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CONTACT: TODD GERMAIN, INTERIM FIRE CHIEF
(603) 427-1515

UTILITY CONTACTS:

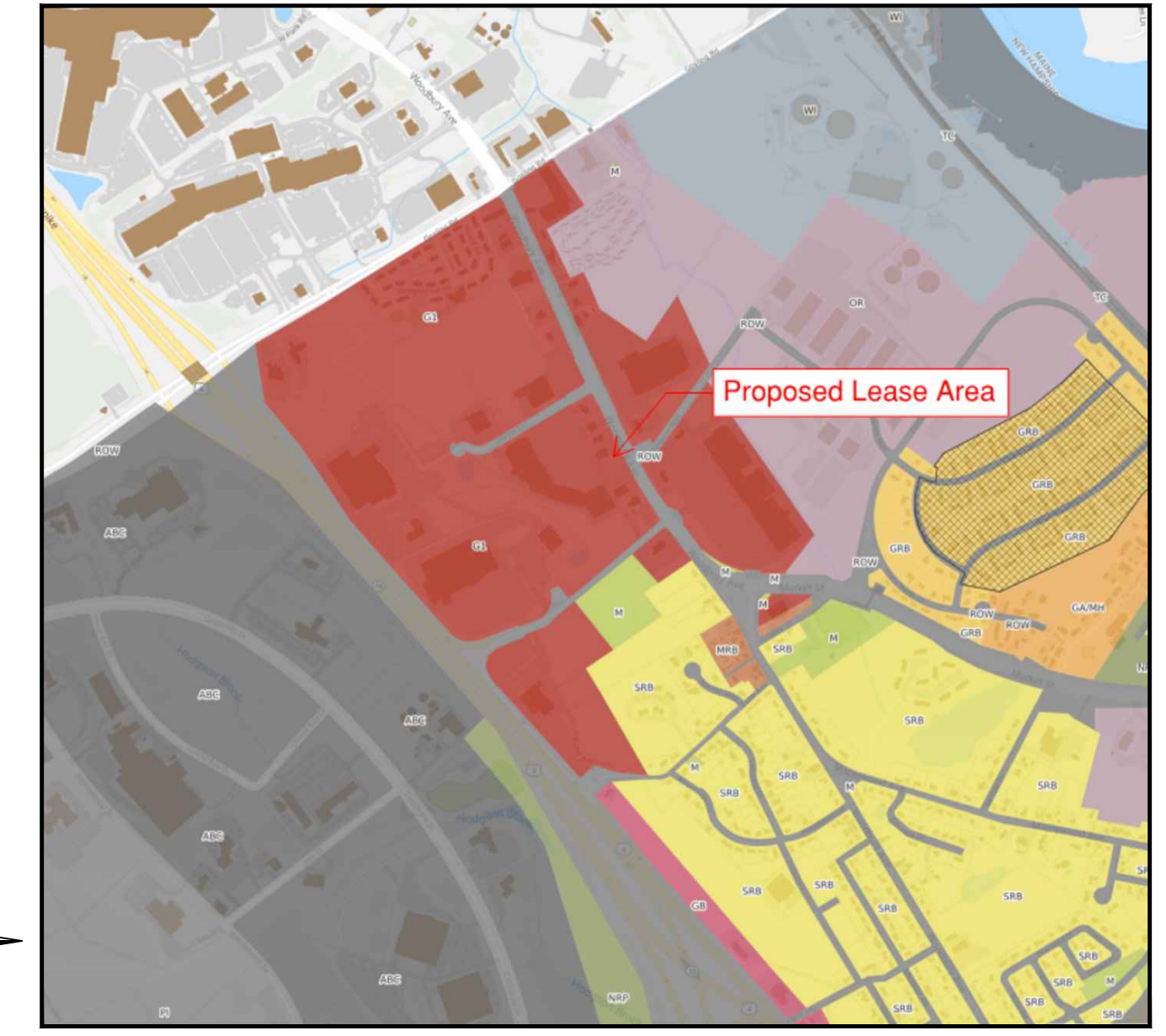
- GAS** UNITIL
6 LIBERTY LANE WEST
HAMPTON, NH 03842
(866) 933-3820
- ELECTRIC AND FIRE ALARM** EVERSOURCE
55 BEARFOOT ROAD
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- WATER** PORTSMOUTH PUBLIC WORKS DEPARTMENT
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
(603) 427-1530
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680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
(603) 427-1530
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BOSTON, MA 02107
(800) 870-9999
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(800) 266-2278

SITE PLAN APPROVAL FOR



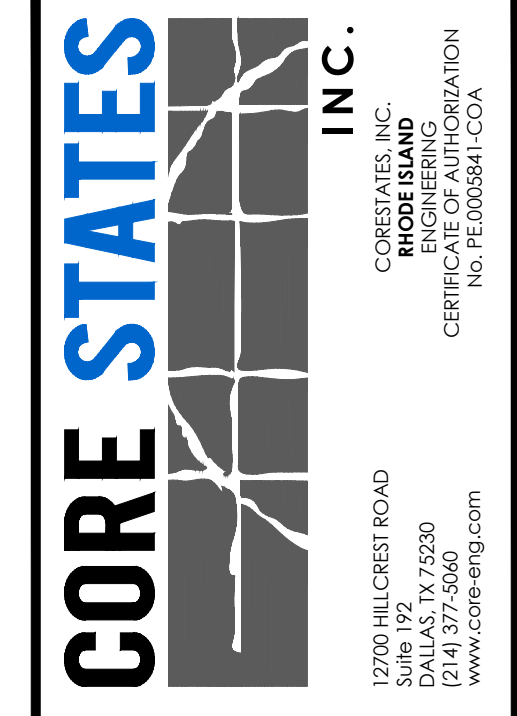
PROPOSED CHASE BANK

PARCEL ID 20-01-01
1574 WOODBURY AVENUE
CITY OF PORTSMOUTH
ROCKINGHAM COUNTY, NEW HAMPSHIRE 03801

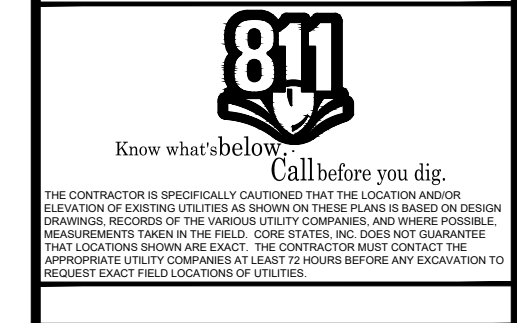
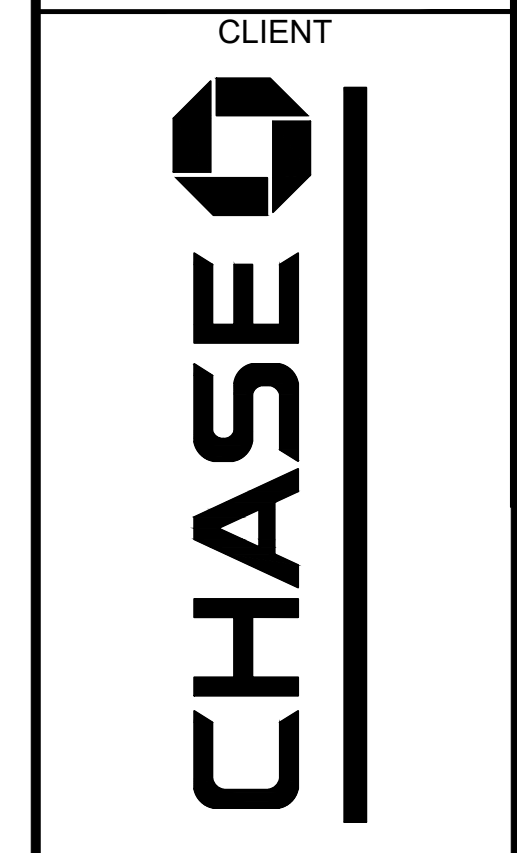


CITY OF PORTSMOUTH ZONING MAP
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CIVIL PLANS											△	△	△	△	△	△	△	△	△	△	△	△
CV-1		COVER SHEET	CORE STATES																			
CV-2		GENERAL NOTES	CORE STATES																			
C-1		DEMOLITION PLAN	CORE STATES																			
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CD-3		CONSTRUCTION DETAILS	CORE STATES																			
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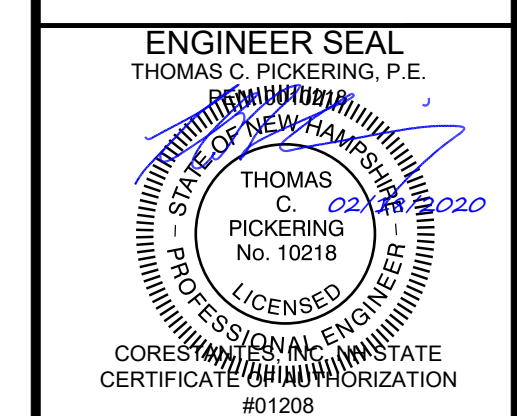
DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



REV	DATE	COMMENT	BY

DOCUMENT
SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION
1574 WOODBURY AVENUE, PORTSMOUTH, NH 03801



SHEET TITLE
COVER SHEET

JOB #: JPM 27086
DATE: 09/4/2019
SCALE: AS NOTED
DRAWN BY: JD
CHECKED BY: AR

SHEET NO.
CV-1

ISSUED FOR TAC SUBMITTAL 2/18/2020

GENERAL SITE NOTES

- 1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL TOWNSHIP/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
8. THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
9. THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION.
12. EXISTING PAVING THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE.
13. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES.
14. SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN.
15. PROVIDE TEMPORARY CHAIN LINK FENCING, MINIMUM 6'-0" HIGH, AROUND ENTIRE AREA OF CONSTRUCTION.
16. ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
17. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
19. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
20. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION.
21. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DRIVEWAYS, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED.
25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK.
27. IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL WILL BE REMOVED FROM THE SITE AND THE SITE WILL BE STABILIZED PER NUDEP GENERIC PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT AND THE NEW JERSEY ACCESSIBILITY LAW.
29. ALL VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OF OFF-SITE.
30. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION.
31. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE TOWNSHIP/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.

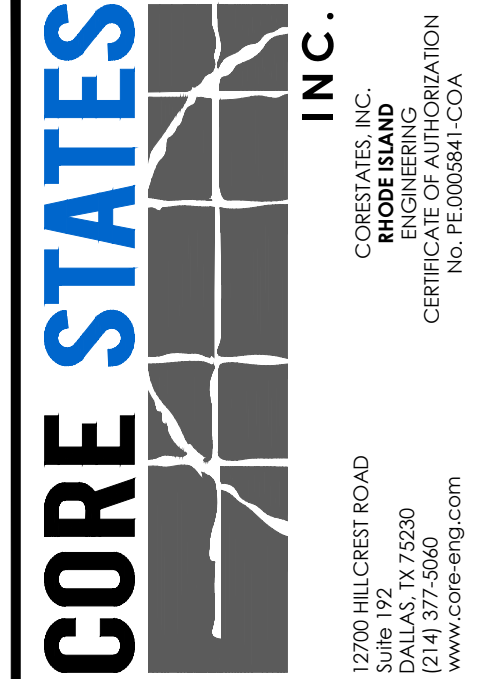
GENERAL UTILITY NOTES

- 1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED SAID ENGINEER BY ENGINEER.
4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN.
5. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS (IF APPLICABLE) AT THE AREA ADJACENT TO THE PROPOSED BUILDING.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS.
9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
11. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN OF ALL UTILITIES.
13. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
14. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
15. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
16. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
17. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS.
18. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
19. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS.
20. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS.
21. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING UTILITY DEPARTMENT.
22. AT LEAST THREE WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
24. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE.
25. TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.

- 26. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.
27. ALL FIRE HYDRANTS SHALL BE INSTALLED WITH HOSE CONNECTIONS FACING THE BUILDING.
28. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE TOWNSHIP/COUNTY AND/OR FIRE DEPARTMENT.
29. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
30. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
31. CONNECTION INTO A EXISTING TOWNSHIP/COUNTY OWNED SYSTEM SHALL BE VIA A WET TAP. WET TAPS SHALL BE PERFORMED BY THE UTILITIES SERVICE COMPANY AT THE CONTRACTOR'S EXPENSE.
32. THE UTILITIES SERVICE COMPANY SHALL NOT OWN OR MAINTAIN WATER AND SEWER LINES OR FACILITIES ON-SITE.

STANDARD ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes entries like AC (ACRES), ADA (AMERICANS WITH DISABILITY ACT), ARCH (ARCHITECTURAL), BC (BOTTOM OF CURB), BF (BASEMENT FLOOR), BK (BLOCK), BL (BASELINE), BLD (BUILDING), BOL (BOLLARD), BM (BENCH MARK), BRLL (BUILDING RESTRICTION LINE), CF (CUBIC FEET), CL (CENTERLINE), CMP (CORRUGATED METAL PIPE), CONN (CONNECTION), CONC (CONCRETE), CPP (CORRUGATED PLASTIC PIPE), CY (CUBIC YARDS), DEC (DECORATIVE), DEP (DEPRESSED), DIP (DUCTILE IRON PIPE), DOM (DOMESTIC), ELEC (ELECTRIC), ELEV (ELEVATION), EP (EDGE OF PAVEMENT), ES (EDGE OF SHOULDER), EW (END OF WALL), EX (EXISTING), FES (FLARED END SECTION), FF (FINISH FLOOR ELEVATION), FH (FIRE HYDRANT), FG (FINISHED GRADE), G (GRADE), GF (GARAGE FLOOR), GH (GRADE HIGH SIDE OF WALL), GL (GRADE LOW SIDE OF WALL), GRT (GRATE), GV (GATE VALVE), HDPE (HIGH DENSITY POLYETHYLENE PIPE), HP (HIGH POINT), HOR (HORIZONTAL), HW (HEADWALL), INT (INTERSECTION), INV (INVERT), LF (LINEAR FOOT), LOC (LIMITS OF CLEARING), LOD (LIMITS OF DISTURBANCE), LOS (LINE OF SIGHT), LP (LOW POINT), LS (LANDSCAPE), MAX (MAXIMUM), ME (MATCH EXISTING), MIN (MINIMUM), MH (MANHOLE), MJ (MECHANICAL JOINT), OC (ON CENTER), PC (POINT OF CURVATURE), PCCR (POINT OF COMPOUND CURVATURE, CURB RETURN), PI (POINT OF INTERSECTION), POG (POINT OF GRADE), POI (POINT OF INTEREST), PROP (PROPOSED), PT (POINT OF TANGENCY), PTCR (POINT OF TANGENCY, CURB RETURN), PVC (POLYVINYL CHLORIDE PIPE), PVI (POINT OF VERTICAL INTERSECTION), PVT (POINT OF VERTICAL TANGENCY), R (RADIUS), RCP (REINFORCED CONCRETE PIPE), RCPR (REINFORCED CONCRETE WITH RUBBER GASKET), RET-WALL (RETAINING WALL), R/W (RIGHT OF WAY), S (SLOPE), SAN (SANITARY SEWER), SF (SQUARE FEET), STA (STATION), STM (STORM), TBR (TO BE REMOVED), TBRLL (TO BE RELOCATED), TC (TOP OF CURB), TEL (TELEPHONE), TP (TREE PROTECTION), TW (TOP OF WALL), TYP (TYPICAL), UG (UNDERGROUND), UP (UTILITY POLE), W/L (WATER LINE), WM (WATER METER), ± (PLUS OR MINUS), ° (DEGREE), Ø (DIAMETER), # (NUMBER)



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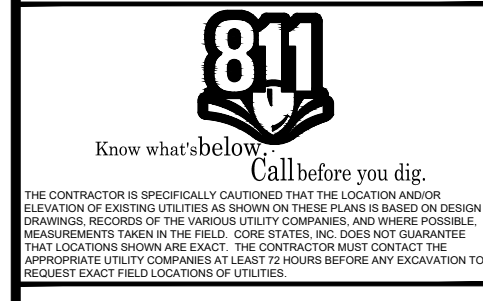
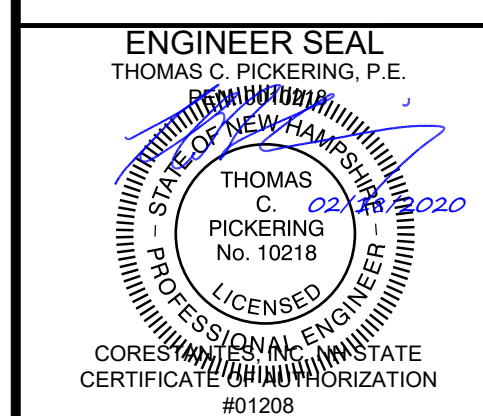


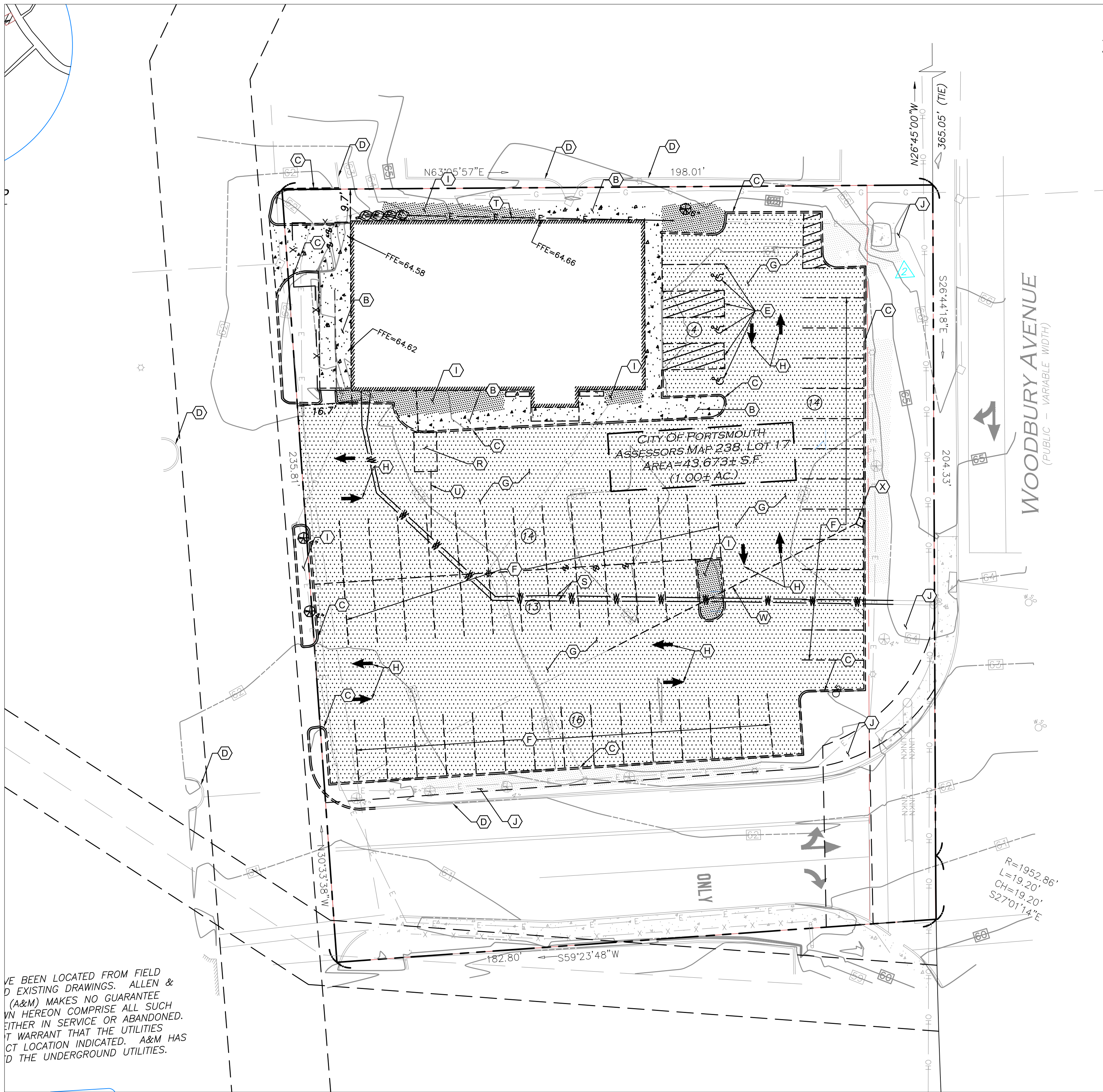
Table with 4 columns: REV, DATE, COMMENT, BY. Contains revision entries.

DOCUMENT
SITE PLAN
APPROVAL FOR
CHASE BANK

SITE LOCATION
1574 WOODBURY AVENUE,
PORTSMOUTH, NH 03801



SHEET TITLE
GENERAL
NOTES
JOB #: JPM 27086
DATE: 09/4/2019
SCALE: AS NOTED
DRAWN BY: JD
CHECKED BY: AR
SHEET NO.
CV-2



VE BEEN LOCATED FROM FIELD
D EXISTING DRAWINGS. ALLEN &
(A&M) MAKES NO GUARANTEE
CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND
THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN.
NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO
CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE
EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

DEMO PLAN
SCALE 1" = 20'

ALERT TO CONTRACTOR:
PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN,
SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE
CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF
CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND
THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN.
NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO
CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE
EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUNTED IF UNDER BUILDING.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE OWNER.
- TO CREATE A SECURE BARRIER AROUND THE PERIMETER OF THE SITE DURING THE CONSTRUCTION PHASE, CONTRACTOR IS TO INSTALL A TEMPORARY CHAIN LINK FENCE IN COMPLIANCE WITH ASTM A-392-06. FENCE TO BE 6'-0" ABOVE ADJACENT GRADE. POSTS INSTALLED 2'-0" BELOW GRADE. CONSTRUCTION ENTRANCE TO BE EQUIPPED WITH A DOUBLE-SWING GATE WITH A TOTAL WIDTH OF 24'-0" (MIN) TO PROVIDE VEHICLE AND EQUIPMENT ACCESS. FENCE TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION ACTIVITIES.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED. SEE SESC PLANS INCLUDED WITH THIS DRAWING SET.
- CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE TOWNSHIP UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE BUILDING AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE TOWNSHIP DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING CONDITIONS DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND COMPLIANCE WITH LOCAL, STATE AND FEDERAL AIR QUALITY STANDARDS.
- EXPLOSIVES SHALL NOT BE UTILIZED FOR DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE OTHER SITE PLANS AND GEOTECHNICAL DOCUMENTS NECESSARY TO COMPLETE THE DEMOLITION AND SITE IMPROVEMENTS.
- ALL EXPOSED SOILS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY, UNTIL NEXT PHASE OF CONSTRUCTION.
- PRIOR TO DEMOLITION OF EXISTING SANITARY LINES, CONTRACTOR IS TO LOCATE ALL EXISTING SANITARY SEWER LATERALS ON SITE AND CUT AND ABANDONED PROPERLY AT THE CURB LINE.
- THE EXISTING BUILDING SHOULD BE EXAMINED FOR HAZARDOUS MATERIALS PRIOR TO DEMOLITION. MERCURY SWITCHES, FLUORESCENT LIGHTS, ASBESTOS AND OTHER UNIVERSAL HAZARDOUS, AND REGULATED WASTES SHOULD BE RECYCLED OR DISPOSED OF PROPERLY BY A LICENSED WASTE HAULER. DEMOLITION MATERIALS SHOULD BE REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF PROPERLY.

DEMOLITION KEY NOTES:

- A. EXISTING BUILDING TO BE REMOVED.
- B. EXISTING CONCRETE WALKWAY TO BE REMOVED.
- C. EXISTING GRANITE CURB TO BE REMOVED.
- D. EXISTING GRANITE CURB TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- E. EXISTING ACCESSIBLE PARKING STRIPING TO BE REMOVED.
- F. EXISTING STANDARD PARKING STRIPING TO BE REMOVED.
- G. NOT USED.
- H. EXISTING ASPHALT TO BE REMOVED.
- I. EXISTING SITE MARKINGS TO BE REMOVED.
- J. NOT USED.
- K. EXISTING LANDSCAPE AREA TO BE REMOVED.
- L. EXISTING LANDSCAPE AREA TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- M. EXISTING TREE TO BE REMOVED.
- N. EXISTING TREE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- O. EXISTING LIGHT POLE TO BE REMOVED.
- P. EXISTING SIGN TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- Q. SAWCUT LINE.
- R. EXISTING GREASE TRAP TO BE ABANDONED IN PLACE.
- S. EXISTING WATER LINE TO BE REMOVED.
- T. EXISTING ELECTRIC LINE TO BE REMOVED.
- U. EXISTING SEWER LINE TO BE REMOVED.
- V. EXISTING GAS LINE TO BE REMOVED.
- W. EXISTING STORM LINE TO BE REMOVED.
- X. EXISTING CATCH BASIN TO BE REMOVED.

DEMOLITION NOTES:

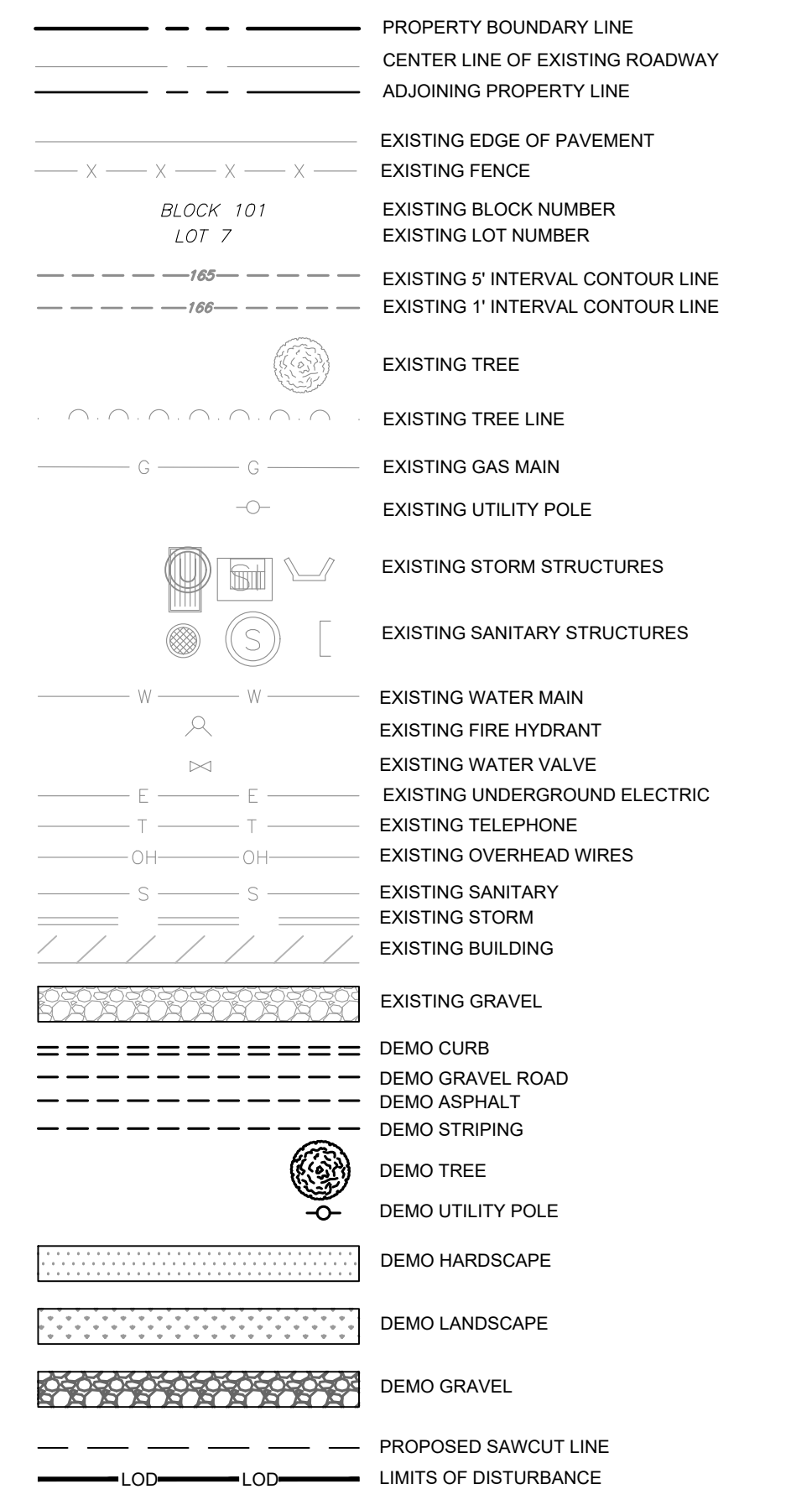
- THE TOTAL LIMITS OF DISTURBANCE FOR THIS PROJECT IS ### SF (## AC).
- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND FOR CALLING THE APPROPRIATE ONE-CALL CENTER AT LEAST 72 HOURS IN ADVANCE OF ANY EXCAVATION.

MAINTENANCE NOTES:

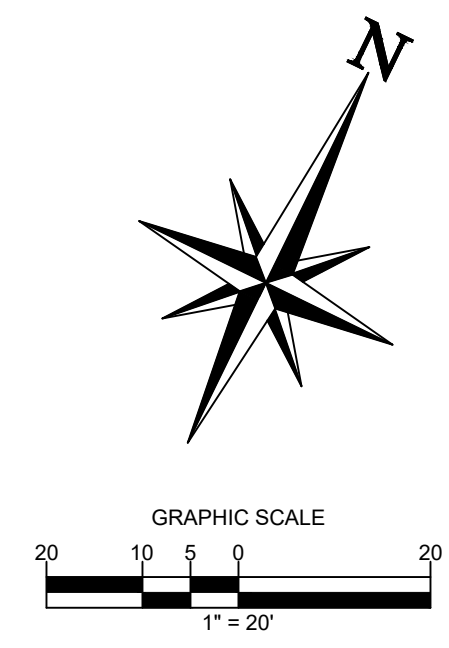
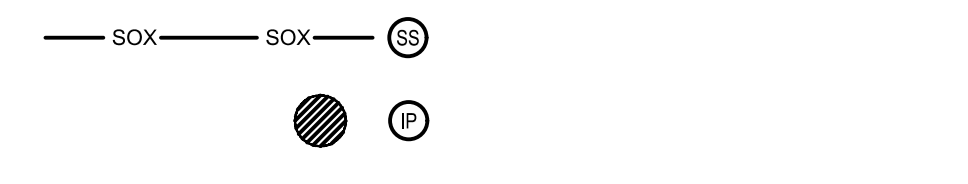
ALL MEASURES STATED ON THIS PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE INLET PROTECTION WHEN CLOGGING BECOMES APPARENT.
- SILT SOXX SHALL BE REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION IF DAMAGED.

DEMOLITION LEGEND



E & S LEGEND



CORE STATES INC.
CORE STATES, INC.
CORPORATE ENGINEERING
CERTIFICATE OF AUTHORIZATION
NO. F005081-COEA
1270 HILLCREST ROAD
DALLAS, TX 75220
974.377.5660
www.core-eng.com

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECT, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT
CHASE

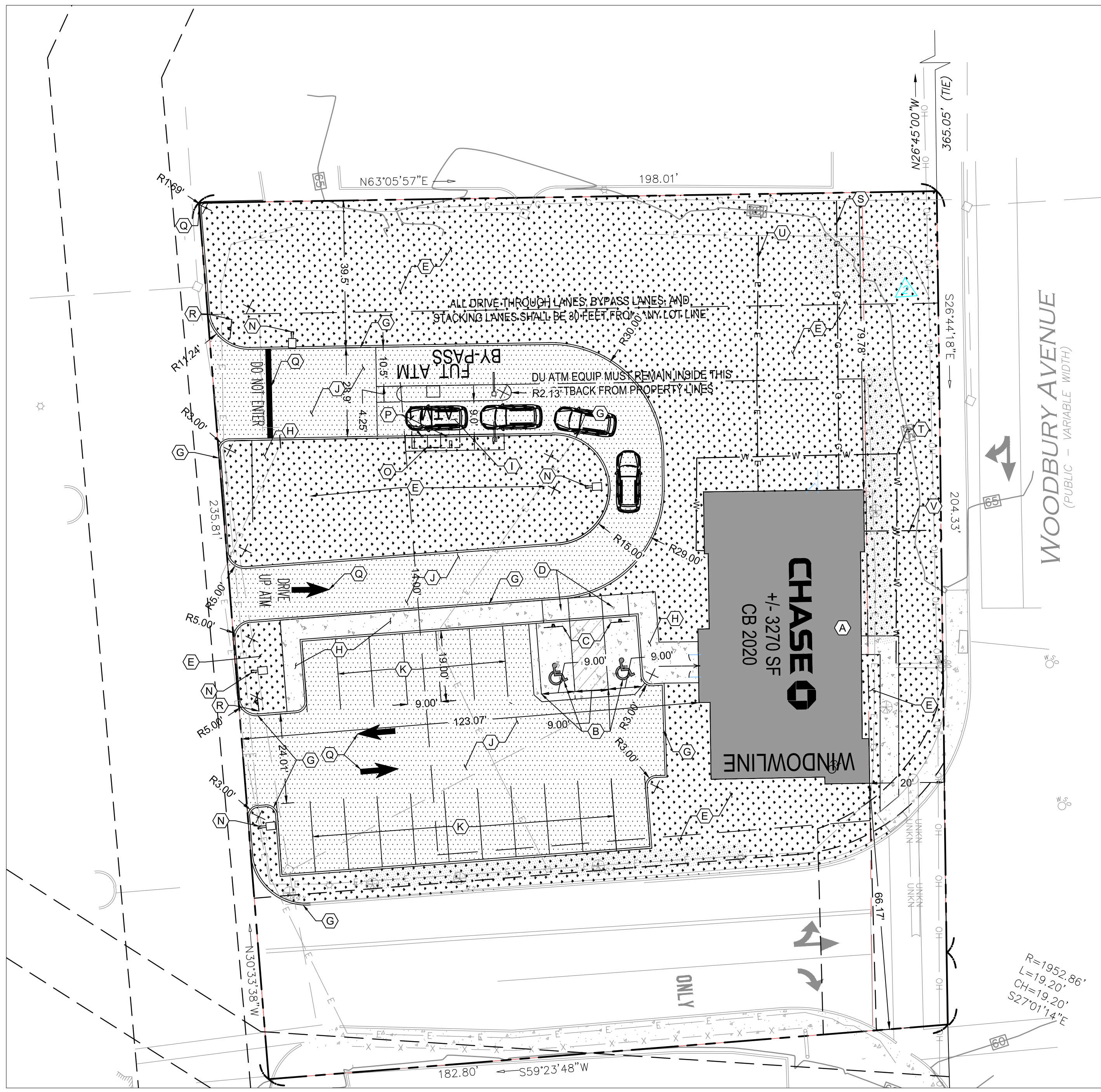
811
Know what's below. Call before you dig.

REV	DATE	COMMENT	BY

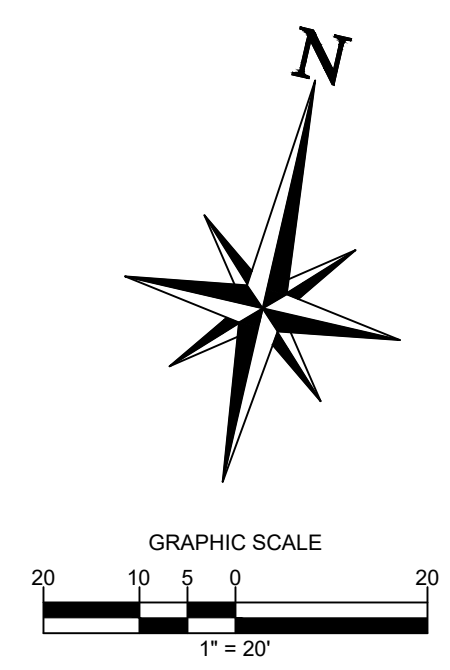
DOCUMENT
SITE PLAN APPROVAL FOR CHASE BANK
SITE LOCATION
1574 WOODBURY AVENUE,
PORTSMOUTH, NH 03801

ENGINEER SEAL
THOMAS C. PICKERING, P.E.
THOMAS C. PICKERING
No. 10218
LICENSED PROFESSIONAL ENGINEER
CORE STATES, INC. STATE
CERTIFICATE OF AUTHORIZATION
#01208

SHEET TITLE
DEMOLITION PLAN
JOB #: JPM 27086
DATE: 09/4/2019
SCALE: AS NOTED
DRAWN BY: JD
CHECKED BY: AR
SHEET NO.
C-1



SITE PLAN SCALE 1" = 10'



GENERAL DEVELOPMENT NOTES:

- 1. PROPOSED UTILITIES ARE ONLY SHOWN IN SCHEMATIC LAYOUT. EXACT LOCATIONS SHALL BE DETERMINED PRIOR TO CONSTRUCTION. SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR SHALL HALT WORK AND NOTIFY THE ENGINEER OF RECORD.
2. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
3. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS OTHERWISE NOTED ON THESE PLANS.
4. ALL DIMENSIONS SHOWN ARE TAKEN FROM FACE OF CURB UNLESS OTHERWISE INDICATED.
5. ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED.
6. EXISTING CONDITIONS ARE BASED ON TOPOGRAPHIC PLAN OF LAND SURVEY BY ALLEN & MAJOR ASSOCIATES, INC. SURVEYING & ENGINEERING DATED 08/27/2019.
7. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
9. ANY DAMAGE TO THE EXISTING CURB AS A RESULT OF THIS DEVELOPMENT MUST BE REPLACED AS NECESSARY.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEW STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF THE CONSTRUCTION.
11. ALL NEW BUILDING SIGNAGE WILL COMPLY WITH ZONING REGULATIONS.
12. PROVIDE ADEQUATE OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
13. ALL QUANTITIES SHOWN ON PLANS ARE APPROXIMATE AND FOR REFERENCE ONLY.
14. CONTRACTOR TO VERIFY ALL MINIMUMS CALLED OUT ON THE CIVIL PLANS AND SHALL NOTIFY ENGINEER IF MINIMUMS CANNOT BE MET.
15. REFER TO SHEET CV2 FOR GENERAL NOTES.

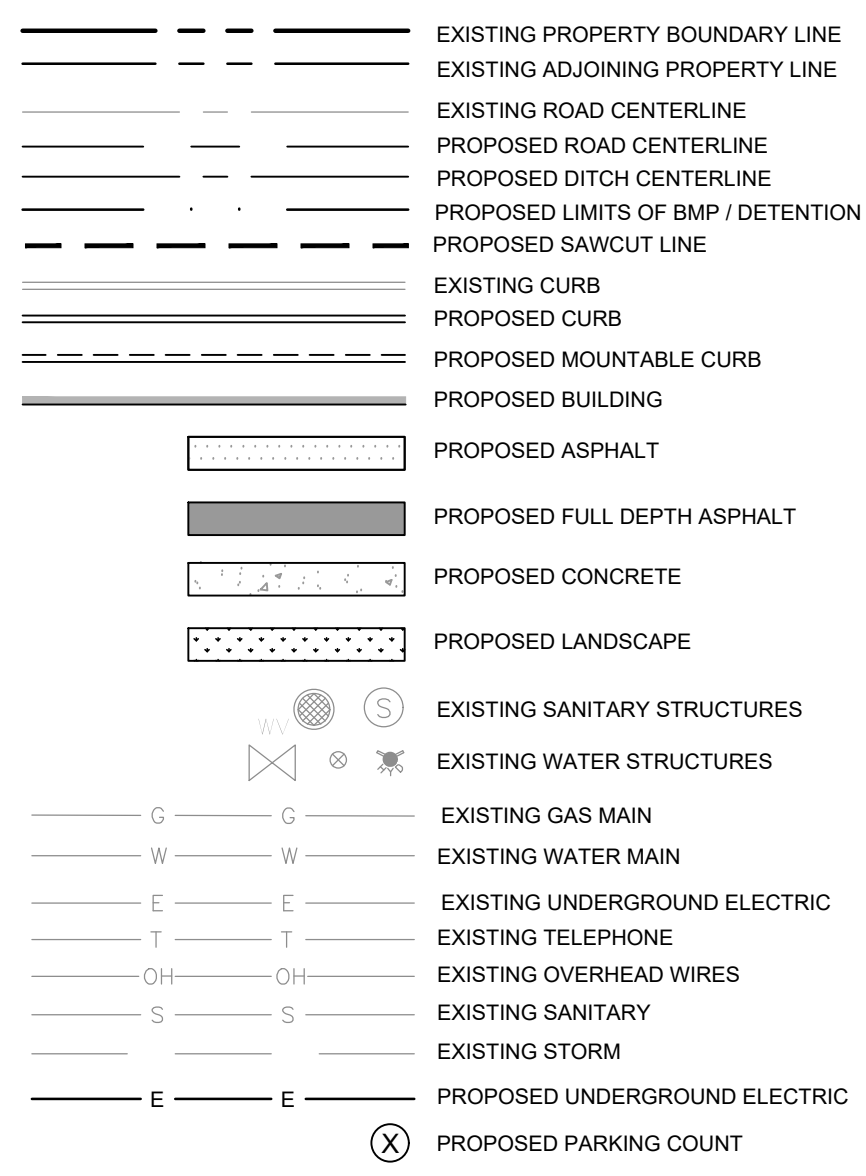
SITE KEY NOTES:

- A. PROPOSED BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
B. PROPOSED ACCESSIBLE PARKING STRIPING AND SYMBOL. REFER TO DETAIL ON SHEET CD-2.
C. PROPOSED ACCESSIBLE PARKING SIGNAGE AND POST. REFER TO DETAIL ON SHEET CD-2.
D. PROPOSED ACCESSIBLE CURB RAMP. REFER TO DETAIL ON SHEET CD-2.
E. PROPOSED LANDSCAPING.
G. PROPOSED CONCRETE CURB. REFER TO DETAIL ON SHEET CD-3.
H. PROPOSED CONCRETE SIDEWALK. REFER TO DETAIL ON SHEET CD-3.
I. PROPOSED CONCRETE PAVEMENT. REFER TO DETAIL ON SHEET CD-3.
J. PROPOSED ASPHALT PAVING. REFER TO DETAIL ON SHEET CD-3.
K. PROPOSED STANDARD PARKING STRIPING. REFER TO DETAIL ON SHEET CD-3.
L. NOT USED.
M. NOT USED.
N. PROPOSED LIGHT POLE.
O. PROPOSED JPM CHASE ATM.
P. PROPOSED BOLLARD. REFER TO DETAIL SHEET CD-03.
Q. PROPOSED PAVEMENT MARKINGS. REFER TO DETAIL SHEET CD-03.
R. PROPOSED STOP SIGN. REFER TO DETAIL SHEET CD-03.
S. PROPOSED GAS LINE.
T. PROPOSED WATER LINE.
U. PROPOSED ELECTRICAL LINE.
V. PROPOSED SANITARY LINE.
W. PROPOSED STORM LINE.

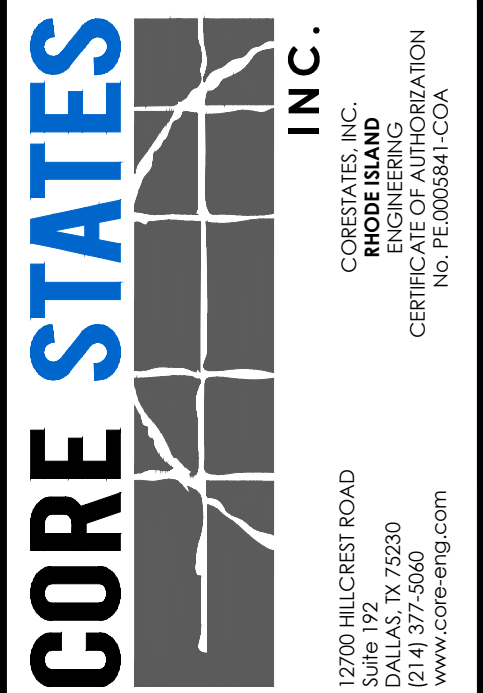
GENERAL NOTES:

THIS DRAWING REFERENCES: 1574 WOODBURY AVENUE TOPOGRAPHIC PLAN OF LAND PREPARED BY: ALLEN & MAJOR ASSOCIATES, INC. 100 COMMERCE WAY, SUITE 5 WOBURN, MA 01801 CONTACT: ANDREW RUGGLES TEL: (781) 382-5313 DATED: 08/28/2019
PROPERTY OWNER: RETAIL SITE PROCESSING, INC. C/O ELIE JAMAMAL 175 GREAT ROAD BELMONT, MA 01730 (617) 710-3398
APPLICANT: J.P. MORGAN CHASE BANK 1450 BRICKELL AVENUE 3RD FLOOR MIAMI, FL 33131 CONTACT: CHRIS FOIT TEL: (786) 473-1769
1) SITE ADDRESS: 1574 WOODBURY AVENUE PORTSMOUTH, NH 03801 COUNTY OF ROCKINGHAM
2) ZONING DATA: ZONED: G-1 GATEWAY CORRIDOR DISTRICT
EXISTING USE: RESTAURANT - RUBY TUESDAYS (PERMITTED) PROPOSED USE: BANK (PERMITTED BY RIGHT) DRIVE THROUGH (CONDITIONAL USE PERMIT REQUIRED)
SECTION 10.5B34.60 (SMALL COMMERCIAL BUILDING)
REQUIRED EXISTING PROPOSED
MIN. LOT AREA, SF: N/A 43,673 SF 43,673 SF
MIN. LOT FRONTAGE, FT: 50' 204.32' 204.32'
FRONT YARD SETBACK, FT: 0'-20' 88' 20'
MIN. SIDE YARD SETBACK, FT: 10' 10' 66.17'
MIN. REAR YARD SETBACK, FT: 15' 16.4' 123.07'
MAX. HEIGHT, FT: 40' 21' 21'
MAX. HEIGHT, STORIES: 3 1 1
MIN. STREET FACADE HEIGHT: 18' 21.6'
MIN. OPEN SPACE COVERAGE: 10% 23% 7.48%
MAX. BUILDING COVERAGE: 70% 10.53% 7.48%
MAX. BUILDING FOOTPRINT: 10,000 SF 4,600 SF 3,270 SF
3) PARKING REQUIREMENTS: \$10,112.30 OFF-STREET PARKING REQUIREMENTS PER THE CITY OF PORTSMOUTH ZONING ORDINANCE.
FOR PROFESSIONAL, BUSINESS AND FINANCIAL SERVICES: 1 SPACE PER 350 SQUARE FEET OF GROSS FLOOR GROSS AREA
GROSS FLOOR GROSS AREA = 3,270 SF (MAIN BUILDING) CALCULATION: 1 SPACE X (3,270 SF / 350 SF) = 9.34 SPACES REQUIRED = 10 SPACES
EXISTING PARKING SPACES: 62 SPACES (INCLUDING 3 ACCESSIBLE SPACES) PROPOSED PARKING SPACES: 20 SPACES (INCLUDING 2 ACCESSIBLE SPACES)
PARKING DIMENSIONS EXISTING: VARIES REQUIRED: 8.5' X 18' PROPOSED: 9' X 18'
4) ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
5) ALL PAVEMENT MARKINGS SHALL BE LONG LIFE EPOXY.
6) PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
7) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
8) ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
9) SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
10) ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

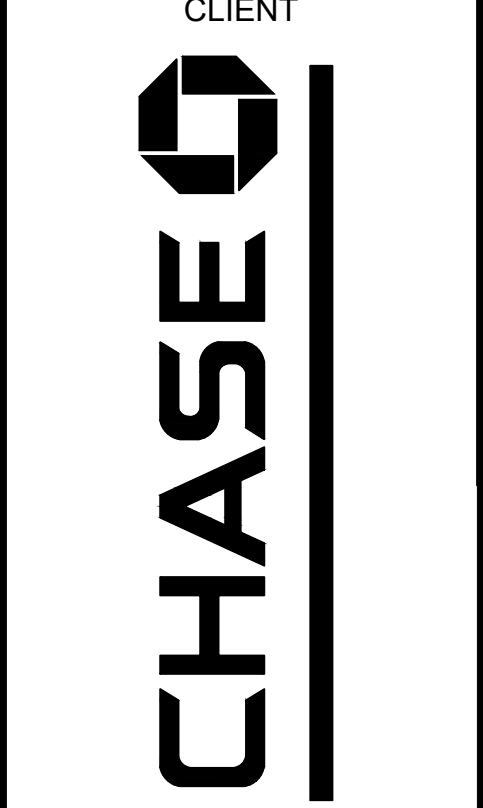
SITE LEGEND



ALERT TO CONTRACTOR: PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.



DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

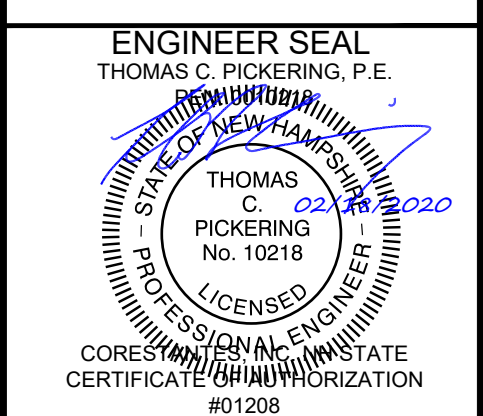


Know what's before you dig. Call before you dig. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS TAKEN IN THE FIELD. CORE STATES, INC. DOES NOT GUARANTEE THE LOCATION OR DEPTH OF EXISTING UTILITIES. THE CONTRACTOR SHALL OBTAIN THE REQUIRED EXACT FIELD LOCATIONS OF UTILITIES PRIOR TO CONSTRUCTION.

Table with columns: REV, DATE, COMMENT, BY. Contains revision history entries.

DOCUMENT SITE PLAN APPROVAL FOR CHASE BANK

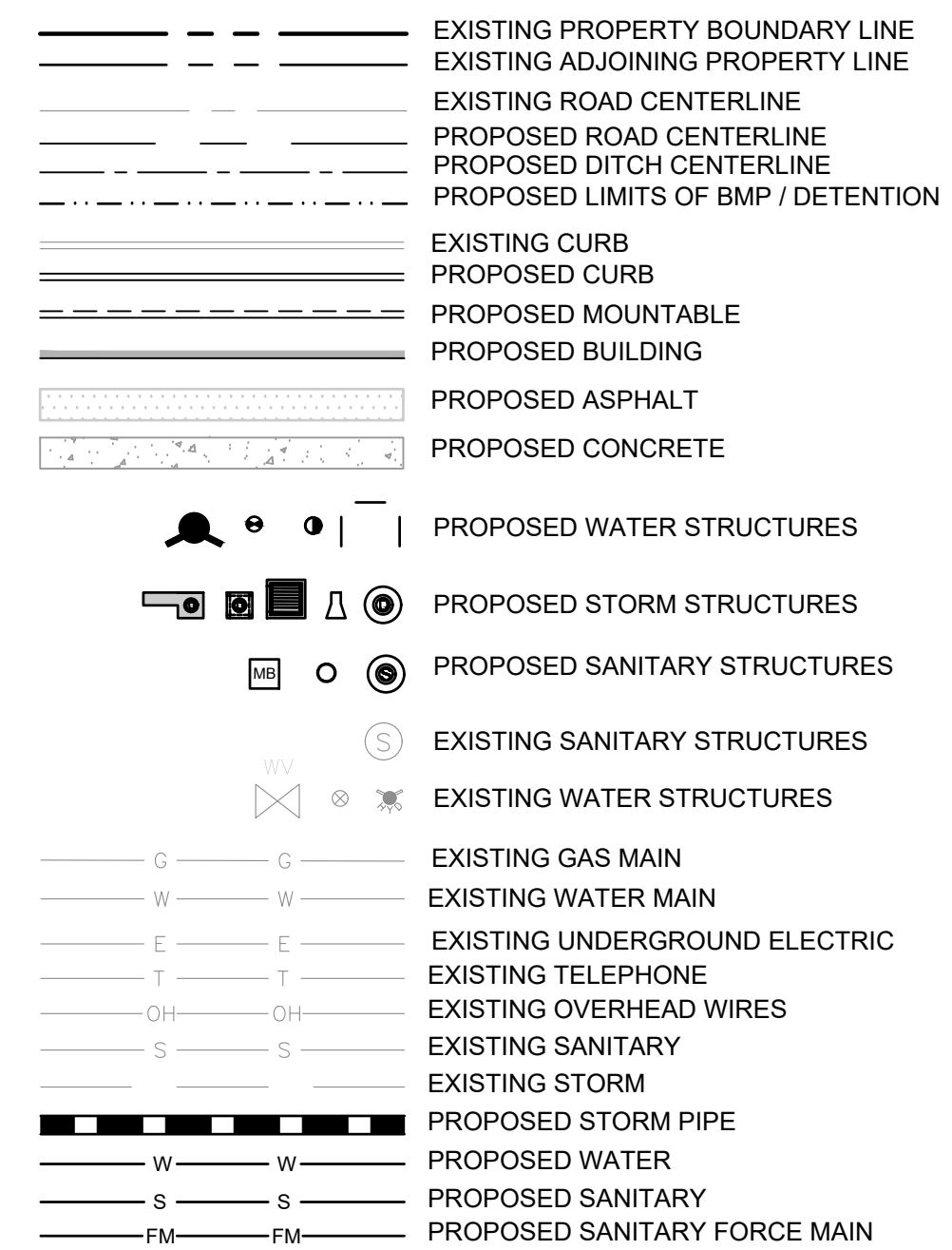
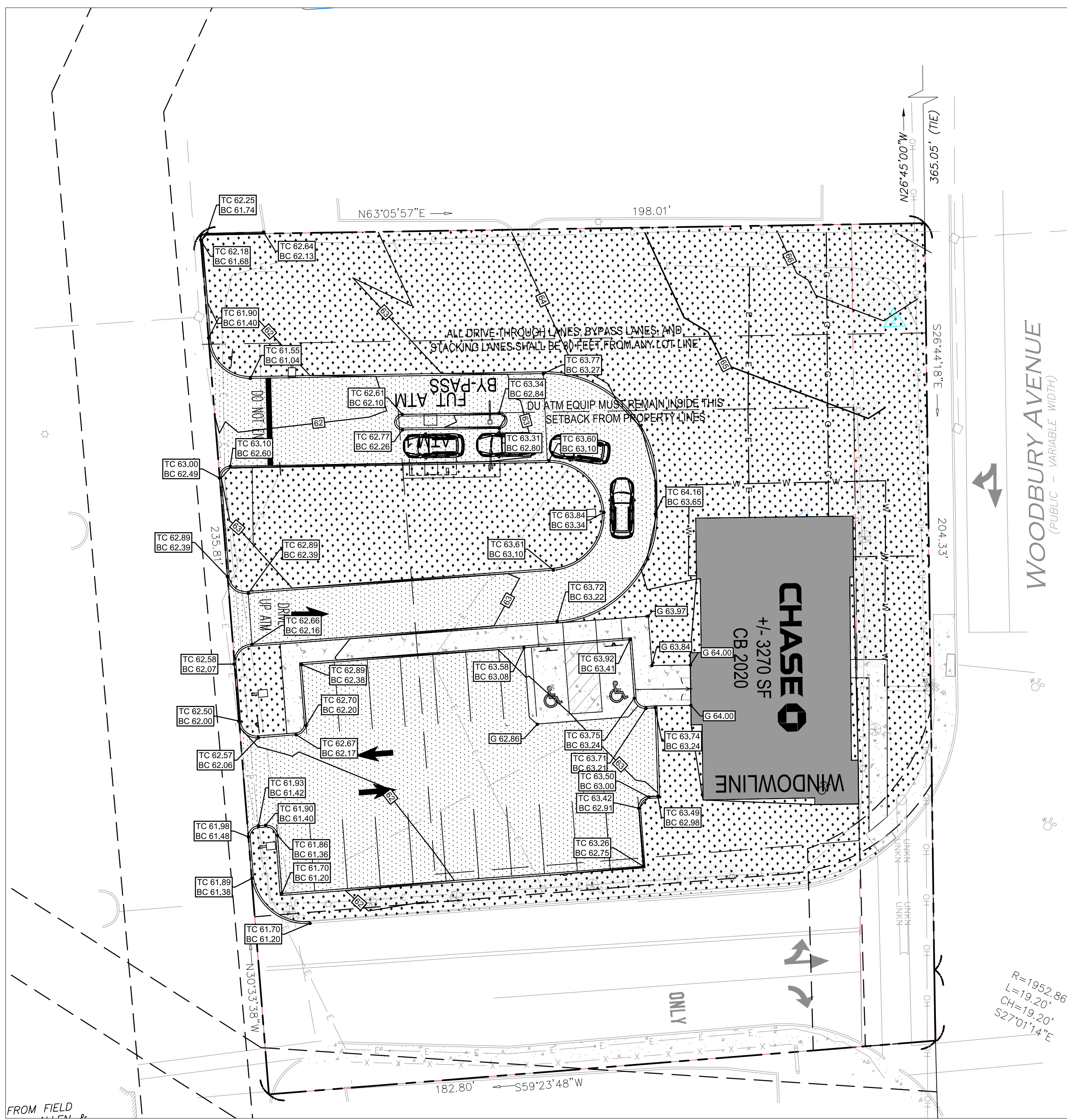
SITE LOCATION 1574 WOODBURY AVENUE, PORTSMOUTH, NH 03801



SHEET TITLE SITE PLAN

JOB #: JPM 27086 DATE: 09/4/2019 SCALE: AS NOTED DRAWN BY: JD CHECKED BY: AR

SHEET NO. C-2



GENERAL NOTES:

- THIS PROJECT REFERENCES A SURVEY PREPARED BY:

EXISTING CONDITIONS SURVEY
ALLEN & MAJOR ASSOCIATES, INC.
DATED 8/28/19

GRADING NOTES:

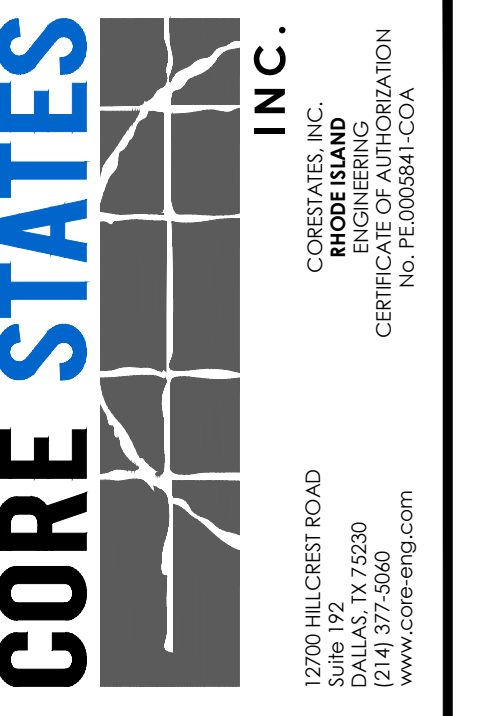
- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE TOWNSHIP.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES ARE REQUIRED.
- STORM PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. PRIOR TO FINAL INSPECTION.
- EXISTING CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
- PROPOSED CONTOUR INTERVALS SHOWN AT 1.0 FOOT.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 2" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE APPLICABLE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT, UNLESS OTHERWISE NOTED.



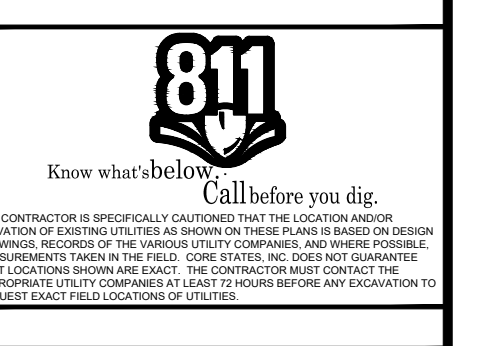
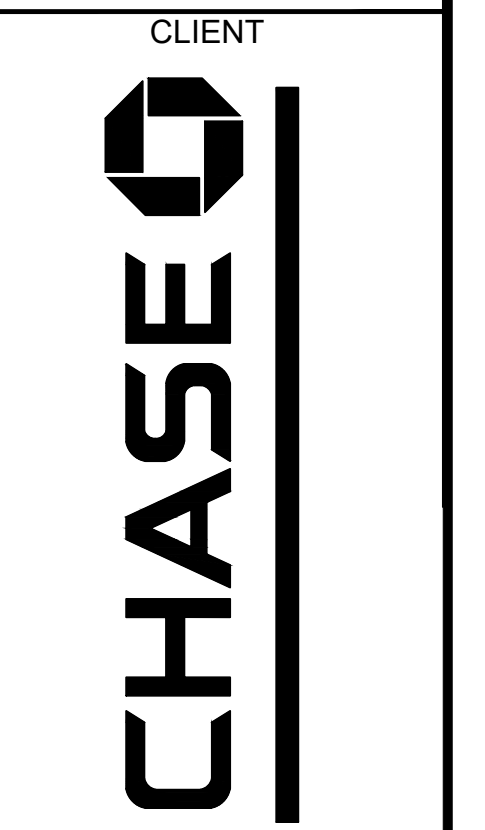
- FOLLOWING DEMOLITION, CLEARING/GRUBBING OPERATIONS, DESIGN CUTS, AND ADDITIONAL CUTTING TO REMOVE UNSUITABLE CONDITIONS AND PRIOR TO FILL PLACEMENT AND NEW CONSTRUCTION, THE ENTIRE SITE SHOULD BE PROOF-COMPACTED WITH MULTIPLE PERPENDICULAR PASSES OF A LARGE (15-TON STATIC WEIGHT) VIBRATORY ROLLER TO COMPACT LOOSE, NEAR SURFACE SOILS. HOWEVER, DEPENDING ON THE GROUNDWATER LEVEL AT THE TIME OF CONSTRUCTION, IT MAY BE NECESSARY TO OPERATE THE ROLLER IN STATIC MODE IN ORDER TO MINIMIZE DRAWING WATER UP THROUGH THESE TYPICALLY GRANULAR SOIL TYPES LOOSE, SOFT, WET OR UNSTABLE SOILS IDENTIFIED DURING THE PROOF-COMPACTED SHOULD BE EXCAVATED TO AN ACCEPTABLE BEARING STRATUM AS DETERMINED BY A PSI REPRESENTATIVE. IF PRESENT, ABANDONED FOUNDATIONS, SLABS AND UTILITIES SHOULD BE REMOVED ENTIRELY BELOW THE PROPOSED BUILDING AND PAVEMENT AREAS. ANY REQUIRED BACKFILL OR NEW FILL SHOULD COMPLY WITH SECTION 3.3 STRUCTURAL FILL MATERIAL AND PLACEMENT. THE PLACEMENT OF A GEOTEXTILE AND/OR COARSE GRADED STONE MAY BE REQUIRED TO STABILIZE THE UNDERCUT
- CONTRACTOR TO ADD WATERPROOFING AT ALL LOCATIONS WHERE THE EXTERIOR GRADE IS PROPOSED ABOVE THE FINISHED FLOOR ELEVATION. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.

ALERT TO CONTRACTOR:

PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. ENGINEER AND OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.



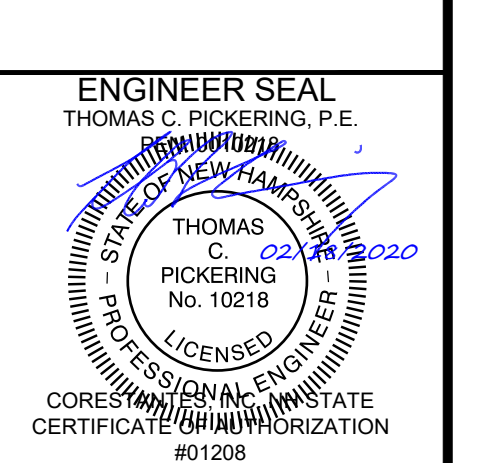
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REV	DATE	COMMENT	BY

DOCUMENT
SITE PLAN APPROVAL FOR CHASE BANK

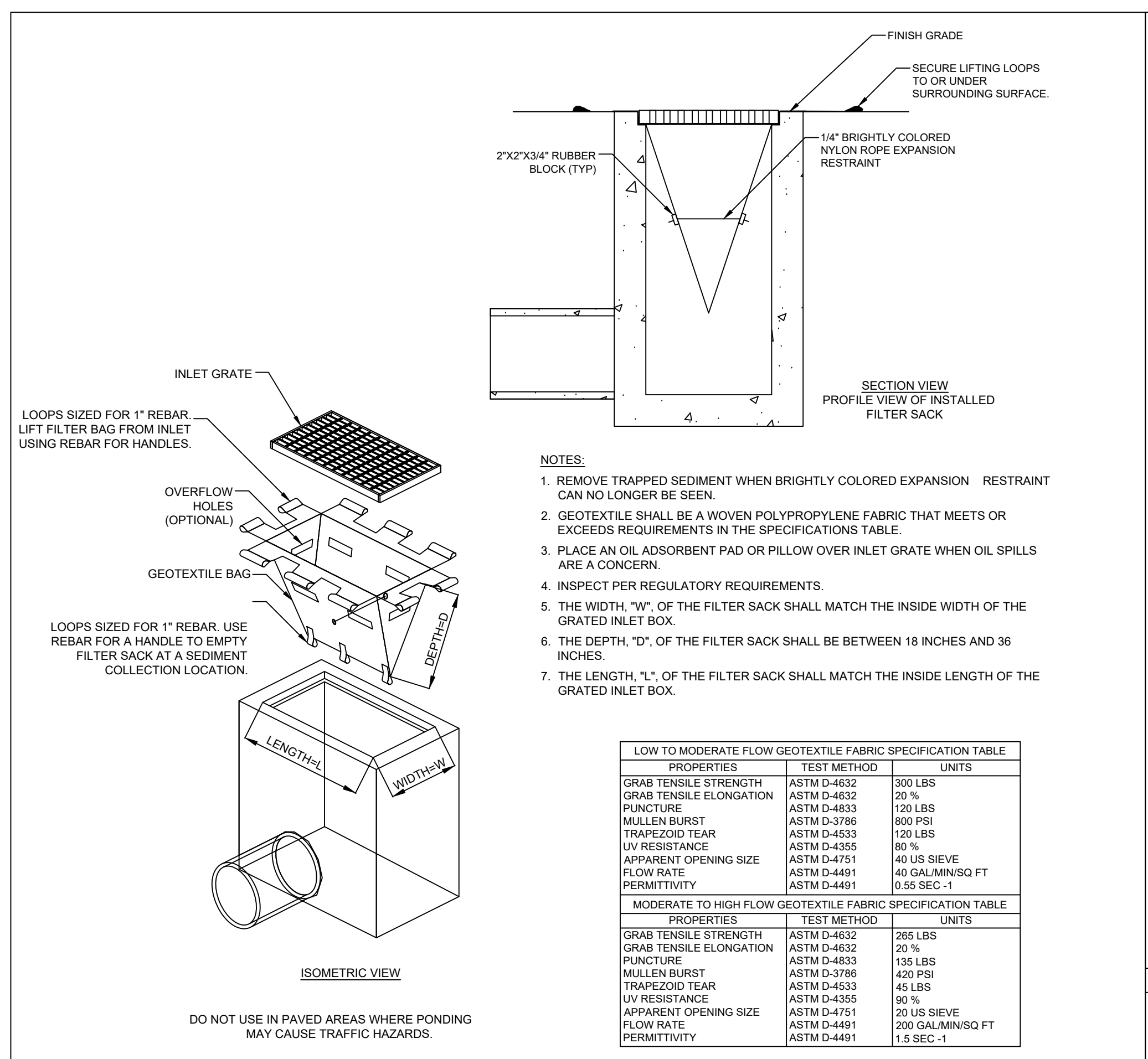
SITE LOCATION
1574 WOODBURY AVENUE,
PORTSMOUTH, NH 03801



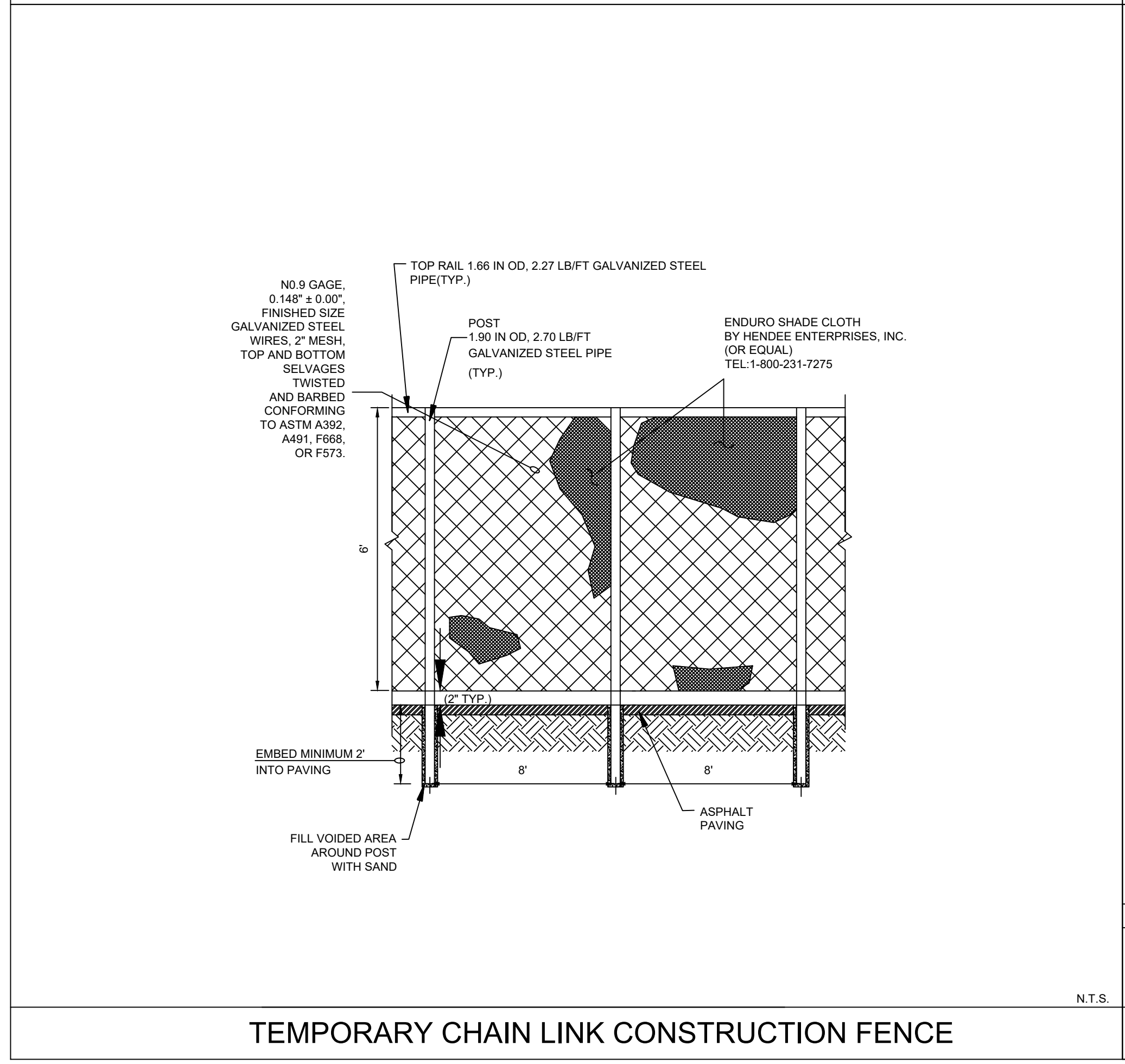
SHEET TITLE
GRADING PLAN

JOB #:	JPM 27086
DATE:	09/4/2019
SCALE:	AS NOTED
DRAWN BY:	JD
CHECKED BY:	AR

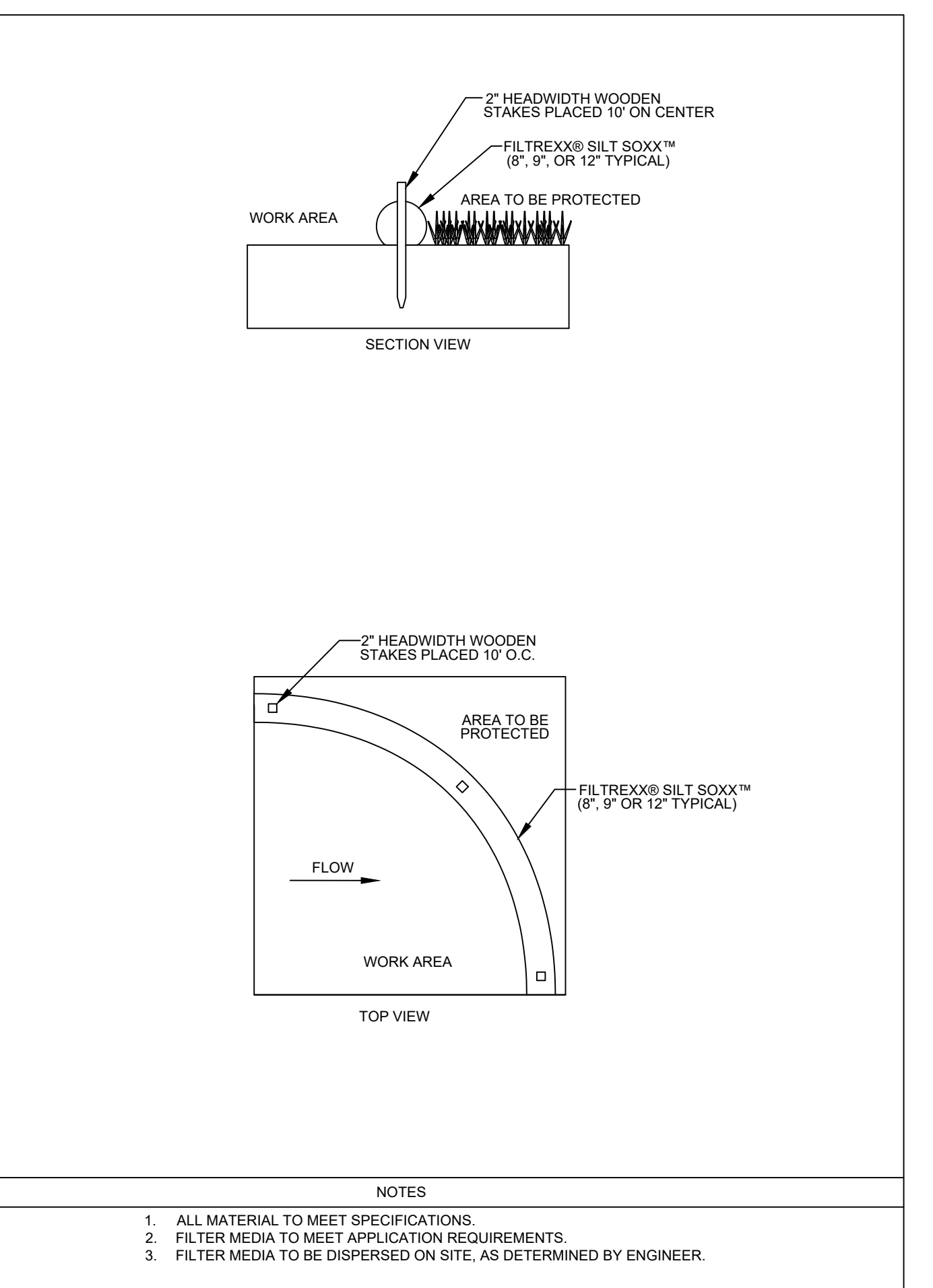
SHEET NO.
C-3



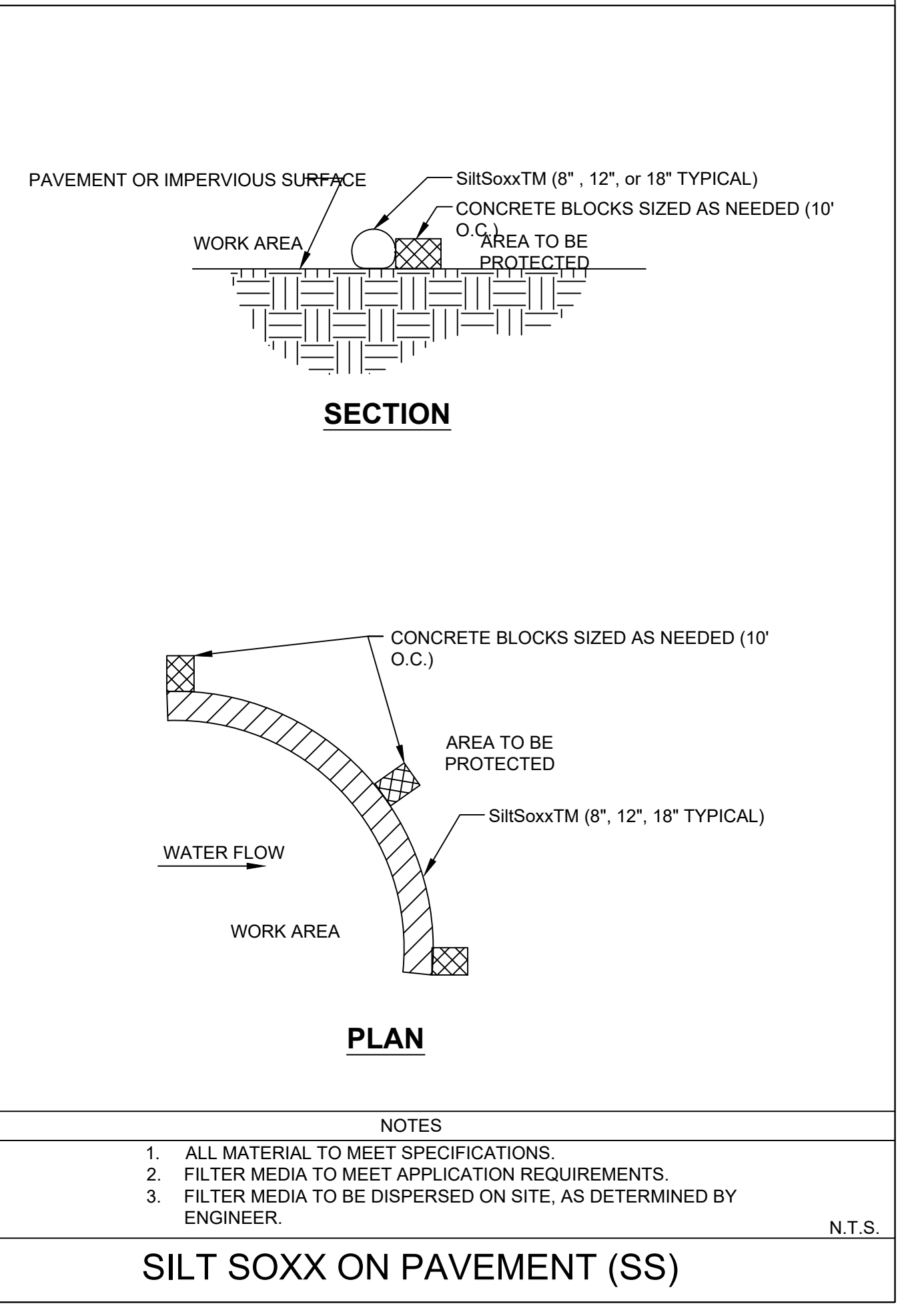
INLET PROTECTION DETAIL



TEMPORARY CHAIN LINK CONSTRUCTION FENCE



SILT SOXX ON TURF (SS)



SILT SOXX ON PAVEMENT (SS)

CORE STATES INC.
CORPORATES, INC.
ENGINEERING
CERTIFICATE OF AUTHORIZATION
NO. FE000861-COR

12700 HILLCREST ROAD
DALLAS, TX 75220
(214) 377-5960
www.core-eng.com

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CHASE

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THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS OR OTHER INFORMATION IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CORE STATES, INC. DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION.

REV	DATE	COMMENT	BY

DOCUMENT

SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION

1574 WOODBURY AVENUE,
PORTSMOUTH, NH 03801

ENGINEER SEAL
THOMAS C. PICKERING, P.E.

THOMAS C. PICKERING
No. 10218
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

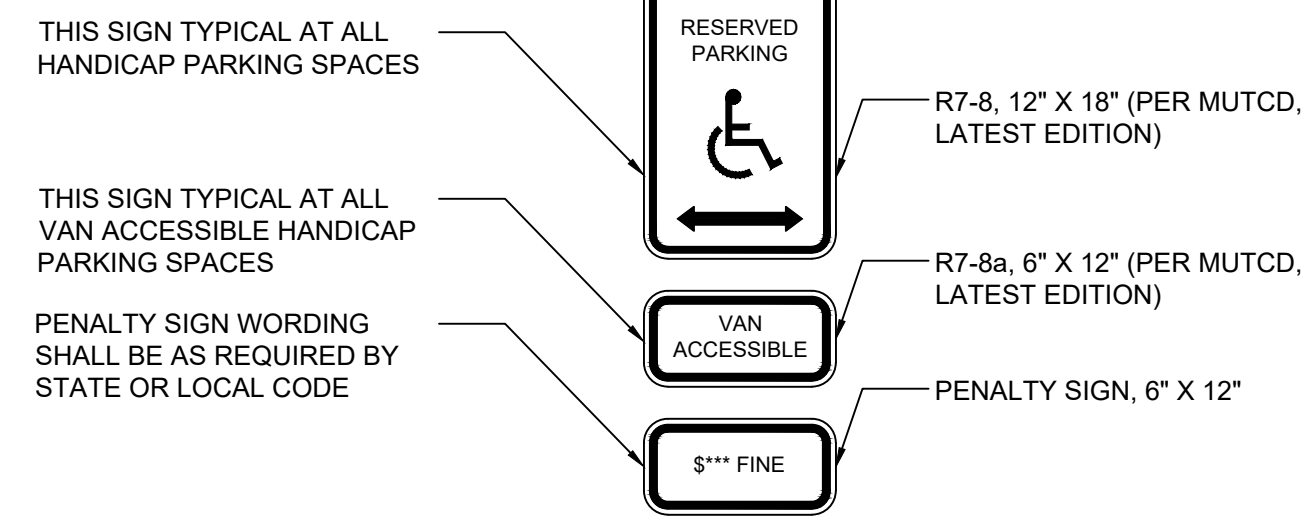
CORE STATES, INC. STATE CERTIFICATE OF AUTHORIZATION #01208

SHEET TITLE

SOIL EROSION AND SEDIMENT CONTROL DETAILS

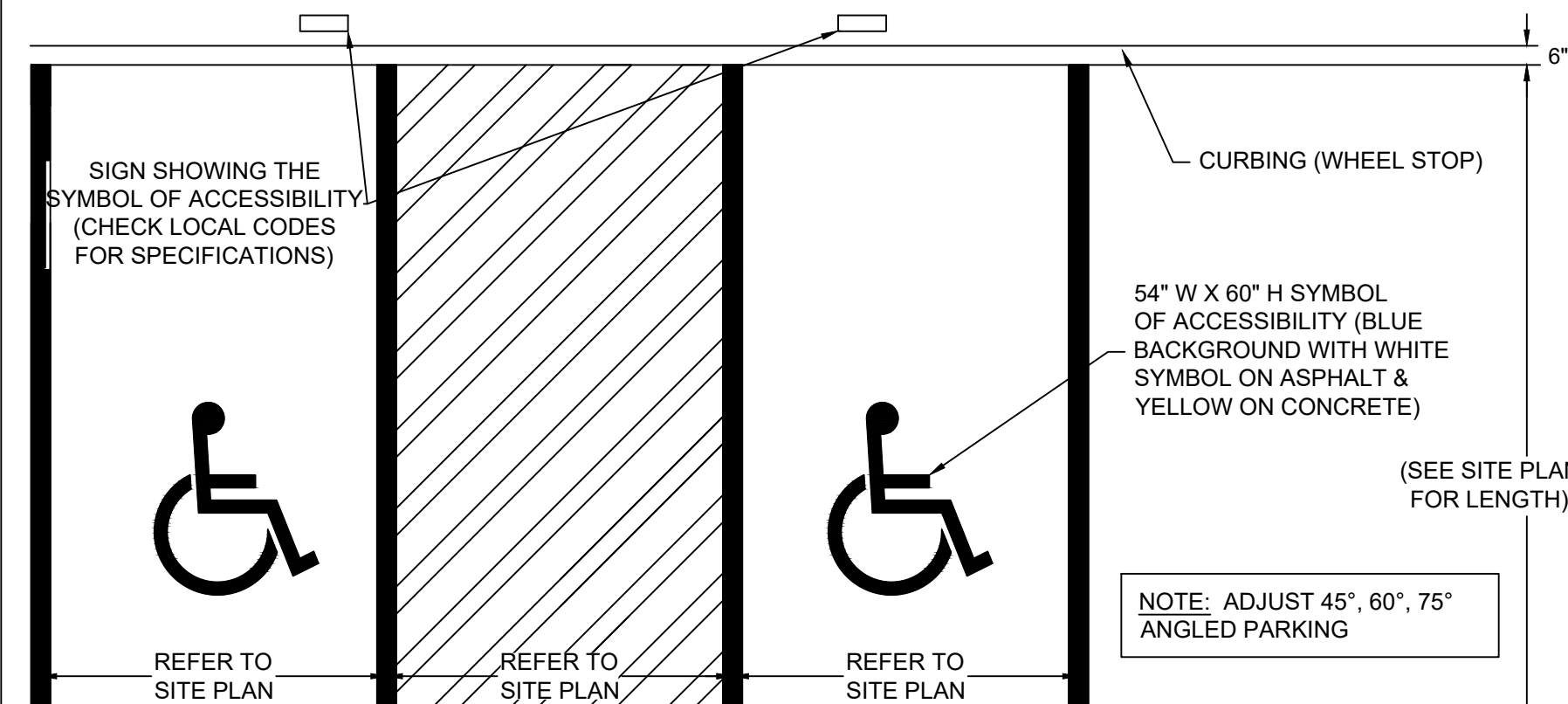
JOB #:	JPM 27086
DATE:	09/4/2019
SCALE:	AS NOTED
DRAWN BY:	JD
CHECKED BY:	AR

SHEET NO.
CD-1

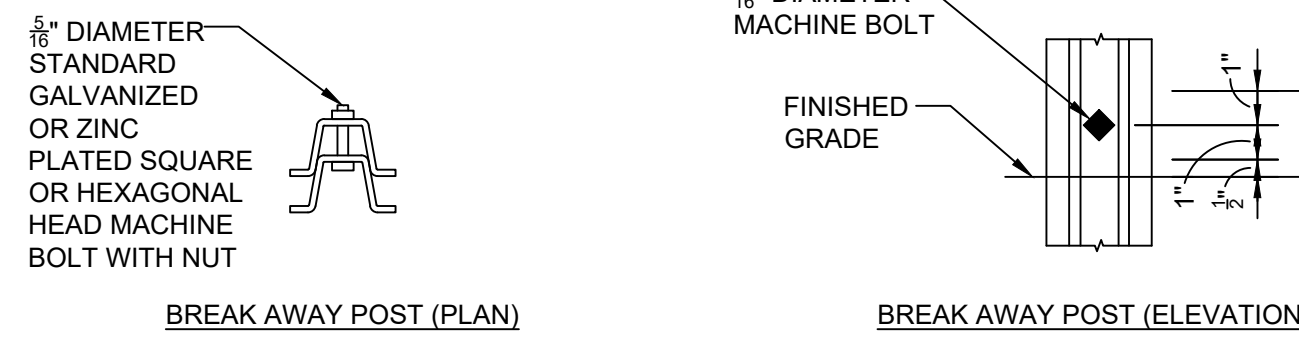
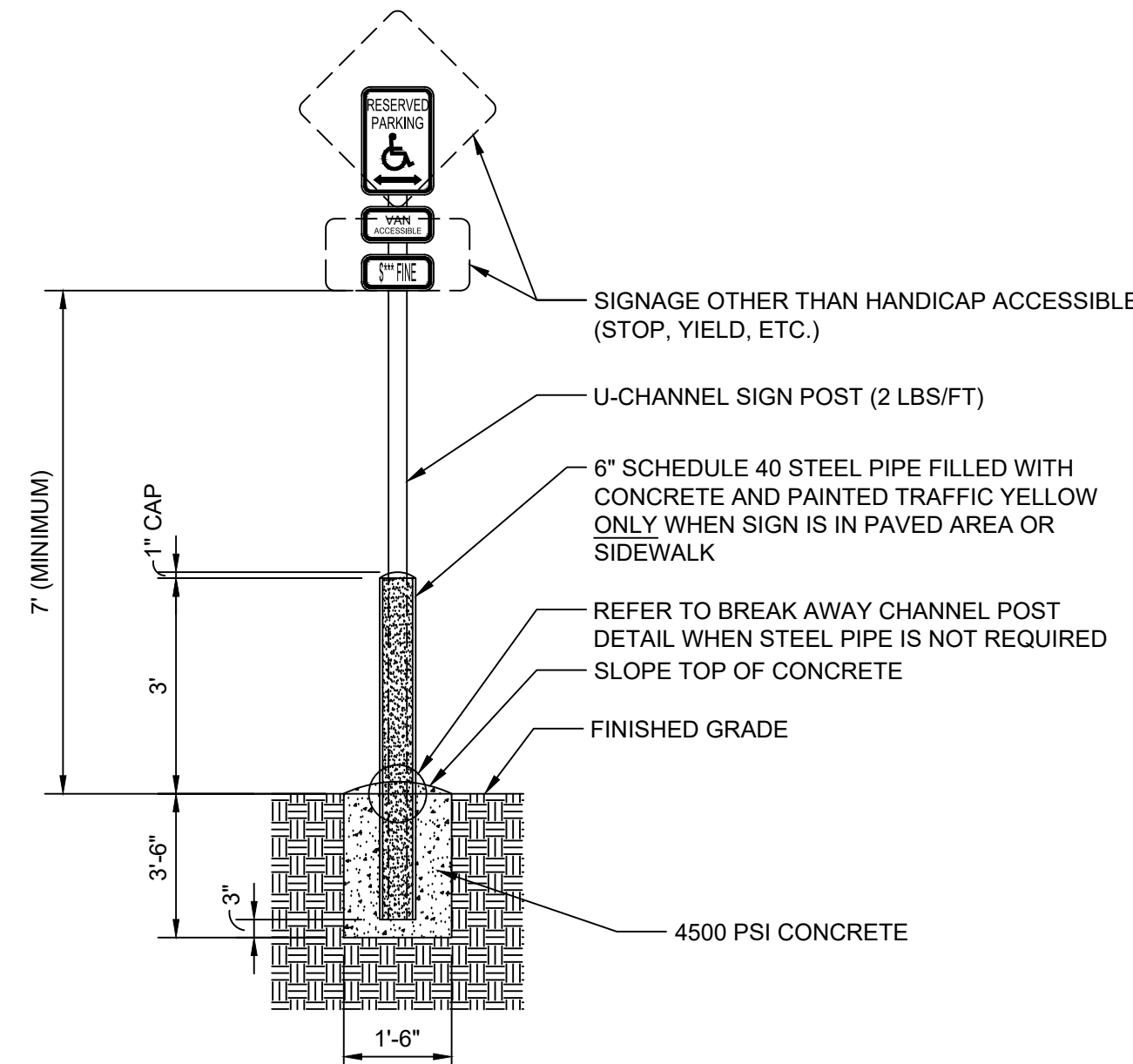


DETAIL NOTES:
 1. ALL SIGN BACKGROUNDS SHALL BE WHITE (RETROREFLECTIVE).
 2. ALL SIGN LEGENDS AND BORDERS SHALL BE GREEN (RETROREFLECTIVE).
 3. HANDICAPPED SYMBOL FOR SIGN R7-8 SHALL BE WHITE ON BLUE BACKGROUND (RETROREFLECTIVE).

ADA PARKING SIGN DETAIL

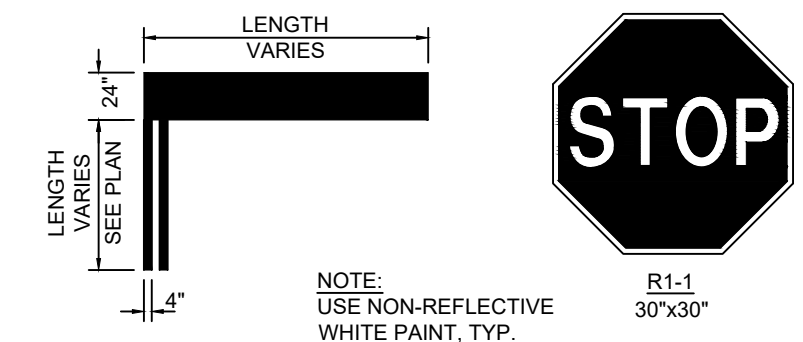


ACCESSIBLE PARKING STALL

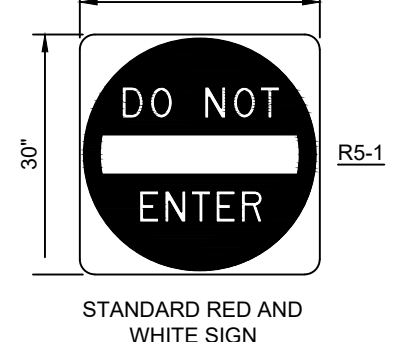


DETAIL NOTES:
 1. ALL SIGNS SHALL COMPLY WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION), AND LOCAL CODES AS SPECIFIED.
 2. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

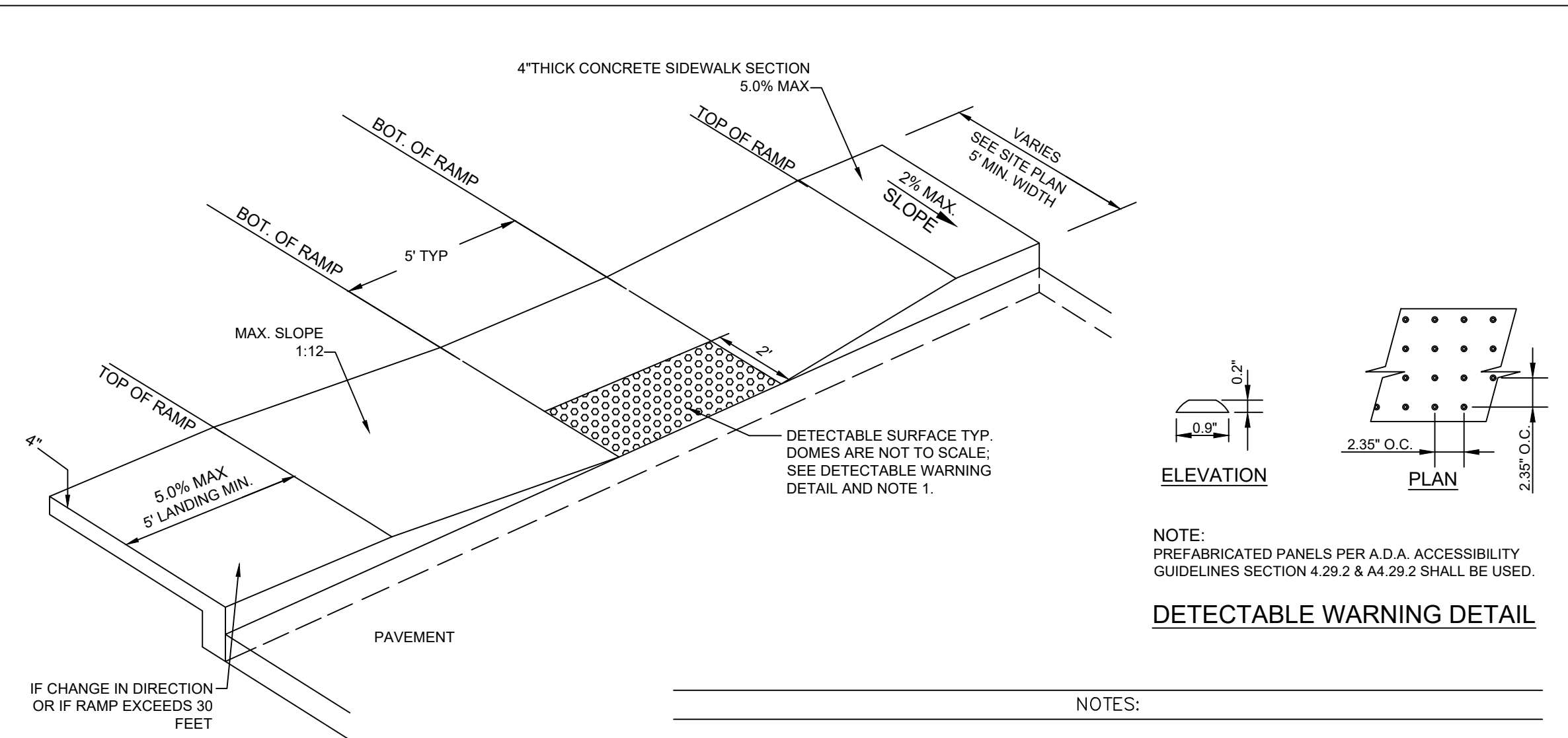
SIGN POST



PAINTED STOP BAR & SIGN DETAIL

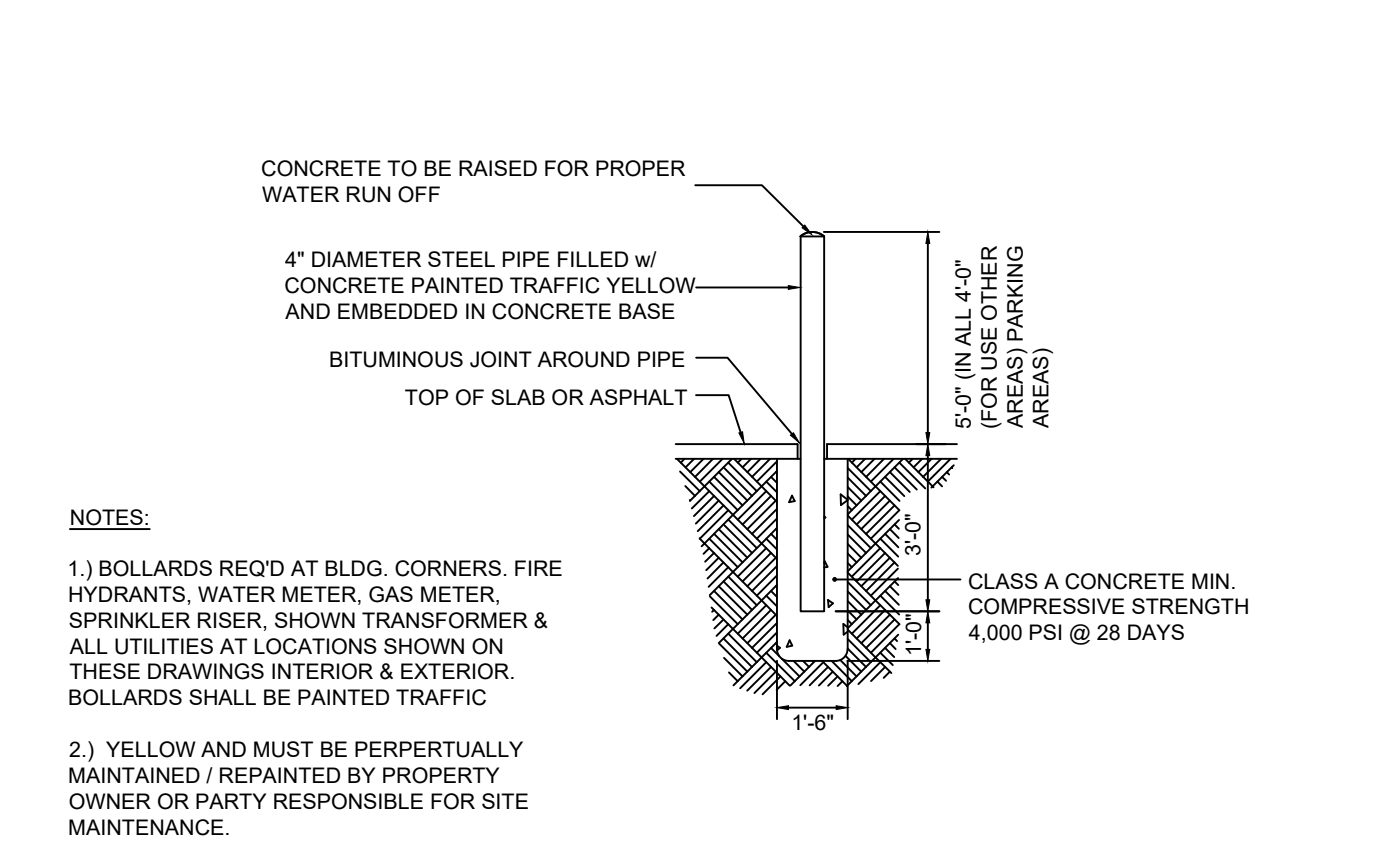


"DO NOT ENTER" SIGN

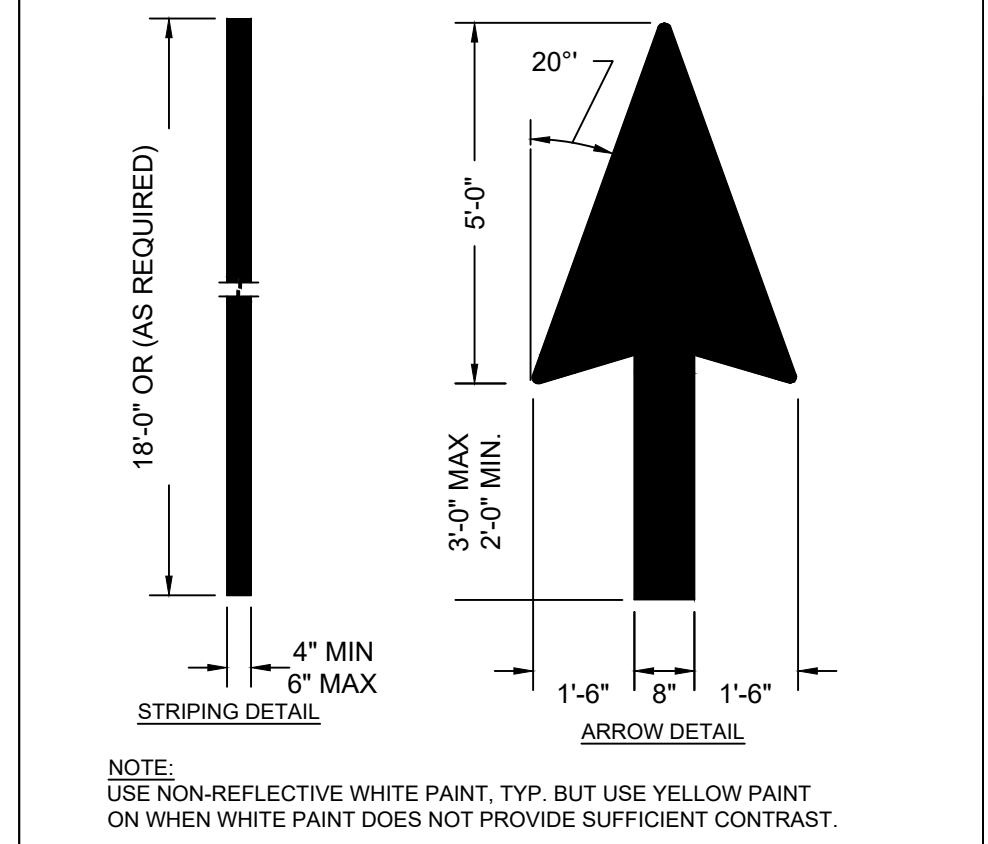


- NOTES:
1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.
 2. CONSTRUCT PER A.D.A. STANDARDS AND THE TOWN OF PORTSMOUTH BUILDING CODE.
 3. REFER TO PLANS FOR ADJACENT SLOPES.
 4. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1.5%. SHOULD THE CROSS SLOPE EXCEED 2% THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT AND THE TOWN OF PORTSMOUTH BUILDING CODE.
 5. THE LONGITUDINAL SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 8.33%. SHOULD THE LONGITUDINAL SLOPE EXCEED 8.33%, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING THE SIDEWALK AND CURB RAMP AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITY ACT AND THE TOWN OF PORTSMOUTH BUILDING CODE.
 6. ALL HANDICAP RAMPS TO BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE TOWN OF PORTSMOUTH BUILDING CODE.
 7. SEE DETAIL FOR DETECTABLE WARNING LOCATION, TYPE, AND EXTENTS.

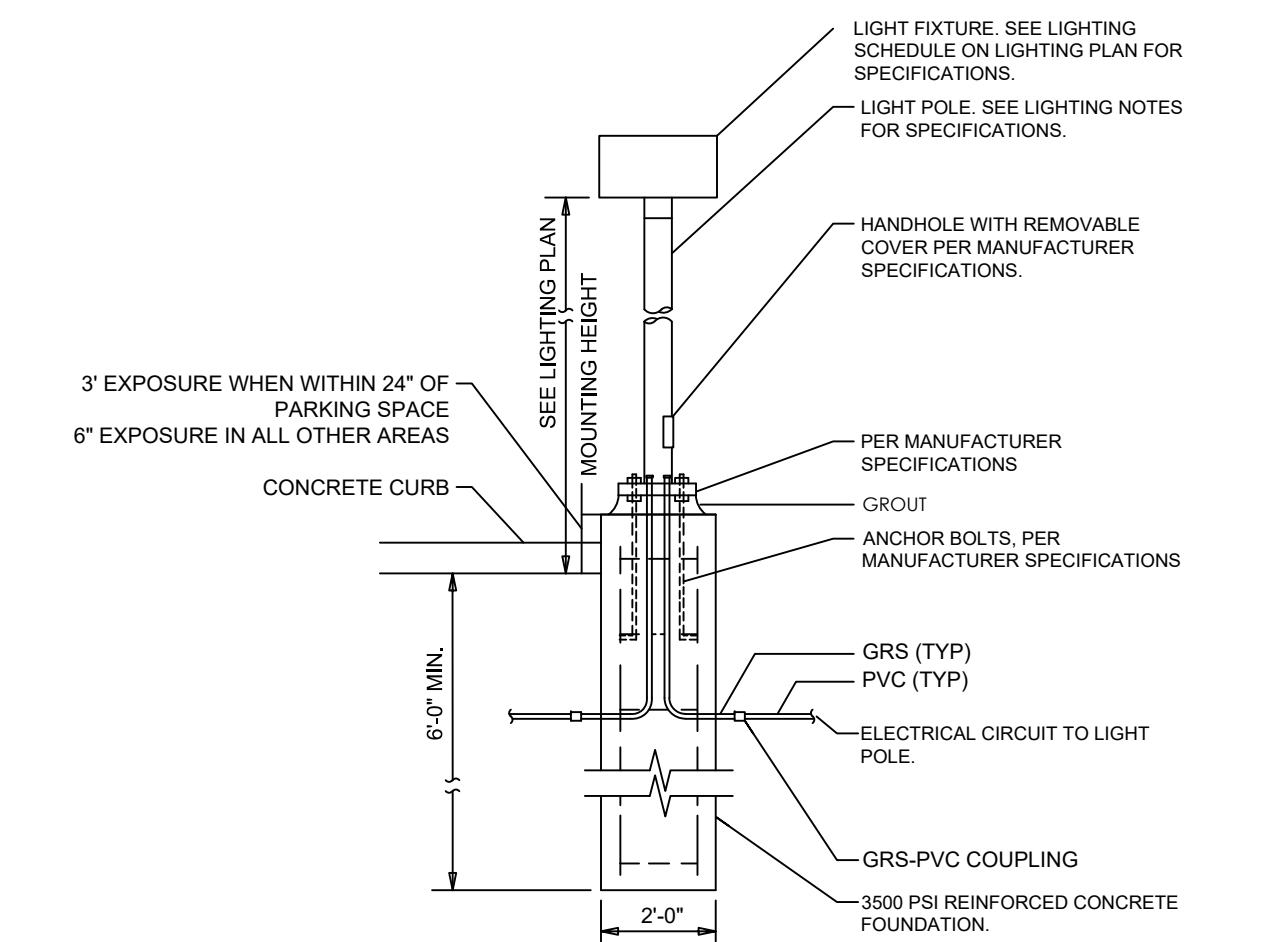
CURB RAMP DETAIL



BOLLARD DETAIL



PAVEMENT STRIPING DETAIL



LIGHT POLE DETAIL

CORE STATES INC.
 CORE STATES, INC.
 ENGINEERING
 CERTIFICATE OF AUTHORIZATION
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CLIENT
CHASE

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REV	DATE	COMMENT	BY

DOCUMENT
 SITE PLAN APPROVAL FOR CHASE BANK
 SITE LOCATION
 1574 WOODBURY AVENUE, PORTSMOUTH, NH 03801

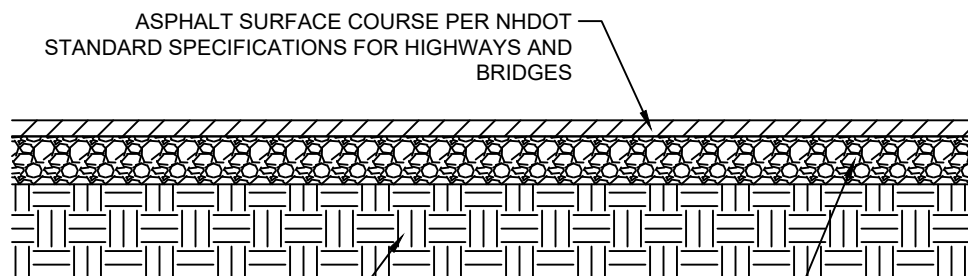
ENGINEER SEAL
 THOMAS C. PICKERING, P.E.

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 No. 10218
 LICENSED PROFESSIONAL ENGINEER
 CORE STATES, INC. STATE CERTIFICATE OF AUTHORIZATION #01208

SHEET TITLE
 CONSTRUCTION DETAILS
 JOB #: JPM 27086
 DATE: 09/4/2019
 SCALE: AS NOTED
 DRAWN BY: JD
 CHECKED BY: AR

SHEET NO.
CD-2

ASPHALT TYPE	LAYER DEPTH
ASPHALT SURFACE COURSE	1.5"
BITUMINOUS CONCRETE BINDER COURSE	1.5"
DENSE-GRADED CRUSHED STONE SUBBASE	6"
PROCESSED GRAVEL SUBBASE	12"



COMPACTED SUBBASE TO 98% OR GREATER OF MAXIMUM DRY DENSITY PER ASTM D-1557.

AGGREGATE BASE COURSE PER NHDOT

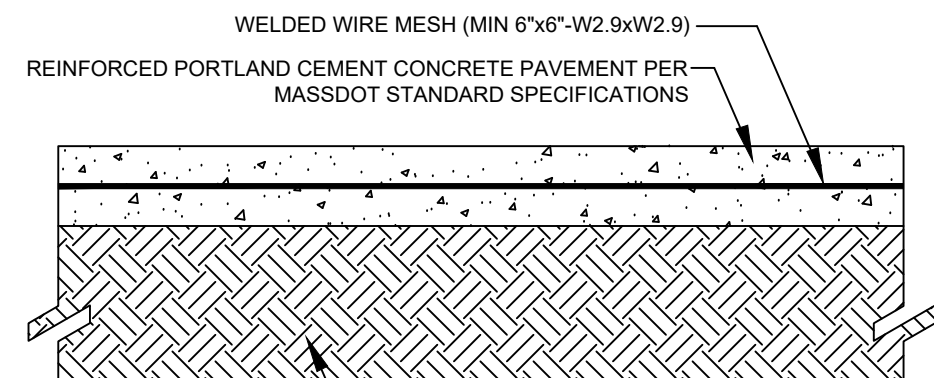
NOTES:

1. AGGREGATE BASE COURSE CAN BE LIMEROCK OR CRUSHED CONCRETE (LBR = 100). COMPACT BASE COURSE TO 98% OF THE MATERIALS MAXIMUM DRY DENSITY PER ASTM D-1557.
2. COMPACTED SUBGRADE TO ACHIEVE A MINIMUM LBR OF 40.

N.T.S.

ASPHALT PAVING DETAIL

SLAB COMPONENT	CONCRETE SLAB LOCATION	
	INTERIOR	OUTER 2'
CONCRETE PAVEMENT	6"	12"
COMPACTED SUBGRADE	12"	12"
MINIMUM 28 DAY STRENGTH	4000 PSI	4000 PSI



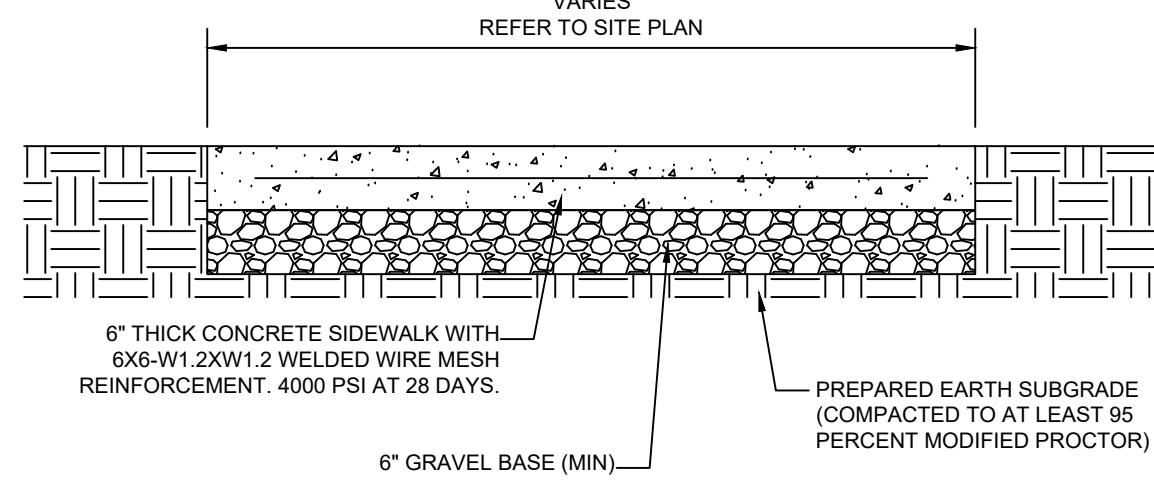
NOTE: THESE SPECIFICATIONS ARE BASED ON GEOTECHNICAL REPORT. REFER TO REPORT FOR FINAL SPECIFICATIONS.

NOTES:

1. SUBGRADE MATERIALS SHALL MEET NHDOT REQUIREMENTS INCLUDING COMPACTION TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
2. CONCRETE PAVEMENT SHALL MEET THE MORE STRINGENT REQUIREMENT OF EITHER THE SPECIFICATIONS PROVIDED BY THE OWNER, LOCAL CITY/COUNTY REQUIREMENTS, OR NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT WITH TRANSVERSE JOINTS AT 10' O.C. JOINTS TO BE CONSTRUCTED PER DETAIL ON THIS PAGE.
4. CONTRACTOR TO DOWEL AND JOINT BETWEEN CONCRETE SLAB AND CURB.

N.T.S.

CONCRETE PAVEMENT DETAIL

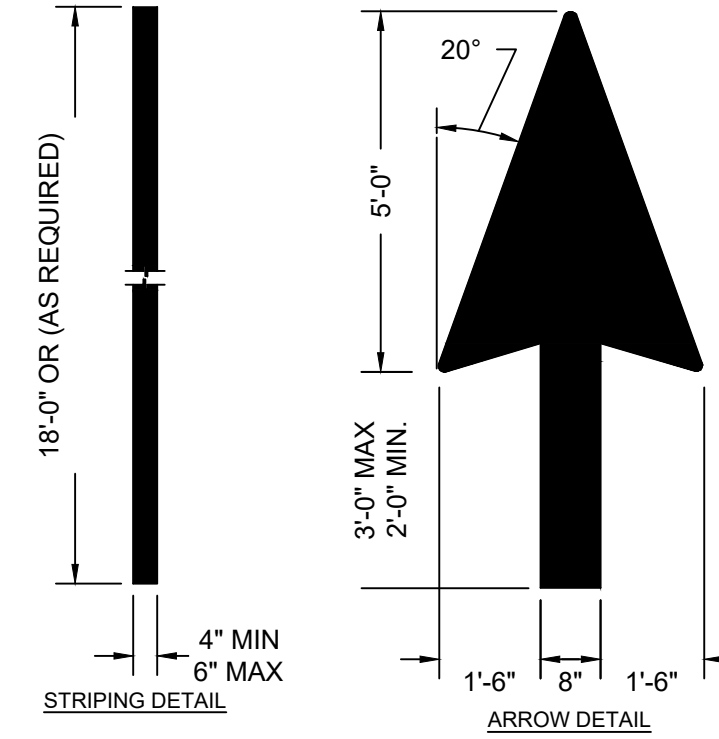


NOTES:

1. PROVIDE 1/2" PREMOLDED EXPANSION JOINT FILLER AT 60' CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS.
2. PROVIDE TOOLED CONTRACTION JOINTS AT 10' CENTERS.
3. CONTRACTOR TO PREPARE SUBGRADE BASED ON RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT.

N.T.S.

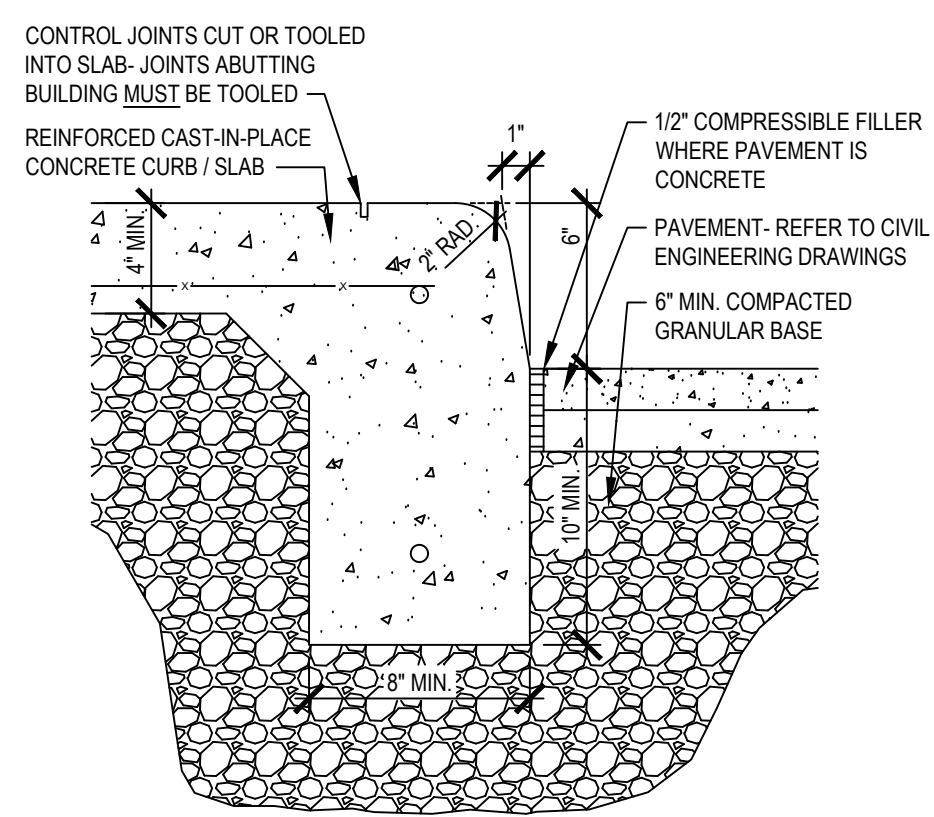
CONCRETE SIDEWALK DETAIL



NOTE: USE NON-REFLECTIVE WHITE PAINT, TYP. BUT USE YELLOW PAINT ON WHEN WHITE PAINT DOES NOT PROVIDE SUFFICIENT CONTRAST.

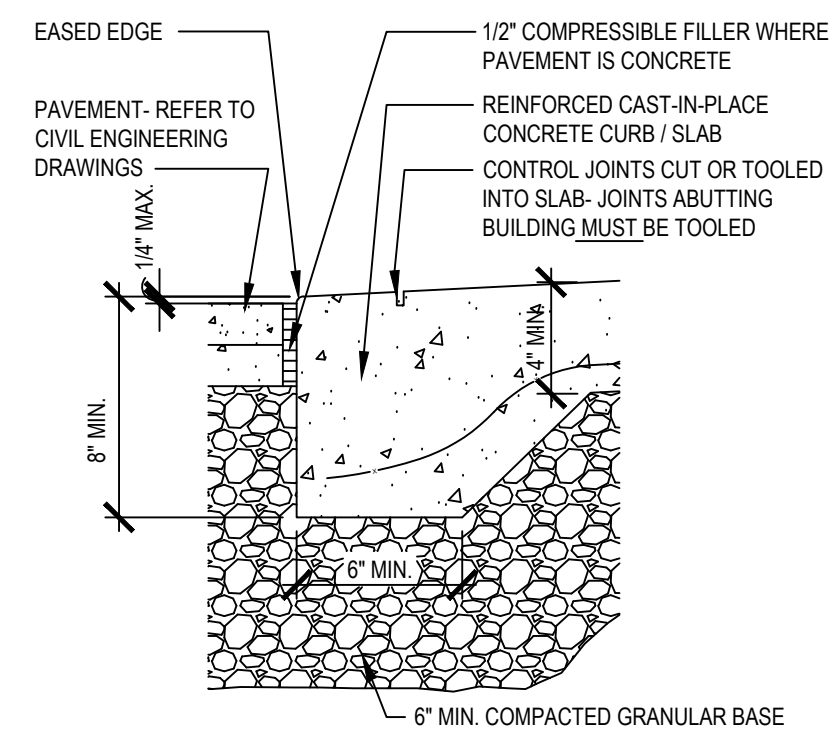
N.T.S.

PAVEMENT STRIPING DETAIL



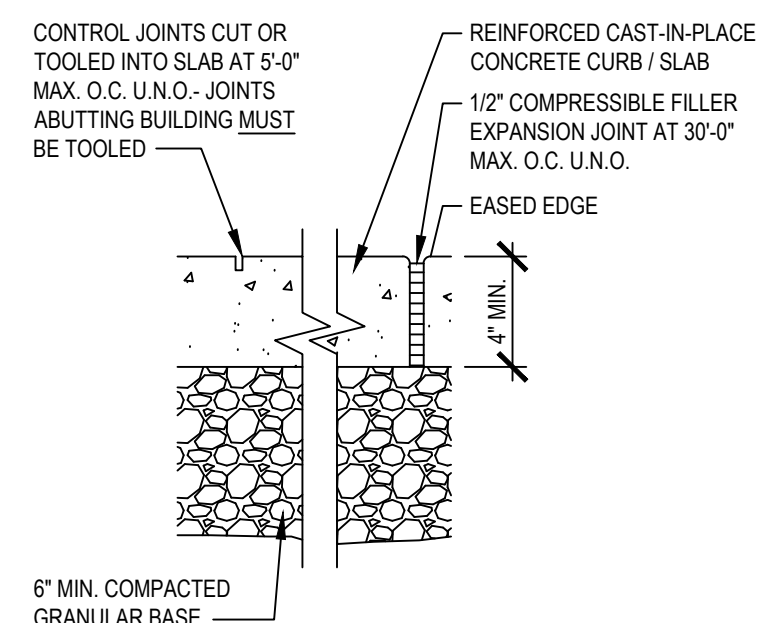
N.T.S.

PEDESTRIAN WALK CURB



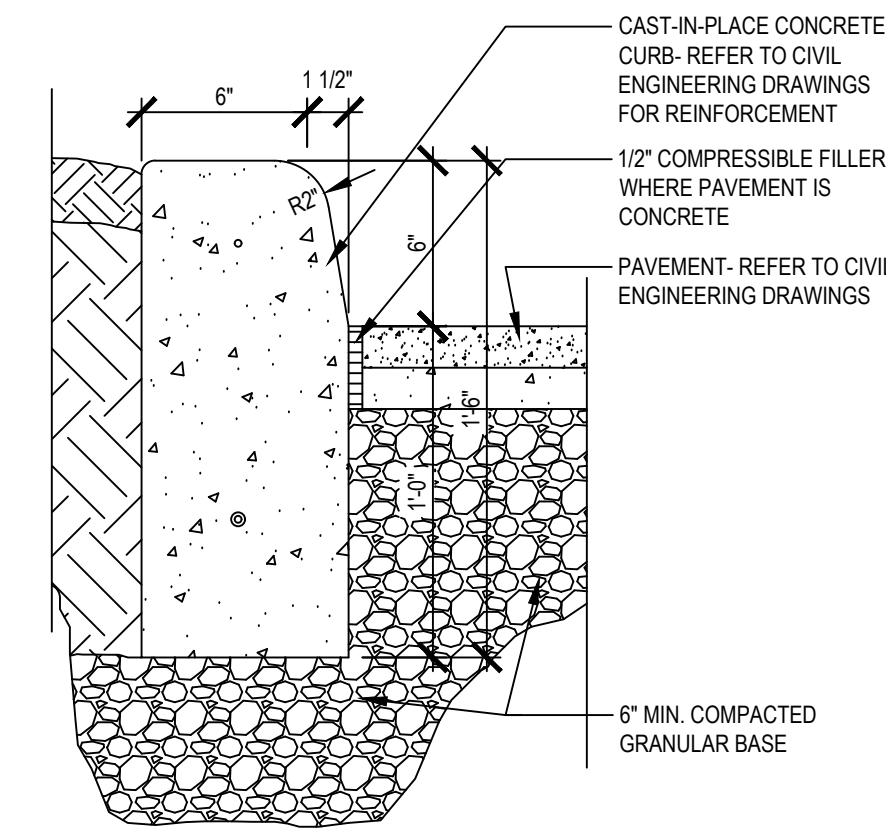
N.T.S.

FLUSH CURB



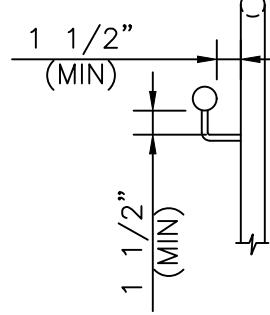
N.T.S.

PEDESTRIAN WALK EXPANSION JOINT

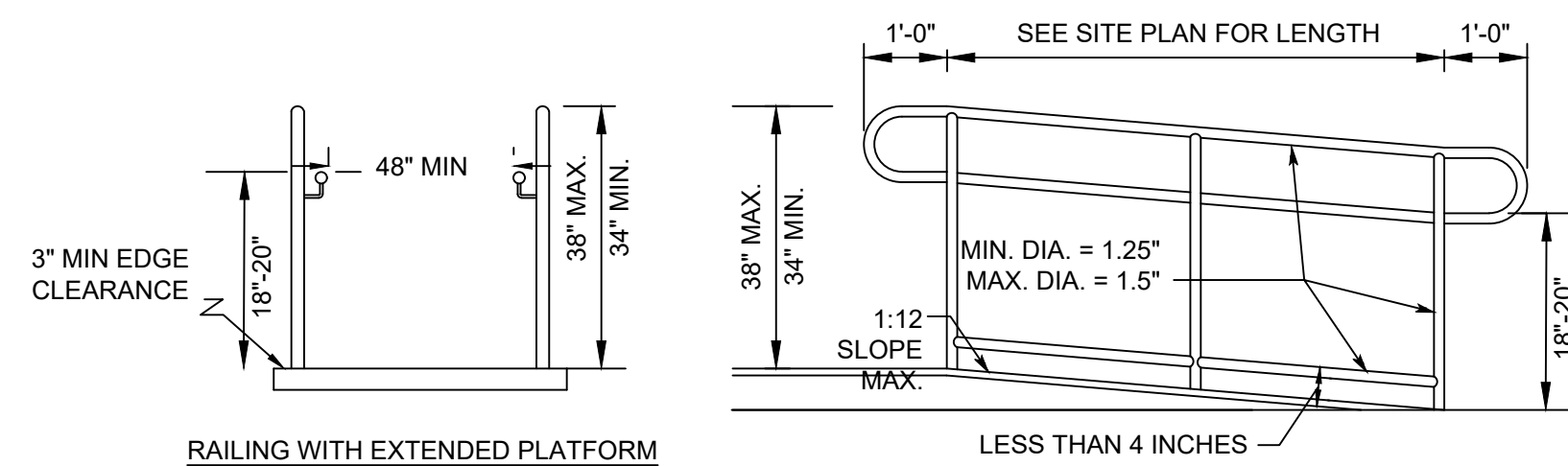


N.T.S.

BARRIER CURB



HANDRAIL/GUARDRAIL CLEARANCE



- NOTES:
- 1) RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND.
 - 2) RAMPS, HANDRAILS, & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.
 - 3) RAMP RUNS SHALL HAVE A MAXIMUM RISE OF 30 INCHES BEFORE A LEVEL LANDING AREA PER A.D.A. ACCESSIBILITY GUIDELINES IS REQUIRED.
 - 4) RAMPS & LANDINGS SHALL BE DESIGNED TO PREVENT WATER ACCUMULATION WITHIN SLOPE REQUIREMENTS OF A.D.A. ACCESSIBILITY GUIDELINES.

- HANDRAIL SPECIFICATIONS:
- 1) MATERIAL: 1.5" I.D. SCH-40 ALUMINUM OR STEEL PIPE.
 - 2) FINISH: NATURAL OR HARDCOAT BLACK ANODIZED PAINTED (OR APPROVED EQUIVALENT).
 - 3) ALL WELDS SHALL BE GROUND SMOOTH.
 - 4) APPROVED MANUFACTURERS: LOCAL FABRICATION OR CRANEVEYOR CORP. (818) 442-1524 MODEL No. C4300.

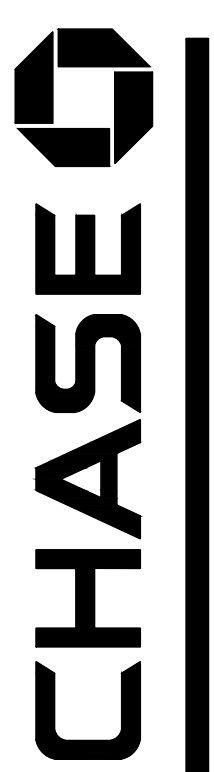
N.T.S.

FREESTANDING HANDRAIL WITH EDGE PROTECTION

CORE STATES INC.
 CORE STATES, INC.
 CIVIL ENGINEERING
 CERTIFICATE OF AUTHORIZATION
 No. FE0008617-CCA
 1270 HILLCREST ROAD
 DALLAS, TX 75220
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REV	DATE	COMMENT	BY

DOCUMENT

SITE PLAN APPROVAL FOR CHASE BANK

SITE LOCATION

1574 WOODBURY AVENUE, PORTSMOUTH, NH 03801

ENGINEER SEAL

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 CORE STATES, INC. STATE CERTIFICATE OF AUTHORIZATION #01208

SHEET TITLE

CONSTRUCTION DETAILS

JOB #: JPM 27086
 DATE: 09/4/2019
 SCALE: AS NOTED
 DRAWN BY: JD
 CHECKED BY: AR

SHEET NO.

CD-3



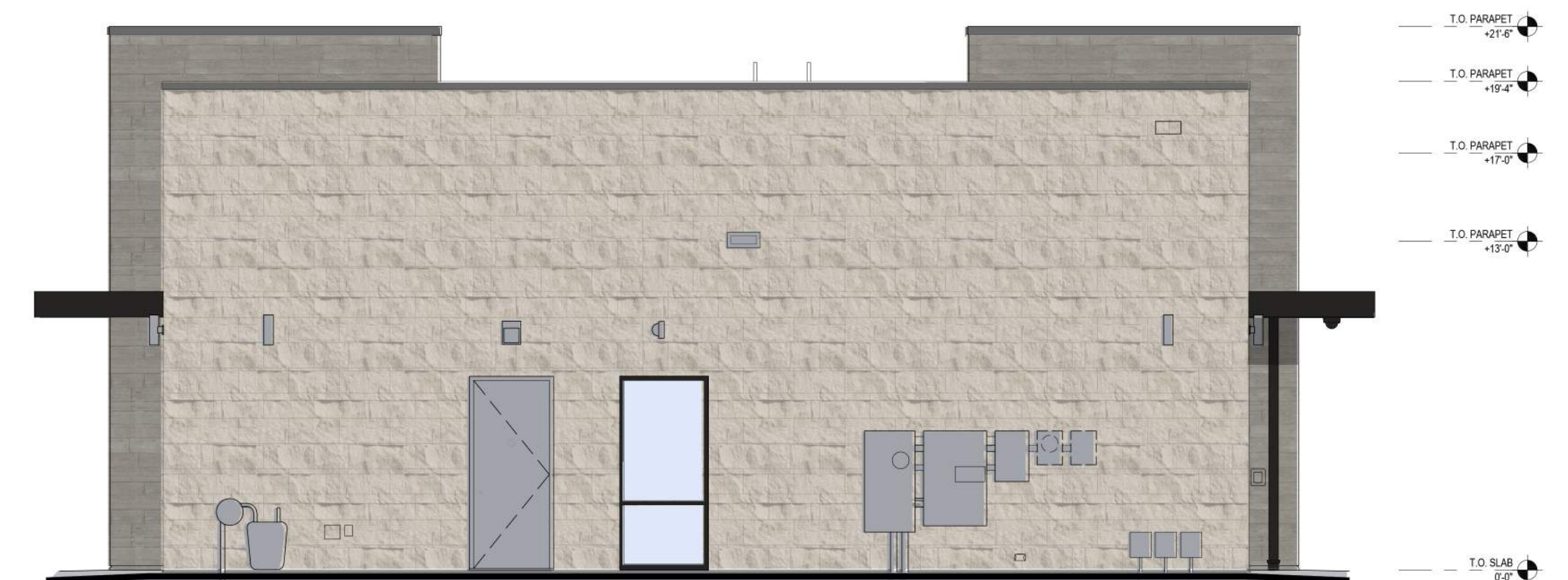
NORTHEAST ELEVATION (WOODBURY AVE)
 PER DESIGN STANDARDS SECTION OF 10.5B34.60 OF PORTSMOUTH ZONING
 ORDINANCE: 54.13% GLAZING PROVIDED FROM 2'-0" TO 12'-0" ABOVE SIDEWALK











SOUTHEAST ELEVATION (ACCESS DRIVE)



SOUTHWEST ELEVATION (PARKING)



NORTHWEST ELEVATION

- 
 PAINT
 APPLICATION: EXTERIOR/COPING
 COLOR: TO MATCH SHERWIN WILLIAMS
 SW7045 "INTELLECTUAL GRAY"
- 
 CORONADO STONE
 APPLICATION: EXTERIOR
 COLOR: "CHEELED LIMESTONE" - CREAM
- 
 ALUMINUM COMPOSITE MATERIAL (ACM)
 APPLICATION: CANOPY
 COLOR: BLACK
- 
 ALUMINUM COMPOSITE MATERIAL (ACM)
 APPLICATION: CANOPY
 COLOR: "CHASE SILVER"
- 
 NICHHA
 APPLICATION: EXTERIOR
 COLOR: VINTAGE WOOD - BARK
- 
 PAC-CLAD COPING - DARK
 APPLICATION: EXTERIOR/COPING
 COLOR: MANSARD BROWN
- 
 NICHHA
 APPLICATION: EXTERIOR
 COLOR: VINTAGE WOOD - ASH
- 
 PAC-CLAD COPING - LIGHT
 APPLICATION: EXTERIOR/COPING
 COLOR: SLATE GRAY



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Owner/Applicant: RICHARD FUSEGNI Date Submitted: 2/18/2020

Phone Number: _____ E-mail: _____

Site Address: 1514 WOODBURY AVENUE Map: 238 Lot: 17

Zoning District: G1 Lot area: 43,673 sq. ft.

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Fully executed and signed Application form. (2.5.2.3)		N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF). (2.5.2.8)		N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1A)	N/A	
<input checked="" type="checkbox"/>	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1B)	C-2	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1C)	C-2, SURVEY	N/A
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1D)	CV-1	N/A

Site Plan Review Application Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1E)	SURVEY PLAN	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1F)	CV-1	N/A
<input checked="" type="checkbox"/>	List of reference plans. (2.5.3.1G)	CV-1	N/A
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1H)	CV-1	N/A

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. (2.5.4.1A)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
<input type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	N/A	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale. (2.5.4.1D)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be prepared and stamped by a NH licensed civil engineer. (2.5.4.1D)		N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	N/A	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. (2.5.4.2A)	SITE PLAN DESIGNS.	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	CV-1	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. (2.5.4.2D)		N/A

Site Plan Specifications

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	<p>A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)</p>	<p>TO BE ADDED @ SITE PLAN REVIEW</p>	<p>N/A</p>
<input checked="" type="checkbox"/>	<p>Plan sheets submitted for recording shall include the following notes:</p> <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." <p>(2.13.3)</p>	<p>TO BE ADDED IF REQUIRED</p>	<p>N/A</p>
<input checked="" type="checkbox"/>	<p>Plan sheets showing landscaping and screening shall also include the following additional notes:</p> <ul style="list-style-type: none"> a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials." b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair." c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director." <p>(2.13.4)</p>	<p>TO BE PROVIDED FOR SITE PLAN REVIEW</p>	<p>N/A</p>

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
	1. Existing Conditions: (2.5.4.3A)		
<input checked="" type="checkbox"/>	a. Surveyed plan of site showing existing natural and built features;	SURVEY PLAN	
<input checked="" type="checkbox"/>	b. Zoning boundaries;	C-2	
<input checked="" type="checkbox"/>	c. Dimensional Regulations;	C-2	
<input checked="" type="checkbox"/>	d. Wetland delineation, wetland function and value assessment;	N/A	
<input checked="" type="checkbox"/>	e. SFHA, 100-year flood elevation line and BFE data.	N/A	
	2. Buildings and Structures: (2.5.4.3B)		
<input checked="" type="checkbox"/>	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;	SITE PLANS	
<input checked="" type="checkbox"/>	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;	ELEVATION DRAWINGS	
<input checked="" type="checkbox"/>	c. Total Floor Area;	SITE PLAN C-2	
<input checked="" type="checkbox"/>	d. Number of Usable Floors;	C-2	
<input checked="" type="checkbox"/>	e. Gross floor area by floor and use.	C-2	
	3. Access and Circulation: (2.5.4.3C)		
<input checked="" type="checkbox"/>	a. Location/width of access ways within site;	C-2	
<input checked="" type="checkbox"/>	b. Location of curbing, right of ways, edge of pavement and sidewalks;	C-2	
<input checked="" type="checkbox"/>	c. Location, type, size and design of traffic signing (pavement markings);	C-2	
<input checked="" type="checkbox"/>	d. Names/layout of existing abutting streets;	C-2, SURVEY PLAN	
<input checked="" type="checkbox"/>	e. Driveway curb cuts for abutting prop. and public roads;	C-2	
<input checked="" type="checkbox"/>	f. If subdivision; Names of all roads, right of way lines and easements noted;	N/A	
<input checked="" type="checkbox"/>	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	N/A	
	4. Parking and Loading: (2.5.4.3D)		
<input checked="" type="checkbox"/>	a. Location of off street parking/loading areas, landscaped areas/buffers;	C-2	
<input checked="" type="checkbox"/>	b. Parking Calculations (# required and the # provided).	C-2	
	5. Water Infrastructure: (2.5.4.3E)		
<input checked="" type="checkbox"/>	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;	C-2	
<input checked="" type="checkbox"/>	b. Location of wells and monitoring wells (include protective radii).	N/A	
	6. Sewer Infrastructure: (2.5.4.3F)		
<input checked="" type="checkbox"/>	a. Size, type and location of sanitary sewage facilities & Engineering data.	C-2	
	7. Utilities: (2.5.4.3G)		
<input checked="" type="checkbox"/>	a. The size, type and location of all above & below ground utilities;	C-2	
<input checked="" type="checkbox"/>	b. Size type and location of generator pads, transformers and other fixtures.	N/A	

Site Plan Specifications – Required Exhibits and Data

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	8. Solid Waste Facilities: (2.5.4.3H)		
<input checked="" type="checkbox"/>	a. The size, type and location of solid waste facilities.	N/A	
<input type="checkbox"/>	9. Storm water Management: (2.5.4.3I)		
<input checked="" type="checkbox"/>	a. The location, elevation and layout of all storm-water drainage.	C-2, SURVEY PLAN	
<input type="checkbox"/>	10. Outdoor Lighting: (2.5.4.3J)		
<input checked="" type="checkbox"/>	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and;	C-2 FOR LOCATION	
<input type="checkbox"/>	b. photometric plan.	PHOTOMETRICS TO FOLLOW	
<input type="checkbox"/>	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)		
<input type="checkbox"/>	12. Landscaping: (2.5.4.3K)		
<input checked="" type="checkbox"/>	a. Identify all undisturbed area, existing vegetation and that which is to be retained;	C-2	
<input checked="" type="checkbox"/>	b. Location of any irrigation system and water source.	N/A	
<input type="checkbox"/>	13. Contours and Elevation: (2.5.4.3L)		
<input checked="" type="checkbox"/>	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.	C-3	
<input type="checkbox"/>	14. Open Space: (2.5.4.3M)		
<input checked="" type="checkbox"/>	a. Type, extent and location of all existing/proposed open space.	C-2	
<input checked="" type="checkbox"/>	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	C-2, SURVEY	
<input checked="" type="checkbox"/>	16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)	TO BE ADDED	
<input checked="" type="checkbox"/>	17. Character/Civic District (All following information shall be included): (2.5.4.3Q)		
<input type="checkbox"/>	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);	C-2	
<input type="checkbox"/>	b. Applicable Special Requirements (10.5A21.30);		
<input type="checkbox"/>	c. Proposed building form/type (10.5A43);		
<input type="checkbox"/>	d. Proposed community space (10.5A46).		

Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <i>(Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application) (3.2.1-2)</i>		
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	C-2	
<input checked="" type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
<input checked="" type="checkbox"/>	Indicate where measures to minimize impervious surfaces have been implemented. (7.4.3)	C-2	
<input checked="" type="checkbox"/>	Calculation of the maximum effective impervious surface as a percentage of the site. (7.4.3.2)	TO BE ADDED	
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. <i>(Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application) (7.4.4.1)</i>	CD 1	

Final Site Plan Approval Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> a. Waivers; b. Driveway permits; c. Special exceptions; d. Variances granted; e. Easements; f. Licenses. (2.5.3.2A)		
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> a. Calculations relating to stormwater runoff; b. Information on composition and quantity of water demand and wastewater generated; c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; d. Estimates of traffic generation and counts pre- and post-construction; e. Estimates of noise generation; f. A Stormwater Management and Erosion Control Plan; g. Endangered species and archaeological / historical studies; h. Wetland and water body (coastal and inland) delineations; i. Environmental impact studies. (2.5.3.2B)		

Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)		
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)		

Applicant's Signature:  Date: 2/19/2020

Letter of Authorization

February 18, 2020

City of Portsmouth New Hampshire
1 Junkins Avenue
Portsmouth, NH 03801

Re: 1574 Woodbury Avenue

To Whom It May Concern:

Please let this letter formally serve as authorization for Core States Group as Engineer and Architect to make this application to file or make submissions on behalf of myself Richard P. Fusegni owner of 1574 Woodbury Avenue Portsmouth, NH consisting of approximately 1 acre +/-.

Should you have any questions or concerns please feel free to reach out to me directly at 603-502-9009.

Thank you for your time.

Sincerely,



Richard Fusegni
Owner of 1574 Woodbury Avenue