lot area: 19.26 acres sq. ft.

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Fully executed and signed Application form. (2.5.2.3)	on line	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF). (2.5.2.8)		N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1A)	N/A	
<input checked="" type="checkbox"/>	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1B)	50 s.f.	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1C)	See Above	N/A
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1D)		N/A

Site Plan Review Application Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1E)		N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1F)	See Attached	N/A
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1G)	See Attached	N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1H)	N/A	N/A

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. (2.5.4.1A)	Required on all plan sheets	N/A
<input type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets 1 inch = 100'	N/A
<input type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	N/A	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale. (2.5.4.1D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be prepared and stamped by a NH licensed civil engineer. (2.5.4.1D)	Indicated on permit drawing set	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	N/A	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Indicated on permit drawing set	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	Indicated on permit drawing set	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)		N/A

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	Dwg Shts. 1, 2, 3	N/A
<input checked="" type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)	Dwg Shts. 1, 2, 3	N/A
<input checked="" type="checkbox"/>	Plan sheets showing landscaping and screening shall also include the following additional notes: <ul style="list-style-type: none"> a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials." b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair." c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director." (2.13.4)	Refer to AS1.0	N/A

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	1. Existing Conditions: (2.5.4.3A)		
<input checked="" type="checkbox"/>	a. Surveyed plan of site showing existing natural and built features;	Dwg. Shts.1, 2, A1.0, A1.1	
<input checked="" type="checkbox"/>	b. Zoning boundaries;	Dwg. Shts.1, 2, A1.0, A1.1	
<input checked="" type="checkbox"/>	c. Dimensional Regulations;	Dwg. Shts.1, 2, A1.0, A1.1	
<input type="checkbox"/>	d. Wetland delineation, wetland function and value assessment;	N/A	
<input type="checkbox"/>	e. SFHA, 100-year flood elevation line and BFE data.	N/A	
	2. Buildings and Structures: (2.5.4.3B)		
<input checked="" type="checkbox"/>	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;	Dwg. Shts. A2.0 - A2.8	
<input checked="" type="checkbox"/>	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;	Dwg. Shts. A2.0 - A2.8	
<input type="checkbox"/>	c. Total Floor Area;	N/A	
<input type="checkbox"/>	d. Number of Usable Floors;	N/A	
<input type="checkbox"/>	e. Gross floor area by floor and use.	N/A	
	3. Access and Circulation: (2.5.4.3C)		
<input checked="" type="checkbox"/>	a. Location/width of access ways within site;	Dwg. Shts.1, 2, A1.0, A1.1	
<input checked="" type="checkbox"/>	b. Location of curbing, right of ways, edge of pavement and sidewalks;	Drawing sheet 3	
<input checked="" type="checkbox"/>	c. Location, type, size and design of traffic signing (pavement markings);	Dwg. Shts. 2, A1.1	
<input type="checkbox"/>	d. Names/layout of existing abutting streets;	N/A	
<input checked="" type="checkbox"/>	e. Driveway curb cuts for abutting prop. and public roads;	Dwg. Shts. 1, 2	
<input type="checkbox"/>	f. If subdivision; Names of all roads, right of way lines and easements noted;	N/A	
<input type="checkbox"/>	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	N/A	
	4. Parking and Loading: (2.5.4.3D)		
<input checked="" type="checkbox"/>	a. Location of off street parking/loading areas, landscaped areas/buffers;	Dwg. Sht As1.0	
<input type="checkbox"/>	b. Parking Calculations (# required and the # provided).	N/A	
	5. Water Infrastructure: (2.5.4.3E)		
<input type="checkbox"/>	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;	N/A	
<input type="checkbox"/>	b. Location of wells and monitoring wells (include protective radii).	N/A	
	6. Sewer Infrastructure: (2.5.4.3F)		
<input type="checkbox"/>	a. Size, type and location of sanitary sewage facilities & Engineering data.	N/A	
	7. Utilities: (2.5.4.3G)		
<input checked="" type="checkbox"/>	a. The size, type and location of all above & below ground utilities;	Dwg. Sht. AS1.0	
<input checked="" type="checkbox"/>	b. Size type and location of generator pads, transformers and other fixtures.	Dwg. Sht. AS1.0	

Site Plan Specifications – Required Exhibits and Data			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H)		
<input type="checkbox"/>	a. The size, type and location of solid waste facilities.	N/A	
<input type="checkbox"/>	9. Storm water Management: (2.5.4.3I)		
<input type="checkbox"/>	a. The location, elevation and layout of all storm-water drainage.	N/A	
<input type="checkbox"/>	10. Outdoor Lighting: (2.5.4.3J)		
<input type="checkbox"/>	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan.	N/A	
<input type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	N/A	
<input type="checkbox"/>	12. Landscaping: (2.5.4.3K)		
<input checked="" type="checkbox"/>	a. Identify all undisturbed area, existing vegetation and that which is to be retained;	Dwg. Shts. AS1.0	
<input type="checkbox"/>	b. Location of any irrigation system and water source.	N/A	
<input type="checkbox"/>	13. Contours and Elevation: (2.5.4.3L)		
<input type="checkbox"/>	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.	N/A	
<input type="checkbox"/>	14. Open Space: (2.5.4.3M)		
<input checked="" type="checkbox"/>	a. Type, extent and location of all existing/proposed open space.	Dwg. Shts. 1,2,3, A1.0,A1.1	
<input type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	N/A	
<input type="checkbox"/>	16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)	N/A	
<input type="checkbox"/>	17. Character/Civic District (All following information shall be included): (2.5.4.3Q)		
<input checked="" type="checkbox"/>	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);	Dwg. Shts. A2.0 - A2.8	
<input type="checkbox"/>	b. Applicable Special Requirements (10.5A21.30);	N/A	
<input checked="" type="checkbox"/>	c. Proposed building form/type (10.5A43);	Dwg. Shts. A2.0 - A2.8	
<input type="checkbox"/>	d. Proposed community space (10.5A46).	N/A	

Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <i>(Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application) (3.2.1-2)</i>	N/A	
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	N/A	
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
<input type="checkbox"/>	Indicate where measures to minimize impervious surfaces have been implemented. (7.4.3)	N/A	
<input type="checkbox"/>	Calculation of the maximum effective impervious surface as a percentage of the site. (7.4.3.2)	N/A	
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. <i>(Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application) (7.4.4.1)</i>	N/A	

Final Site Plan Approval Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> a. Waivers; b. Driveway permits; c. Special exceptions; d. Variances granted; e. Easements; f. Licenses. (2.5.3.2A)	N/A	
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> a. Calculations relating to stormwater runoff; b. Information on composition and quantity of water demand and wastewater generated; c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; d. Estimates of traffic generation and counts pre- and post-construction; e. Estimates of noise generation; f. A Stormwater Management and Erosion Control Plan; g. Endangered species and archaeological / historical studies; h. Wetland and water body (coastal and inland) delineations; i. Environmental impact studies. (2.5.3.2B)	N/A	

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	N/A	
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	N/A	

Applicant's Signature: Kelly Ley Date: 10/6/2020

1465 WOODBURY AVE

Location 1465 WOODBURY AVE

Mblu 0216/ 0003/ 0000/ /

Acct# 35366

Owner BROMLEY PORTSMOUTH LLC

PBN

Assessment \$28,124,400

Appraisal \$28,124,400

PID 35366

Building Count 5

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2019	\$16,680,900	\$11,443,500	\$28,124,400

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$16,680,900	\$11,443,500	\$28,124,400

Owner of Record

Owner	BROMLEY PORTSMOUTH LLC	Sale Price	\$16,200,000
Co-Owner	RCQ PORTSMOUTH LLC C/O QUINCY & CO INC	Certificate	
Address	144 GOULD ST SUITE 152 NEEDHAM, MA 02494	Book & Page	4486/2167
		Sale Date	05/20/2005
		Instrument	66

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BROMLEY PORTSMOUTH LLC	\$16,200,000		4486/2167	66	05/20/2005
BROMLEY PORTSMOUTH LLC	\$16,200,000		4486/2167	66	05/20/2005

Building Information

Building 1 : Section 1

Year Built: 1976
Living Area: 187,583
Replacement Cost: \$20,864,388

Building Percent Good: 70

Replacement Cost

Less Depreciation: \$14,605,100

Building Attributes

Field	Description
STYLE	Shop Center RE
MODEL	Commercial
Grade	C+
Stories:	1
Occupancy	12
Exterior Wall 1	Concr/Cinder
Exterior Wall 2	
Roof Structure	Flat
Roof Cover	T & Grvl/Rubbr
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Floor 1	Inlaid Sht Gds
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Hot Air-no Duc
AC Type	Central
Bldg Use	SHOPNGMALL
Total Rooms	
Total Bedrms	
Total Baths	
Kitchen Grd	
1st Floor Use:	
Heat/AC	HEAT/AC PKGS
Frame Type	STEEL
Baths/Plumbing	AVERAGE
Ceiling/Wall	CEIL & WALLS
Rooms/Prtns	AVERAGE
Wall Height	18
% Comn Wall	

Building 2 : Section 1

Year Built: 1976

Living Area: 0

Replacement Cost: \$0

Building Percent Good: 57

Replacement Cost

Less Depreciation: \$0

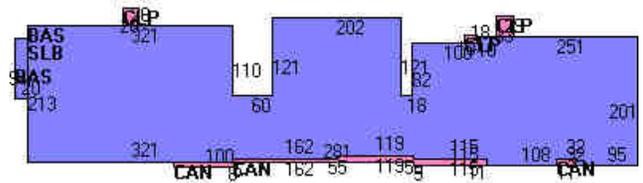
Building Attributes : Bldg 2 of 5

Building Photo

Building Photo

(<http://images.vgsi.com/photos2/PortsmouthNHPhotos/\00\02\32\74.jpg>)

Building Layout



(http://images.vgsi.com/photos2/PortsmouthNHPhotos//Sketches/35366_)

Building Sub-Areas (sq ft)			Legend	
Code	Description	Gross Area	Living Area	
BAS	First Floor	187,583	187,583	
CAN	Canopy	5,038	0	
CLP	Loading Platform, Finished	2,165	0	
SLB	Slab	187,583	0	
		382,369	187,583	

Field	Description
STYLE	Shop Center RE
MODEL	Commercial
Grade	B-
Stories:	1
Occupancy	13
Exterior Wall 1	Stone Veneer
Exterior Wall 2	
Roof Structure	Gable/Hip
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Floor 1	Inlaid Sht Gds
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Hot Air-no Duc
AC Type	None
Bldg Use	SHOPNGMALL
Total Rooms	
Total Bedrms	
Total Baths	
Kitchen Grd	
1st Floor Use:	
Heat/AC	NONE
Frame Type	WOOD FRAME
Baths/Plumbing	AVERAGE
Ceiling/Wall	CEIL & WALLS
Rooms/Prtns	AVERAGE
Wall Height	1
% Comn Wall	

Building 3 : Section 1

Year Built: 1976
Living Area: 0
Replacement Cost: \$0
Building Percent Good: 64
Replacement Cost
Less Depreciation: \$0

Building Attributes : Bldg 3 of 5	
Field	Description
STYLE	Shop Center RE
MODEL	Commercial

Building Photo



(<http://images.vgsi.com/photos2/PortsmouthNHPhotos/\00\01\05\47.JPG>)

Building Layout

Building Layout

(http://images.vgsi.com/photos2/PortsmouthNHPhotos/Sketches/35366_)

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

Grade	B-
Stories:	1
Occupancy	13
Exterior Wall 1	Brick/Masonry
Exterior Wall 2	
Roof Structure	Flat
Roof Cover	T & Grvl/Rubbr
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Floor 1	Inlaid Sht Gds
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Hot Air-no Duc
AC Type	None
Bldg Use	SHOPNGMALL
Total Rooms	
Total Bedrms	
Total Baths	
Kitchen Grd	
1st Floor Use:	
Heat/AC	NONE
Frame Type	WOOD FRAME
Baths/Plumbing	AVERAGE
Ceiling/Wall	CEIL & WALLS
Rooms/Prtns	AVERAGE
Wall Height	1
% Comn Wall	

Building Photo



(http://images.vgsi.com/photos2/PortsmouthNHPhotos/\00\01\05\48.JPG)

Building Layout



(http://images.vgsi.com/photos2/PortsmouthNHPhotos/Sketches/35366_)

Building Sub-Areas (sq ft)	Legend
No Data for Building Sub-Areas	

Building 4 : Section 1

Year Built: 1995
Living Area: 3,008
Replacement Cost: \$800,728
Building Percent Good: 94
Replacement Cost Less Depreciation: \$752,700

Building Attributes : Bldg 4 of 5

Field	Description
STYLE	Fast Food Rest
MODEL	Commercial
Grade	B
Stories:	1
Occupancy	1

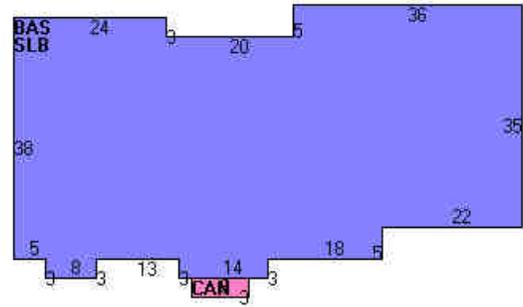
Building Photo



(http://images.vgsi.com/photos2/PortsmouthNHPhotos/\00\01\05\49.JPG)

Exterior Wall 1	Brick/Masonry
Exterior Wall 2	
Roof Structure	Flat
Roof Cover	T & Grvl/Rubbr
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Floor 1	Ceram Clay Til
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Forced Air-Duc
AC Type	Central
Bldg Use	SHOPNGMALL
Total Rooms	
Total Bedrms	
Total Baths	
Kitchen Grd	
1st Floor Use:	
Heat/AC	HEAT/AC PKGS
Frame Type	STEEL
Baths/Plumbing	AVERAGE
Ceiling/Wall	SUS-CEIL & WL
Rooms/Prtns	AVERAGE
Wall Height	12
% Comn Wall	

Building Layout



(http://images.vgsi.com/photos2/PortsmouthNHPhotos//Sketches/35366_

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	3,008	3,008
CAN	Canopy	27	0
SLB	Slab	3,008	0
		6,043	3,008

Building 5 : Section 1

Year Built: 1853
Living Area: 3,753
Replacement Cost: \$651,227
Building Percent Good: 52
Replacement Cost Less Depreciation: \$338,600

Building Attributes : Bldg 5 of 5

Field	Description
STYLE	Restaurant
MODEL	Commercial
Grade	C
Stories:	2
Occupancy	1
Exterior Wall 1	Brick/Masonry
Exterior Wall 2	
Roof Structure	Gable/Hip

Building Photo



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Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Floor 1	Inlaid Sht Gds
Interior Floor 2	
Heating Fuel	Gas
Heating Type	Hot Air-no Duc
AC Type	Central
Bldg Use	SHOPNGMALL
Total Rooms	
Total Bedrms	
Total Baths	
Kitchen Grd	
1st Floor Use:	
Heat/AC	HEAT/AC PKGS
Frame Type	WOOD FRAME
Baths/Plumbing	AVERAGE
Ceiling/Wall	CEIL & WALLS
Rooms/Prtns	AVERAGE
Wall Height	9
% Comn Wall	

Building Layout



(http://images.vgsi.com/photos2/PortsmouthNHPhotos/Sketches/35366_

Building Sub-Areas (sq ft)			Legend	
Code	Description	Gross Area	Living Area	
BAS	First Floor	2,613	2,613	
FUS	Upper Story, Finished	1,140	1,140	
SLB	Slab	420	0	
UBM	Basement, Unfinished	1,140	0	
WDK	Deck, Wood	1,053	0	
		6,366	3,753	

Extra Features

Extra Features					Legend
Code	Description	Size	Value	Bldg #	
CLR1	COOLER	140 S.F.	\$3,100	4	
CLR1	COOLER	200 S.F.	\$1,600	2	
CLR1	COOLER	550 S.F.	\$9,200	3	
CLR2	FREEZER TEMPS	96 S.F.	\$1,800	1	
CLR1	COOLER	180 S.F.	\$1,400	2	
CLR1	COOLER	42 S.F.	\$600	1	
CLR2	FREEZER TEMPS	112 S.F.	\$3,400	4	
CLR2	FREEZER TEMPS	80 S.F.	\$1,300	5	
CLR1	COOLER	600 S.F.	\$4,700	2	
CLR1	COOLER	80 S.F.	\$1,000	5	
CLR2	FREEZER TEMPS	240 S.F.	\$4,500	1	
CLR2	FREEZER TEMPS	84 S.F.	\$2,500	4	
CLR1	COOLER	180 S.F.	\$2,500	1	
CLR2	FREEZER TEMPS	800 S.F.	\$17,900	3	
LD1	LOAD DOCK ST/CC	957 S.F.	\$16,100	2	

CLR1	COOLER	120 S.F.	\$1,700	1
CLR1	COOLER	49 S.F.	\$800	3
CLR1	COOLER	80 S.F.	\$600	2
DUW1	DRIVE-UP WINDW	1 UNITS	\$6,000	4
CLR1	COOLER	600 S.F.	\$8,400	1
LD1	LOAD DOCK ST/CC	675 S.F.	\$11,300	2
MEZ1	MEZZANINE-UNF	6000 S.F.	\$49,900	3
SPR1	SPRINKLERS-WET	1053 S.F.	\$1,000	5
CLR2	FREEZER TEMPS	42 S.F.	\$800	1
MEZ3	W/PARTITIONS	300 S.F.	\$6,500	3
SPR1	SPRINKLERS-WET	189463 S.F.	\$189,000	2
SPR1	SPRINKLERS-WET	189463 S.F.	\$232,100	1
LD4	TRUCK WELLS	6 UNITS	\$23,500	1
LDL1	LOAD LEVELERS	2 UNITS	\$3,900	1

Land

Land Use

Use Code 3230
Description SHOPNGMALL
Zone G1
Neighborhood 303
Alt Land Appr No
Category

Land Line Valuation

Size (Acres) 19.26
Frontage
Depth
Assessed Value \$11,443,500
Appraised Value \$11,443,500

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
PAV1	PAVING-ASPHALT			8600 S.F.	\$7,500	5
PAV1	PAVING-ASPHALT			14000 S.F.	\$12,300	4
FN5	FENCE-10'CHAIN			360 L.F.	\$4,900	1
LT10	W/DOUBLE LIGHT			7 UNITS	\$11,100	4
LT1	LIGHTS-IN W/PL			18 UNITS	\$10,100	1
LT1	LIGHTS-IN W/PL			6 UNITS	\$3,400	4
PAV1	PAVING-ASPHALT			375000 S.F.	\$328,100	1

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2018	\$12,607,900	\$10,594,500	\$23,202,400
2017	\$12,607,900	\$10,594,500	\$23,202,400
2016	\$12,531,900	\$9,852,900	\$22,384,800

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$12,607,900	\$10,594,500	\$23,202,400
2017	\$12,607,900	\$10,594,500	\$23,202,400
2016	\$12,531,900	\$9,852,900	\$22,384,800

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