

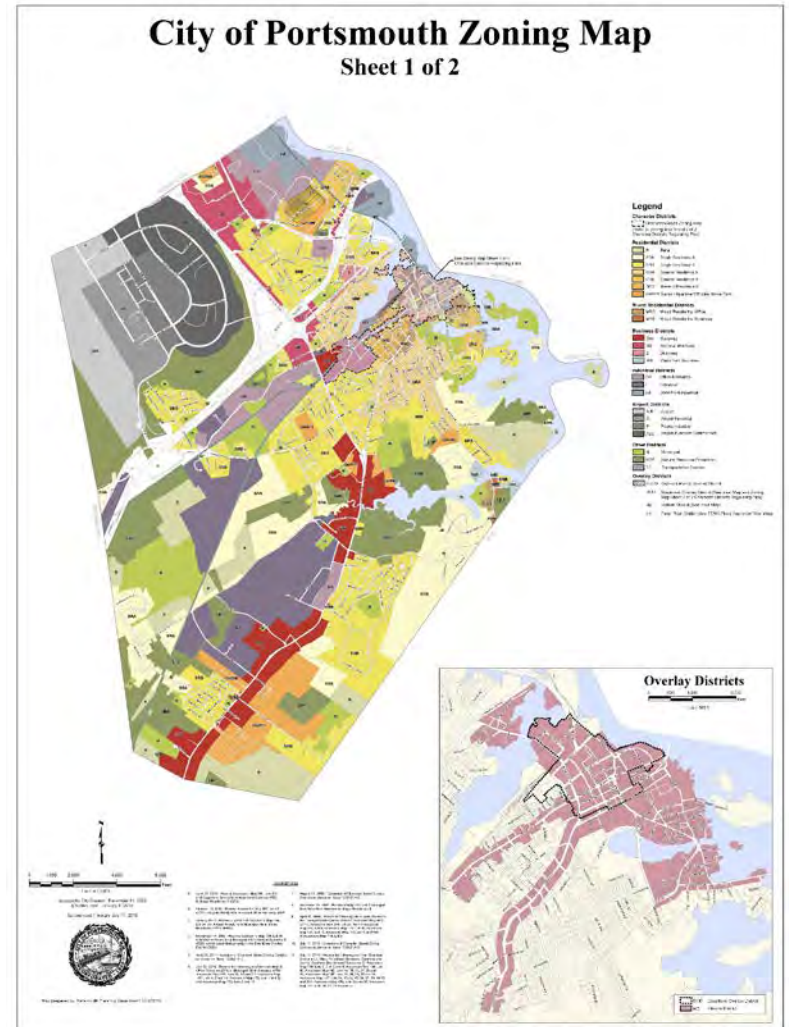
GATEWAY DISTRICTS DRAFT CHARACTER-BASED ZONING & DEVELOPMENT STANDARDS

City of Portsmouth, NH

PLANNING BOARD WORKSHOP
August 17, 2017



Brovitz Community Planning & Design
Dodson & Flinker Associates





- ❑ **Portsmouth 2025 Master Plan (2017)**
- ❑ City of Portsmouth Housing Policy 2016-1 (2016)
- ❑ Housing Committee Recommendations for Policies and Zoning (2016)



Planning Board Draft | February 2017 Public Hearing



PUBLIC COMMENTS

"Make other areas as special as Downtown multiple destinations within the City. Support unique neighborhoods."

"Continue to implement plans related to a more walkable, bikeable city, such as the comprehensive Portsmouth Bicycle and Pedestrian Plan, across the city, especially the Market St. Extension."

"Different areas with stores and venues that are connected and parkable."

"Expanded neighborhood development with meaningful interconnectedness along corridors and gateways. Neighborhoods should include some services, places to gather, to eat, to socialize and places for special events."

Below Land use in the Corridor areas tends to be commercial, and in fact encompasses most of the commercial area within municipal jurisdiction.



Below Zoning in the Corridor areas is predominantly Gateway, General Business, or Industrial



CORRIDOR AREA VISION

By 2025, the Corridor areas have reconnected with their surrounding neighborhoods and serve as lively gateways to the City. Changes in zoning and development incentives have created an environment in which efficient, people-friendly design is the norm, reducing the need for automobile trips and spurring the development of village centers. The addition of pedestrian and bike infrastructure allows nearby neighborhoods easy access to shopping, services and employment. Lower land costs and greater flexibility outside the Urban Core have resulted in more affordable housing options. All of this has occurred sustainably thanks to strong site design standards and dedicated funding for public infrastructure and transit.

HOUSING INITIATIVES

Below. A redevelopment study of a parcel on Lafayette Road, showing new structures built according to existing zoning regulations for a Gateway Planned Development. An analysis of this site is described in the Future Development Objectives' Land Use section of this chapter.



An example of a Corridor area with several master plan actions applied

Changes to the City's development standards limit impervious surfaces improving storm water management and ecological health.

Working with the state to improve major corridors with traffic calming and infrastructure investment creates a more comfortable experience for pedestrians and cyclists while ensuring adequate automobile access.

With the assistance of the City, new development includes arts venues outside of Downtown, expanding the reach of the arts in Portsmouth.

A required parking study for a large development leads to shared parking decreasing overall parking and prioritizing electric vehicles and other modes of transportation.

Zoning incentives make it possible for mixed use development projects to include affordable, mixed-income, multi-family housing.

ROCKPORT 2018

PORTSMOUTH 2025

FOCUS AREAS

□ General Goals

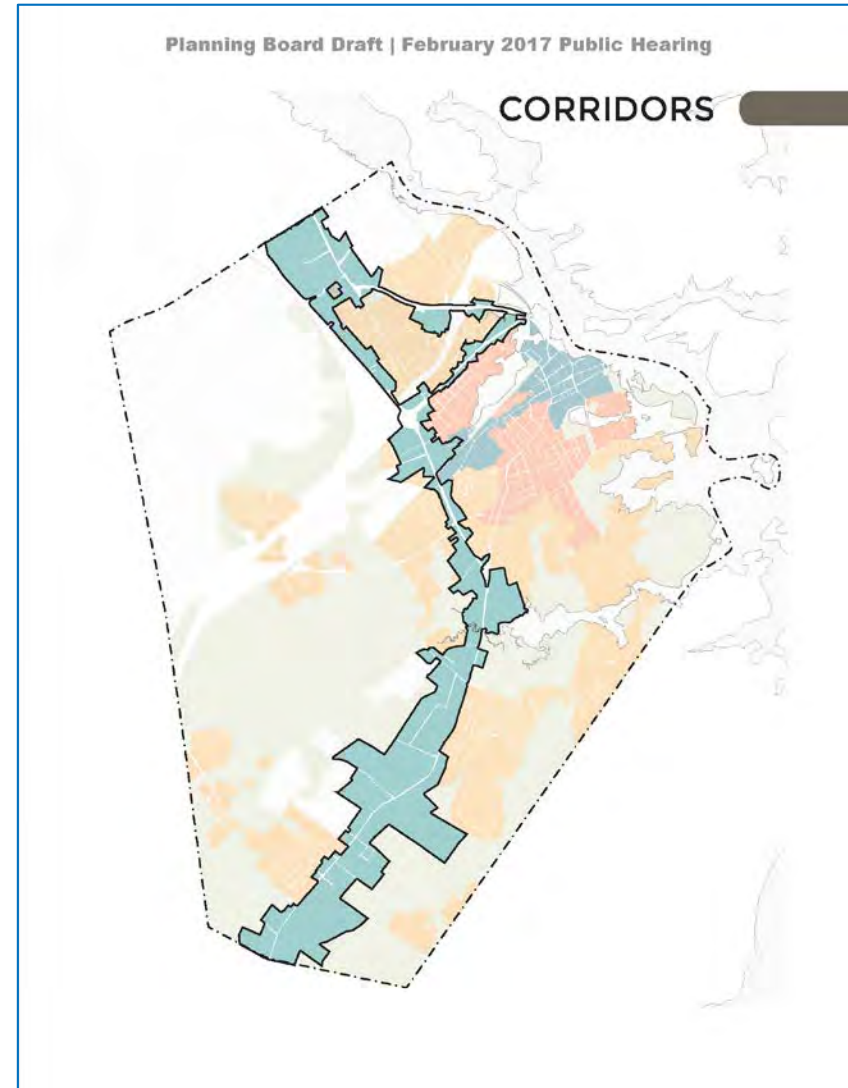
- Walkable Mixed Use Development
- Expand and Diversify Housing Stock
- Meet Market Demand Including Workforce Housing, MF and Smaller DUs

□ Gateway Zoning Districts/Corridors

- Lafayette Road(Route 1)
- Route 1 Bypass
- Outer Woodbury Avenue. The zoning theme for this location is multifamily housing along major corridors.

□ Gateway Zoning Districts/Centers

- Mirona Road Area - Lafayette Road (Rt 1) and Peverly Hill Rd.
- Exit 7 Area - North side of Market Street on CCC Church Site and Kearsarge Way.



GATEWAY DISTRICTS ZONING & DESIGN STANDARDS

Character-Building Zoning & Design Standards



Site Standards

- Parking Placement
- Ped/Veh. Access
- Landscaping
- Lighting/Screening
- Utilities
- Signage
- LID/Sustainability Stds



Building Standards

- Bldg. Placement
- Building Types
- Building Uses
- Bldg. Frontage Types
- Building Components
- Bldg. Height/Stepbacks
- Building Design Stds

Building Frontage Type



Street Standards

- Complete Street Hierarchy
- Streetscape Treatment
- Sidewalk Use/Activation
- On-Street Parking/Parklets
- Intermodal Facilities
- Utilities
- LID/Sustainability Stds

Open Space & Rec Types

- Parks, Playgrounds, Commons

Outdoor Amenity Spaces

- Yards
- Dining Terrace
- Green Roofs
- Courtyards
- Comm. Gardens
- Plazas
- Forecourts

PRIVATE REALM

PUBLIC REALM

POPS

GATEWAY DISTRICTS ZONING & DESIGN STANDARDS

ARTICLE 4 – ZONING DISTRICTS AND USE REGULATIONS

10.420 District Location and Boundaries

PROPOSED AMENDMENT: Replace current GW, GB, I, and MRB where appropriate with new G1, G2, and G3 zoning districts on the City of Portsmouth Zoning Map.



GATEWAY DISTRICTS ZONING & DESIGN STANDARDS

ARTICLE 4 – ZONING DISTRICTS AND USE REGULATIONS

10.410 Establishment and Purpose of District

10.420 District Location and Boundaries

PROPOSED AMENDMENT:

Add:

Gateway Corridor Mixed-Use	G1	The purpose of this district is to facilitate a broad range of housing types together with compatible commercial, fabrication, and civic uses in a high-quality pedestrian environment with moderate to high density.
Gateway Corridor Mixed Use Center	G2	This district is intended to facilitate a broad range of residential and mixed use development at a pedestrian scale and moderate density providing commercial uses that benefit residents of the district and surrounding neighborhoods along major corridors.
Gateway Neighborhood Mixed Use Center	G3	The purpose of this district is to facilitate a limited range of residential and small mixed use development at a pedestrian scale and moderate density providing new housing choices and convenient services that benefit nearby residents. It is further intended that development in this district be predominantly residential at a scale that is compatible with the surrounding neighborhoods.

GATEWAY DISTRICTS ZONING & DESIGN STANDARDS

ARTICLE 5B – GATEWAY DISTRICTS

Sec 10.5B10 General

Sec 10.5B20 General Standards for All Buildings and Development

10.5B11 Purpose and Intent

Sec 10.5B30 Building Types and Standards

Sec 10.5B40 Development Types and Standards

Sec 10.5B50 Pre-Existing Buildings and Developments

Sec 10.5B60 Building Façade Types

Sec 10.5B70 Density Thresholds and Bonuses

Sec 10.5B80 Parking Requirements and Standards

Sec 10.5B90 Pedestrian Access and Circulation

Sec 10.5B100 Community Space

Sec 10.5B101 Definitions

“encourage development that is consistent with the City’s goals for the **production and diversification of high quality housing and a mix of uses** in Portsmouth’s primary gateway areas. This is accomplished by providing a range of standards that define a place and regulate the physical character of buildings and site developments through placement, form, design, and utilization”

GATEWAY DISTRICT FOCUS AREAS

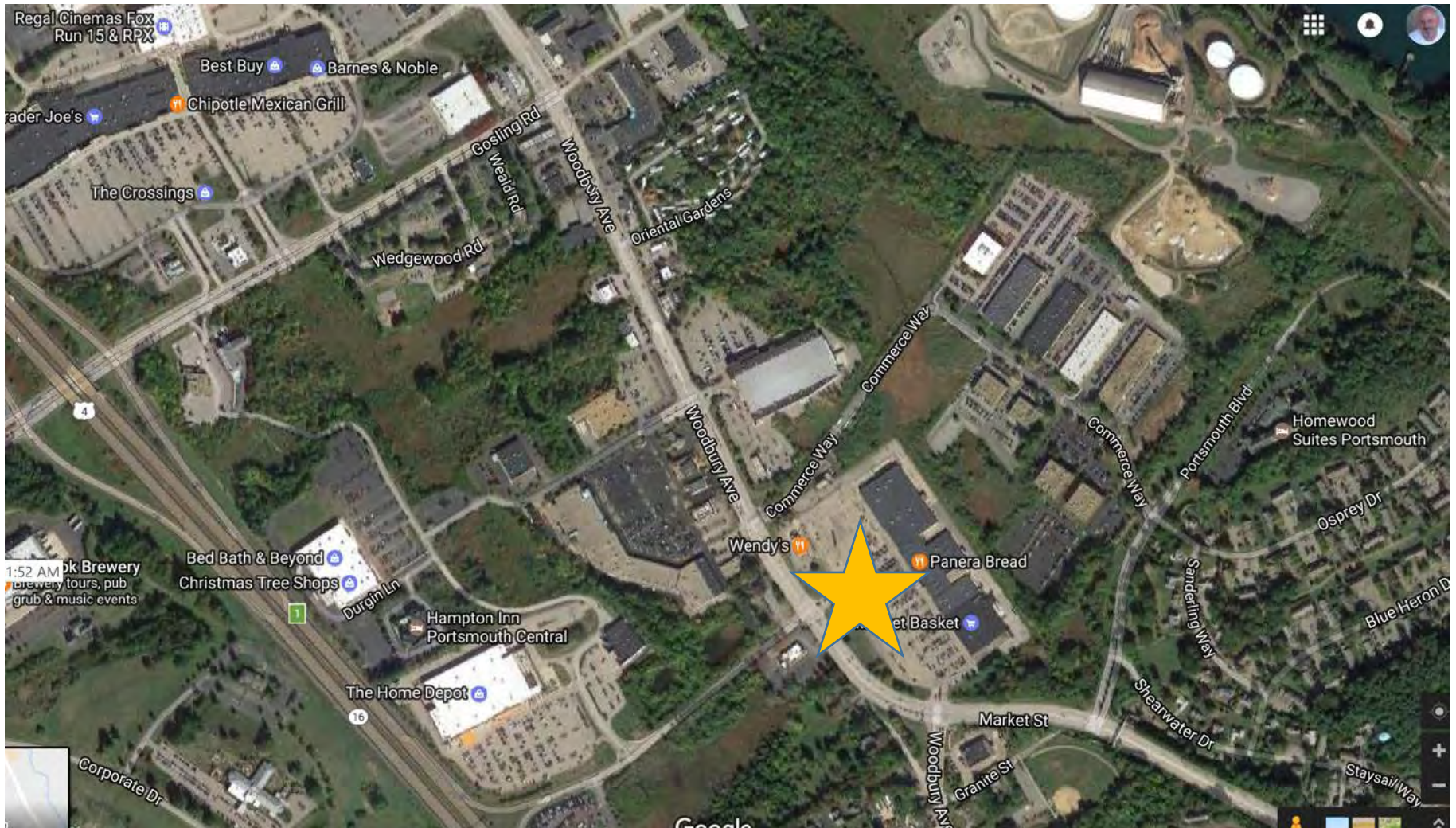
DEVELOPMENT SCENARIO TEST SITES

1. Former Kmart Site, Outer Woodbury Ave.
2. Connect Community Church (CCC) Site, Market Street near Exit 7
3. Frank Jones Center Site, Lafayette Road (Route 1 Bypass)
4. Mirona Road/Lafayette Rd (Route 1) Area



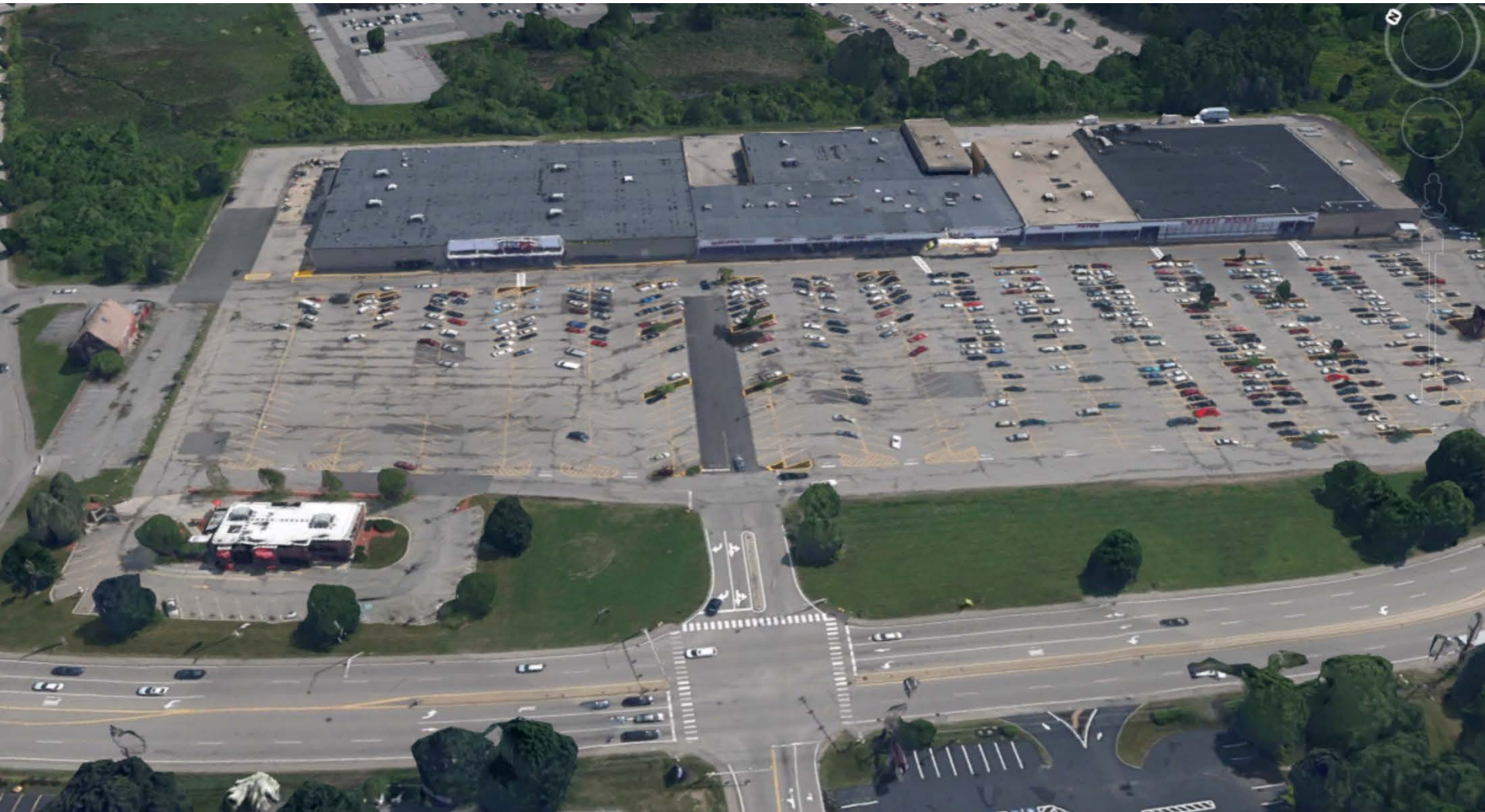
GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 1 – KMART PLAZA, WOODBURY AVE



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 1 – KMART PLAZA, WOODBURY AVE



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 1 – KMART PLAZA, WOODBURY AVE



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 1 – KMART PLAZA, WOODBURY AVE

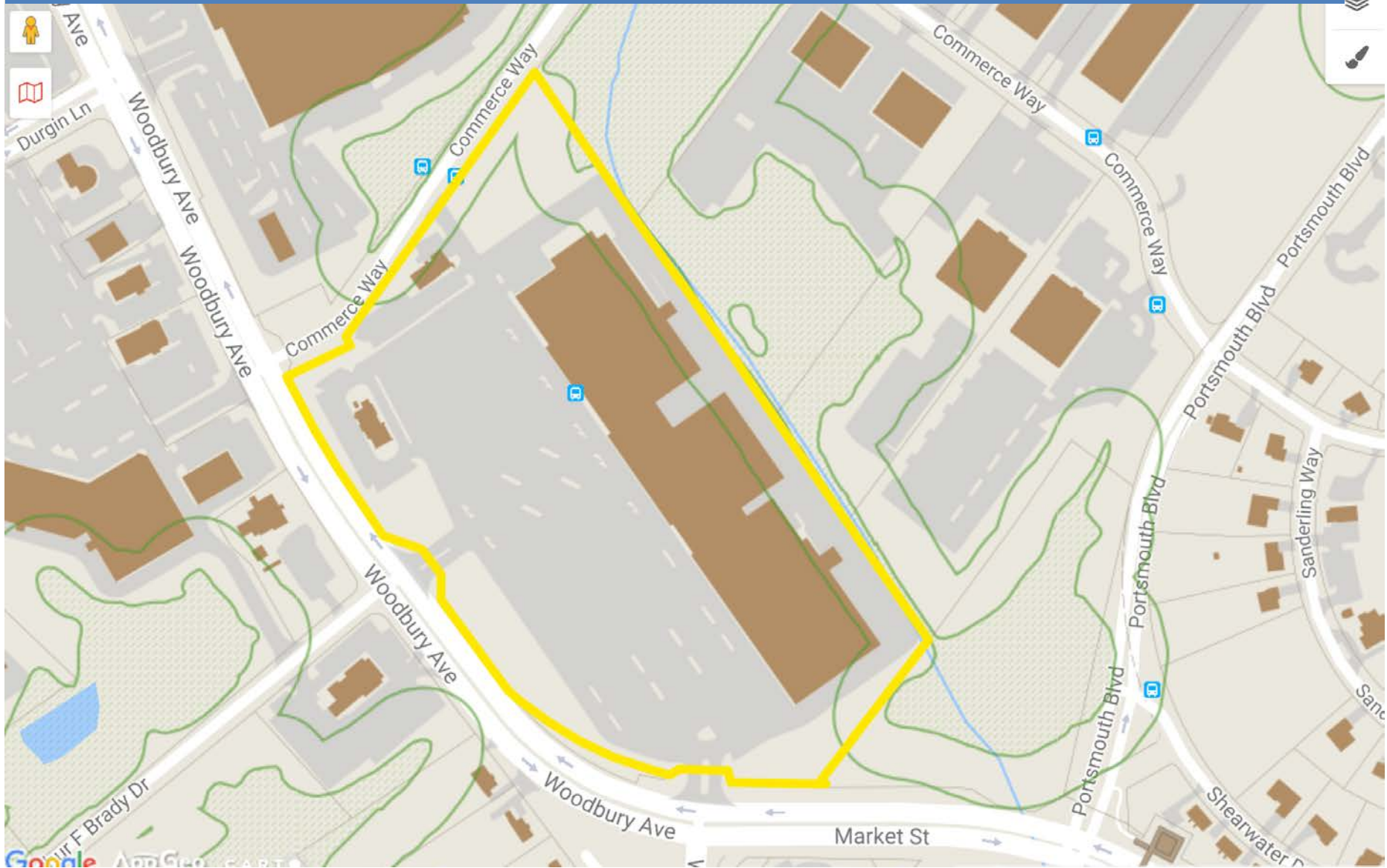


EXISTING CONDITIONS

- Constructed in 1976
- 19.26 Acres
- 1,465 Ft. Frontage on Woodbury Ave. and 869 Ft. on Commerce Way
- 189,463 SF Total GFA
- Approx. 400 Parking Spaces (1/474 GFA)
- Former Kmart Approx. 68,000 GFA
- Current Tenants: Market Basket, Petco, Marshalls, Panera, Hallmark, Salley's Beauty, Dry Cleaners, Parcel Room, Supercuts, TT Nail, Mattress Firm, Wendy's (Pad)
- Current Vacancies: Former Kmart, Former Restaurant of Commerce Way
- Stream and Wetland Buffer on Rear Edge
- Current Zoning: General Business (GB)

GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 1 – KMART PLAZA, WOODBURY AVE

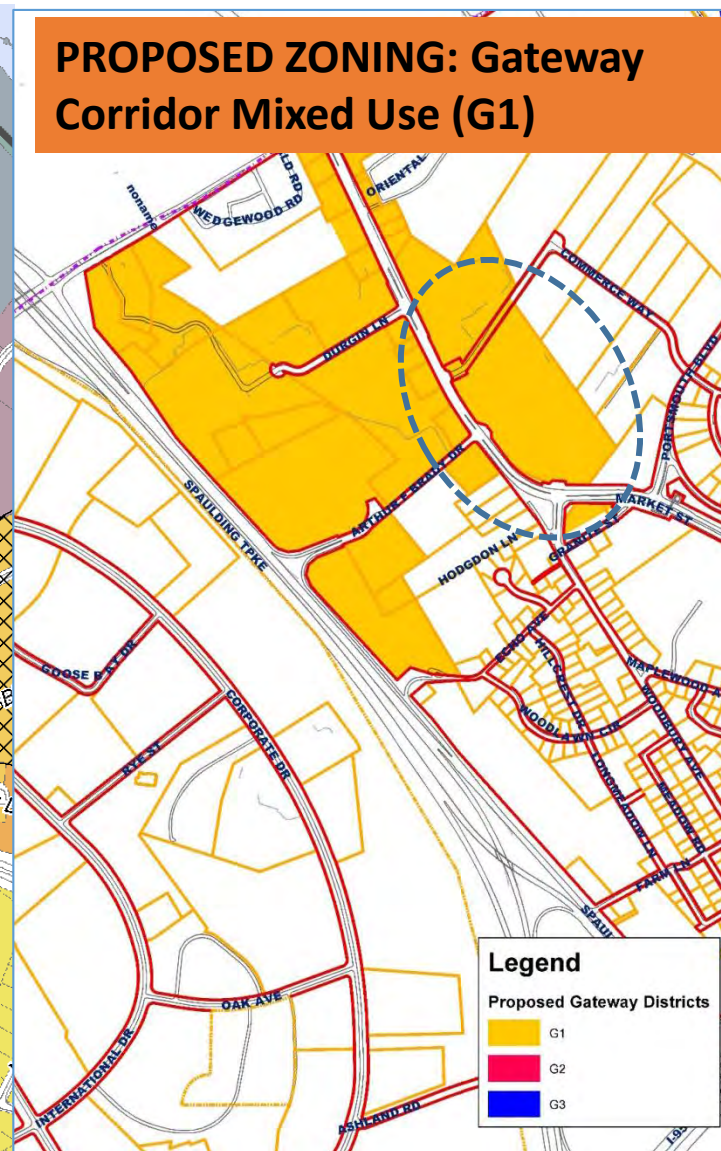
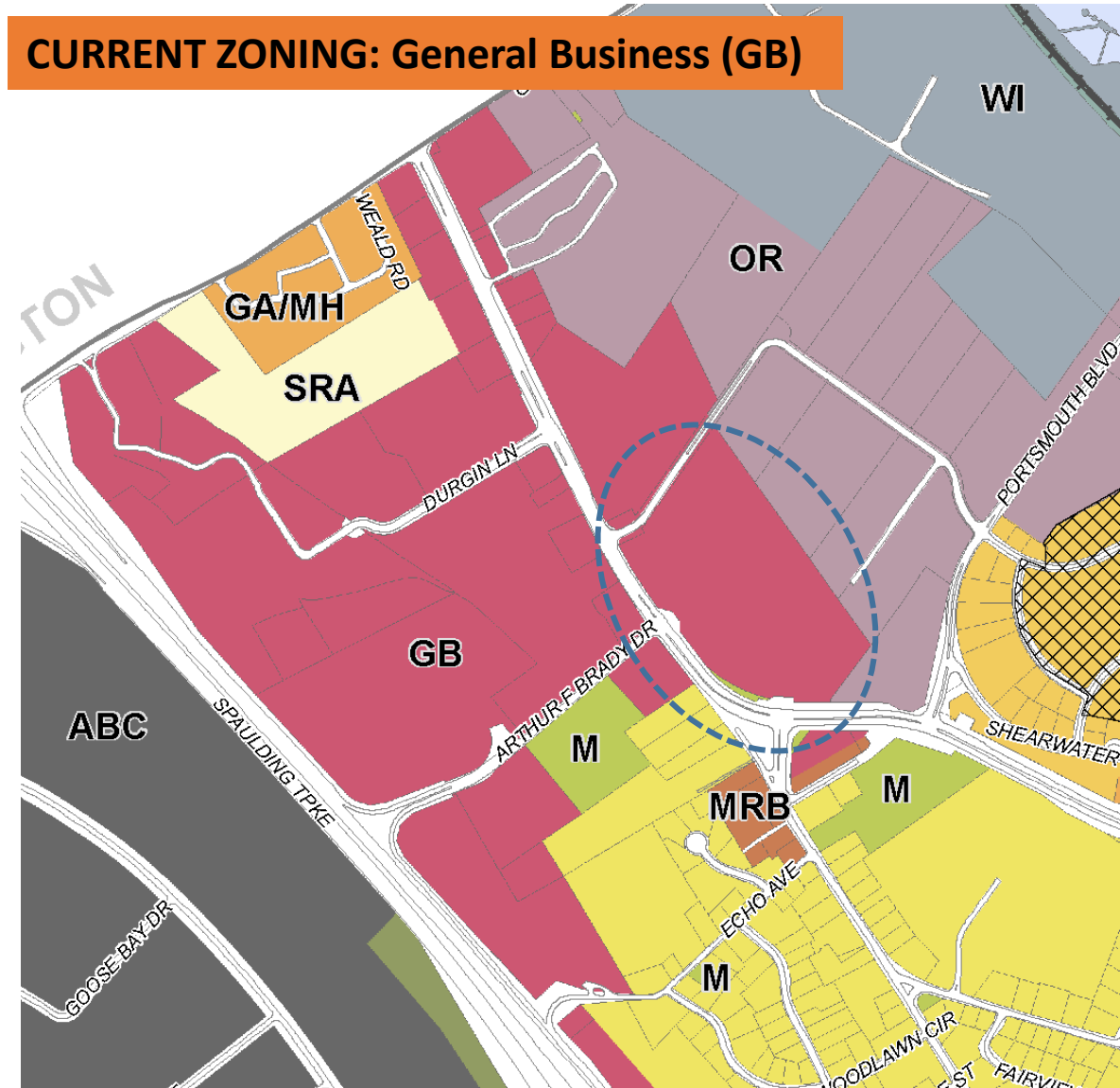


GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 1 – KMART PLAZA, WOODBURY AVE

CURRENT ZONING: General Business (GB)

**PROPOSED ZONING: Gateway
Corridor Mixed Use (G1)**



GATEWAY DISTRICT FOCUS AREAS

CURRENT ZONING – GENERAL BUSINESS (GB)

DIMENSIONAL STANDARDS

MINIMUM LOT SIZE: 1 ACRE (43,560 SF)

MINIMUM FRONTAGE: 200 FT

MINIMUM LOT DEPTH: 100 FT

EFFECTIVE LOT DEPTH: 218 FT

MINIMUM FRONT YARD: 30 FT

MINIMUM SIDE YARD: 30 FT

MINIMUM REAR YARD: 50 FT

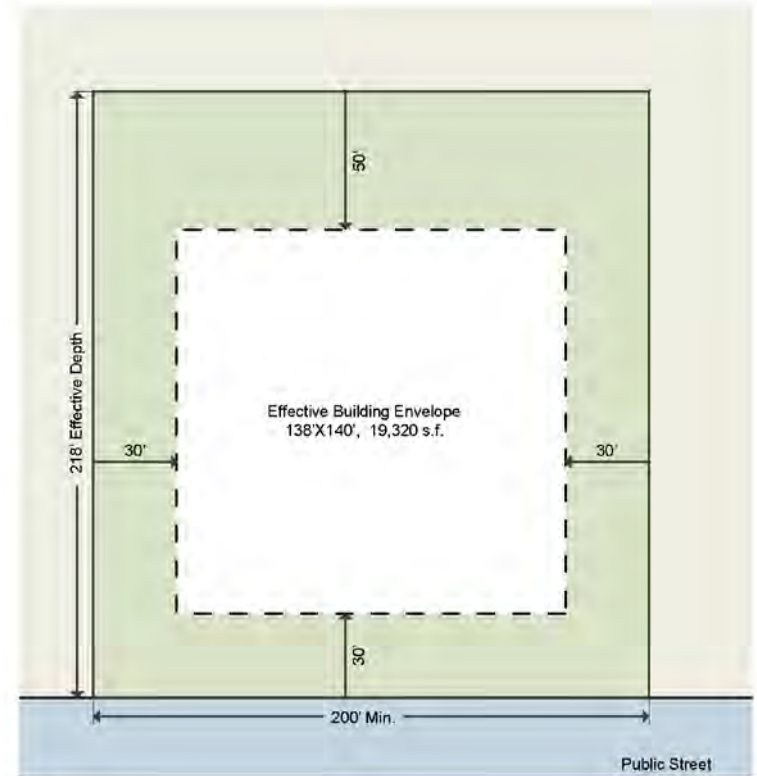
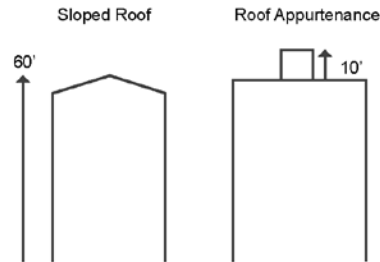
EFFECTIVE BUILDING ENVELOPE: 19,320 SF

MINIMUM OPEN SPACE 20% (8,712 SF)

EFFECTIVE YARD AREA/OPEN SPACE: 56% (24,240 SF)

MAXIMUM BUILDING COVERAGE: 30% (13,068 SF)

MAXIMUM BUILDING HEIGHT: 60 FT

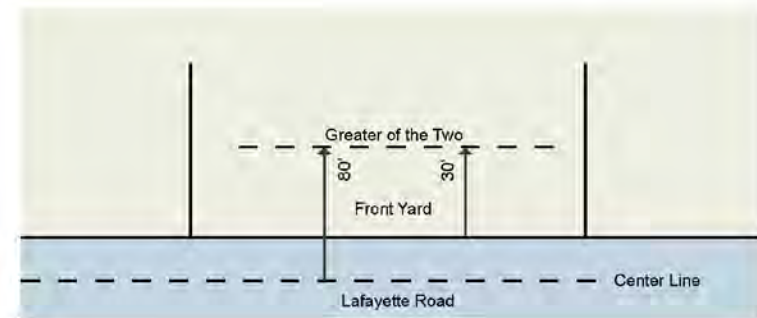


ALLOWED USES

Similar to GW District

PARKING REQUIREMENTS

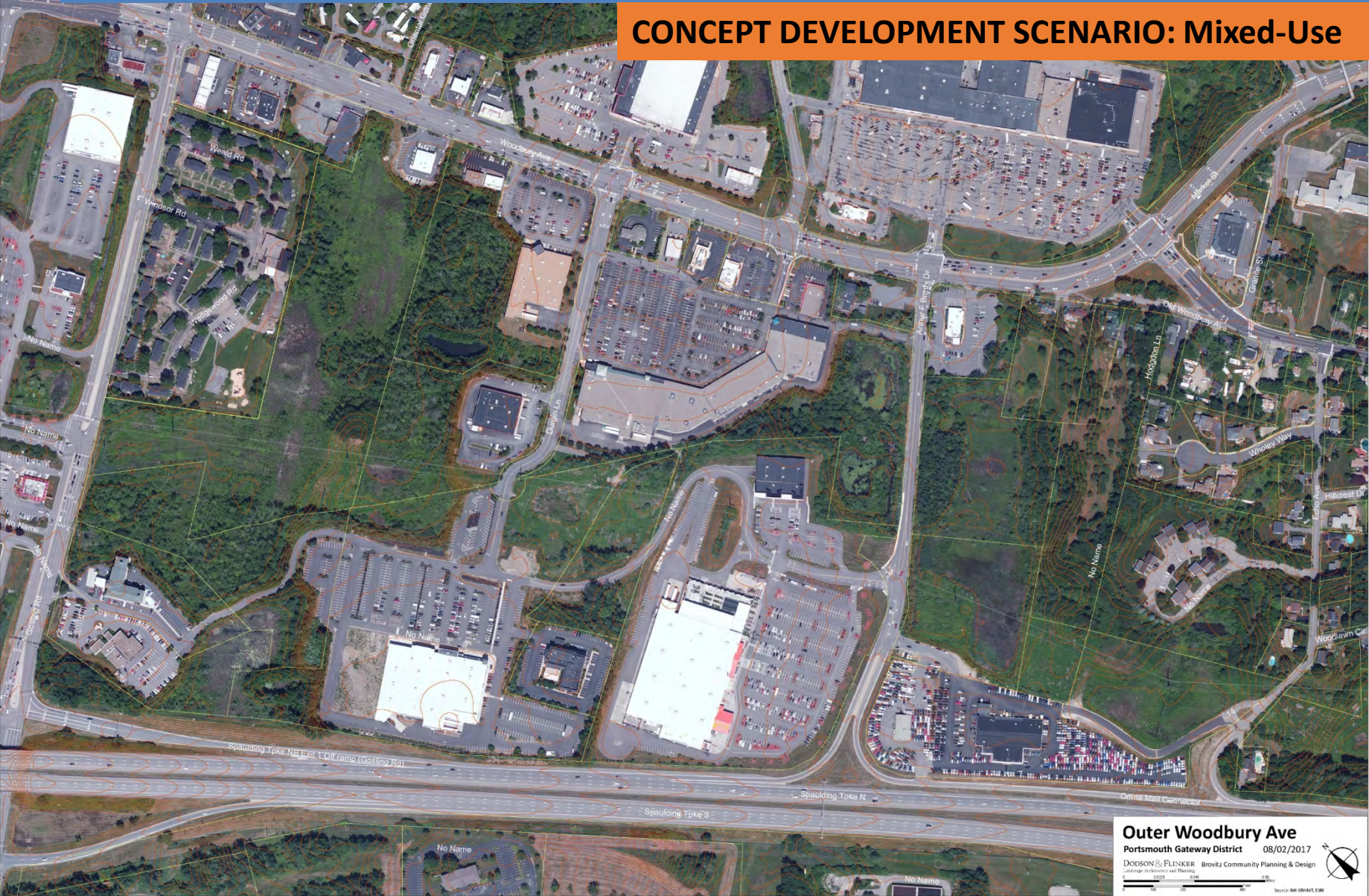
- Parking Placement:
 - On same lot or within 300' with SE
 - No parking within Front Yard or between Building and Street except SF and Duplexes
 - Setback from Other Zoning Districts and Lot Lines: 20 – 100' (See Sec. 10.1113)



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 1 – K MART PLAZA, WOODBURY AVE

CONCEPT DEVELOPMENT SCENARIO: Mixed-Use



Outer Woodbury Ave

Portsmouth Gateway District 08/02/2017

DODSON & FLINKER Brockton Community Planning & Design

landscape architecture and planning

Scale 1" = 50' 0"

Source: NH GRANITE CORP



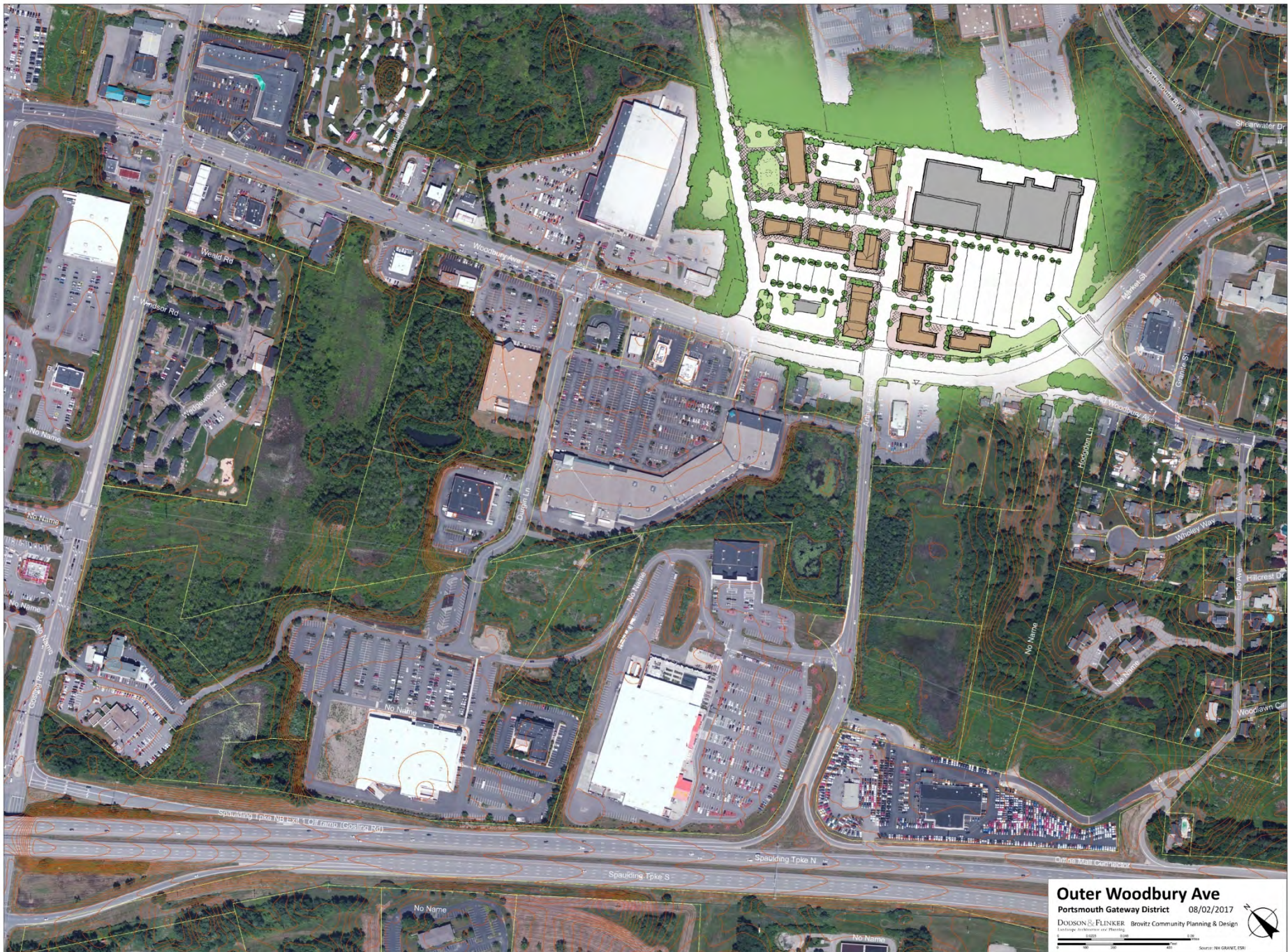


Outer Woodbury Ave

Portsmouth Gateway District 08/02/2017

DODSON & FLINKER Brovitz Community Planning & Design
Landscape Architecture and Planning





Outer Woodbury Ave
 Portsmouth Gateway District 08/02/2017

DODSON & FLINKER
 Landscape Architecture and Planning
 BROWITZ COMMUNITY PLANNING & DESIGN

Scale: 1" = 100'

Source: NH GRANET (2011)



Commence Way

Portsmouth Blvd

No Name

Market St

Granite St

Old Woodbury Ave

Hodgdon Ln

Arthur F. Brady Dr



Cornhill

Portsmouth

Market St

Arthur F. Briggs

Hogdon Ln

Old Woodbury Ave



- PROJECTED YIELD**
- 92 New D.U. – Mixed Use Buildings and Apartment Buildings (Rental/Ownership),
 - 74,000 New Non-Res. GFA + 95,400 GFA of Plaza/Market Basket Retained/ Reconfigured
 - Approximately 384 New Parking Spaces + 375 Retained (1.3 Spaces/DU; 1 Space/350 Non-Res GFA)

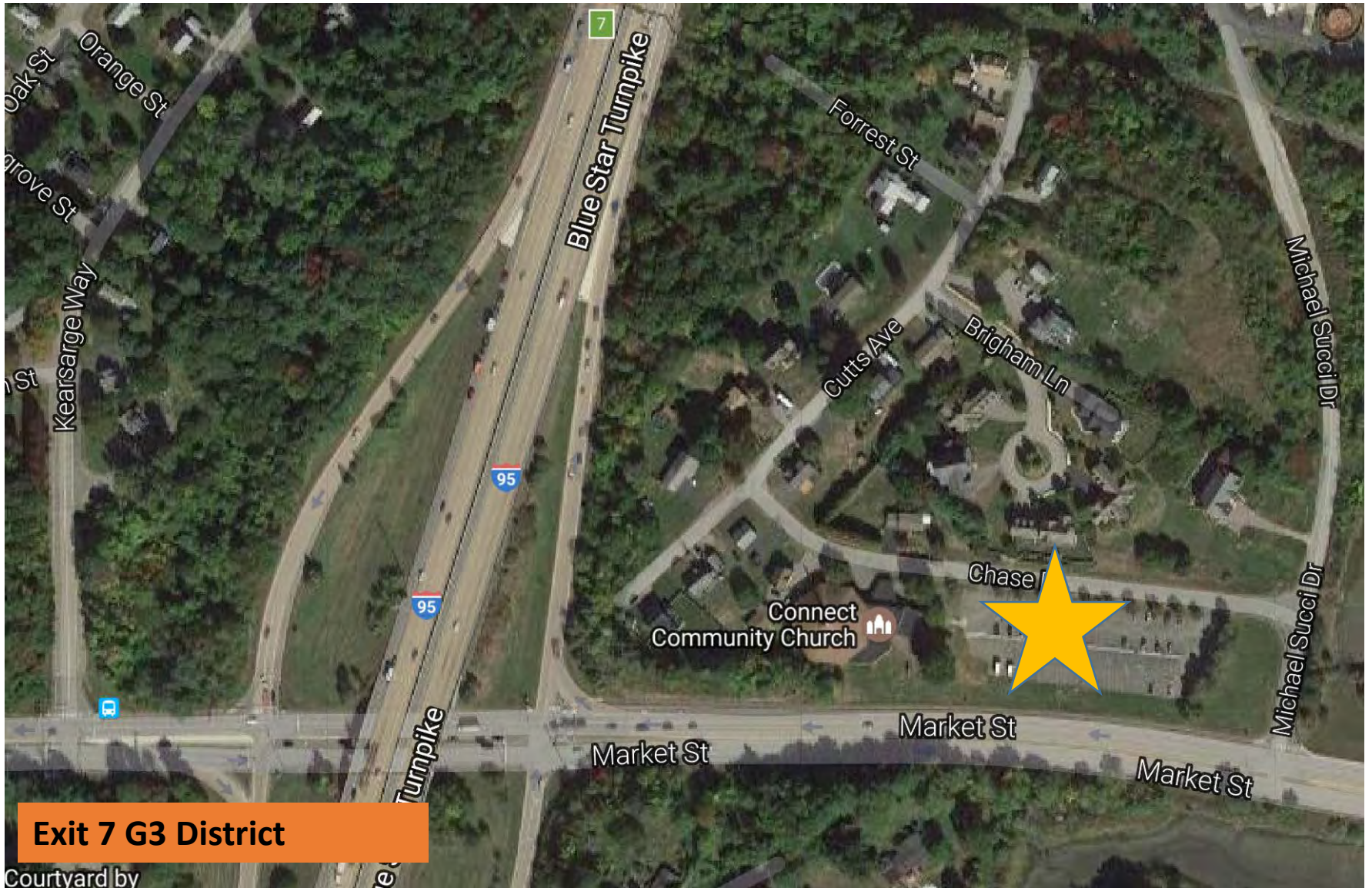


PROJECTED YIELD WITH PARKING GARAGE

Replacing the surface parking lot near Wendy's with a 2-level 180' x 180' parking garage gains 71 spaces, which allows and additional 54 DUs and 2 additional stories (5 total) on most of the surrounding buildings

GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 2 – CCC SITE, MARKET STREET/EXIT 7



Exit 7 G3 District

Courtyard by

GATEWAY DISTRICT FOCUS AREAS

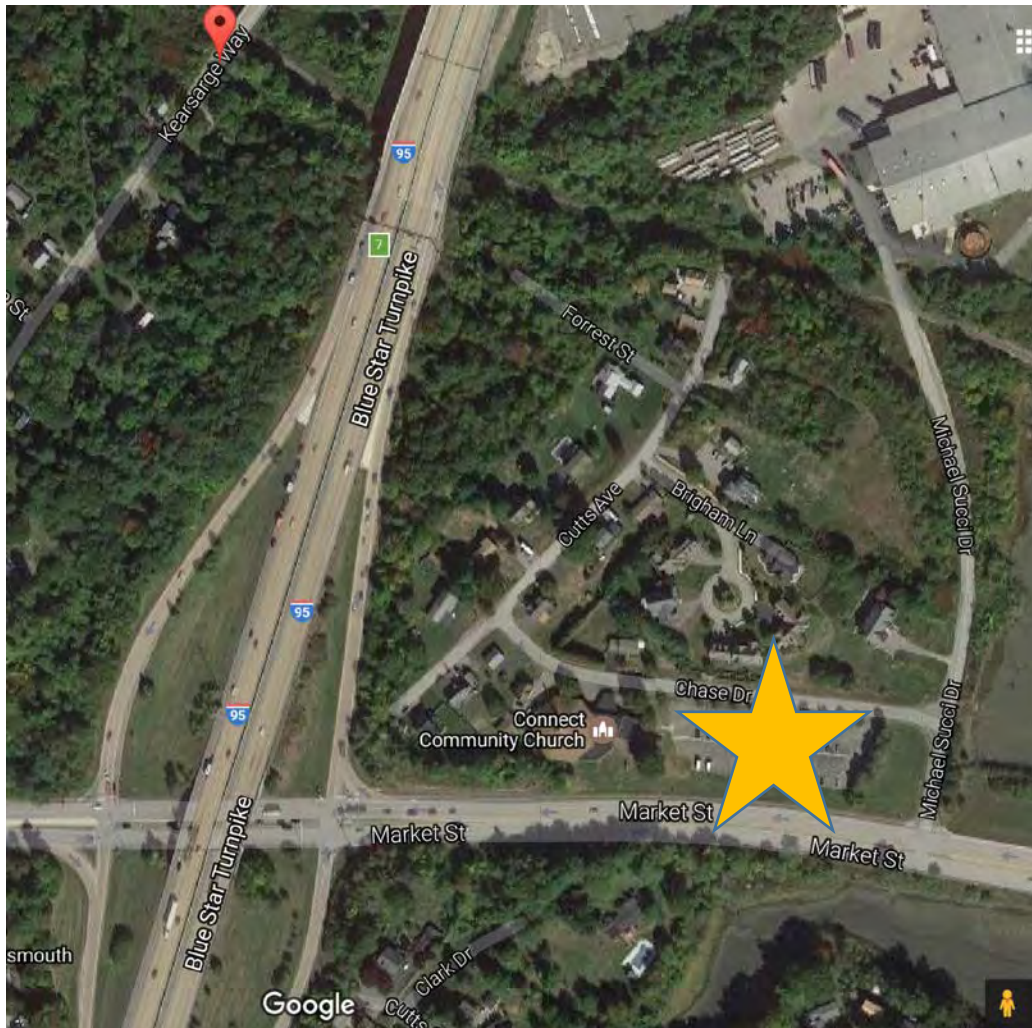
FOCUS AREA TEST SITE 2 – CCC SITE, MARKET STREET/EXIT 7



Image Landsat / Copernicus

GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 2 – CCC SITE, MARKET STREET/EXIT 7



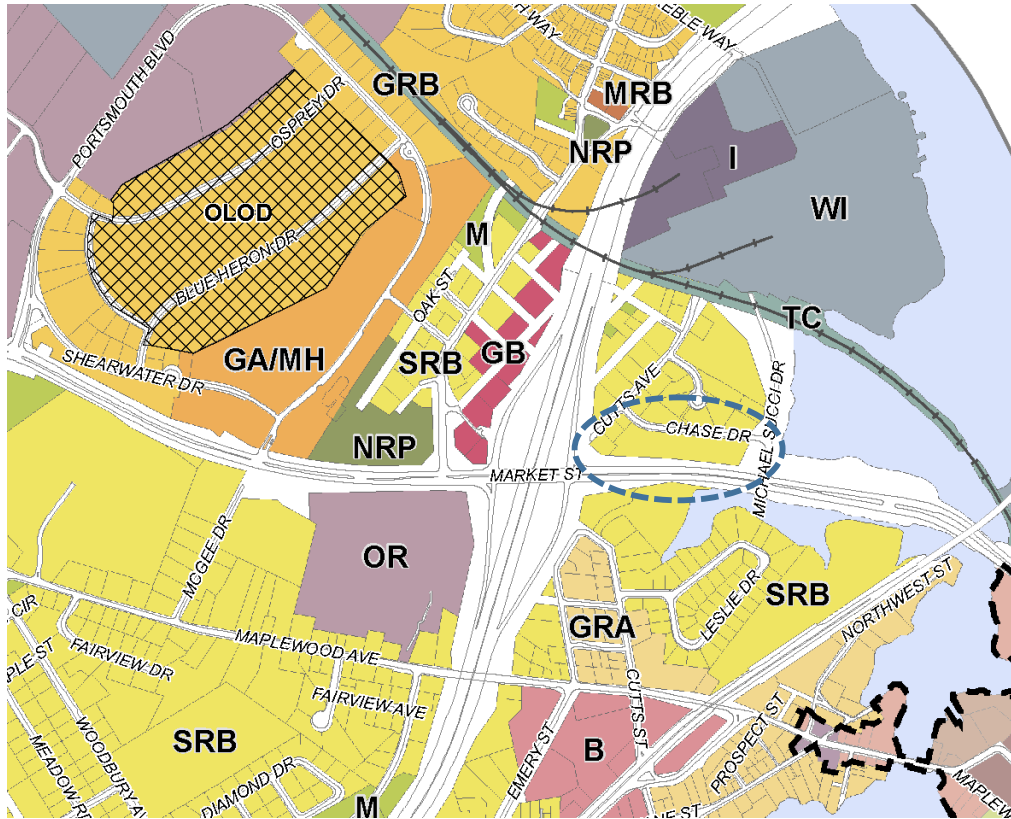
EXISTING CONDITIONS

- Constructed in 1976
- 2.68 Acres
- 724 Ft. Frontage on Market Street and 712 Ft. on Chase Drive
- Property Depth: Approx. 300 Ft.
- 25,587 SF Total GFA (3 Buildings)
- Approx. 140 Parking Spaces (1/182 GFA)
- Church Building Approx. 20,000 GFA
- Current Uses: Connect Community Church and Related Functions
- Current Zoning: Single Residence B (SRB)

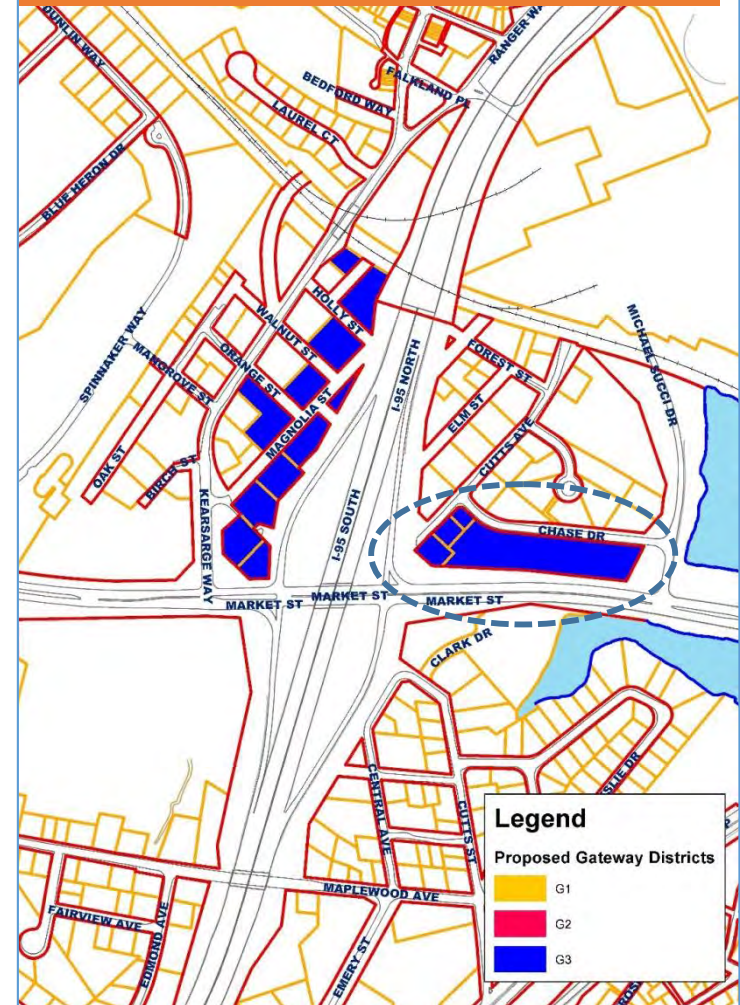
GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 2 – CCC SITE, MARKET STREET/EXIT 7

CURRENT ZONING: Single Residence B (SRB)



PROPOSED ZONING: Gateway Mixed Use Center (G2/G3)



GATEWAY DISTRICT FOCUS AREAS

CURRENT ZONING – SINGLE RESIDENCE B (SRB)

DIMENSIONAL STANDARDS

MINIMUM LOT SIZE: 15,000 SF

MINIMUM FRONTAGE: 100 FT

MINIMUM LOT DEPTH: 100 FT

EFFECTIVE LOT DEPTH: 150 FT

MINIMUM FRONT YARD: 30 FT

MINIMUM SIDE YARD: 10 FT

MINIMUM REAR YARD: 30 FT

EFFECTIVE BUILDING ENVELOPE: 7,200 SF

MINIMUM OPEN SPACE: 40% (6,000 SF)

EFFECTIVE YARD AREA/OPEN SPACE: 52% (7,800 SF)

EFFECTIVE DENSITY: 2.9 D.U./ACRE

MAXIMUM BUILDING COVERAGE: 20% (3,000 SF)

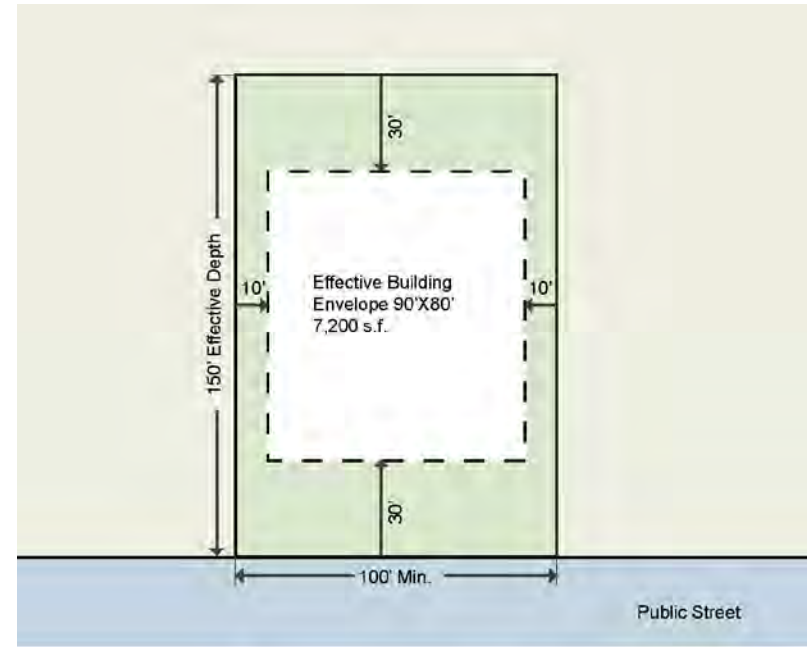
MAXIMUM BUILDING HEIGHT: 30 FT FLAT ROOF; 35 FT SLOPED ROOF

ALLOWED USES

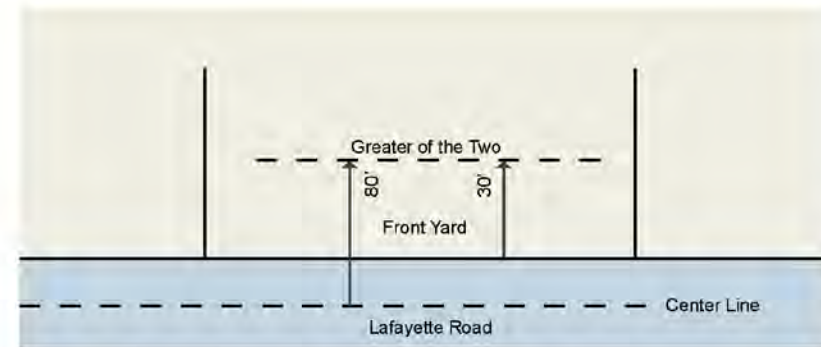
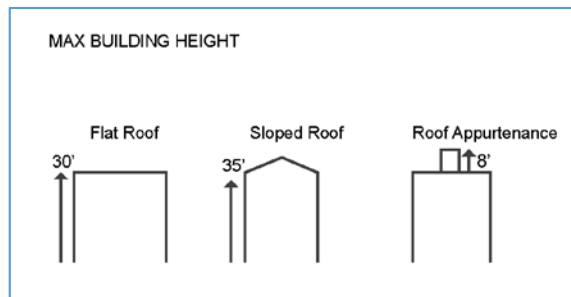
- S.F. Detached Residence, ADU, Garden Cottage
- Limited Assisted Living
- Limited Recreational Uses/Place of Assembly
- Day Care

PARKING REQUIREMENTS

- 2 Spaces/S.F. Dwelling



STANDARD LOT



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 2 – CCC SITE, MARKET STREET/EXIT 7



GATEWAY DISTRICT FOCUS AREAS

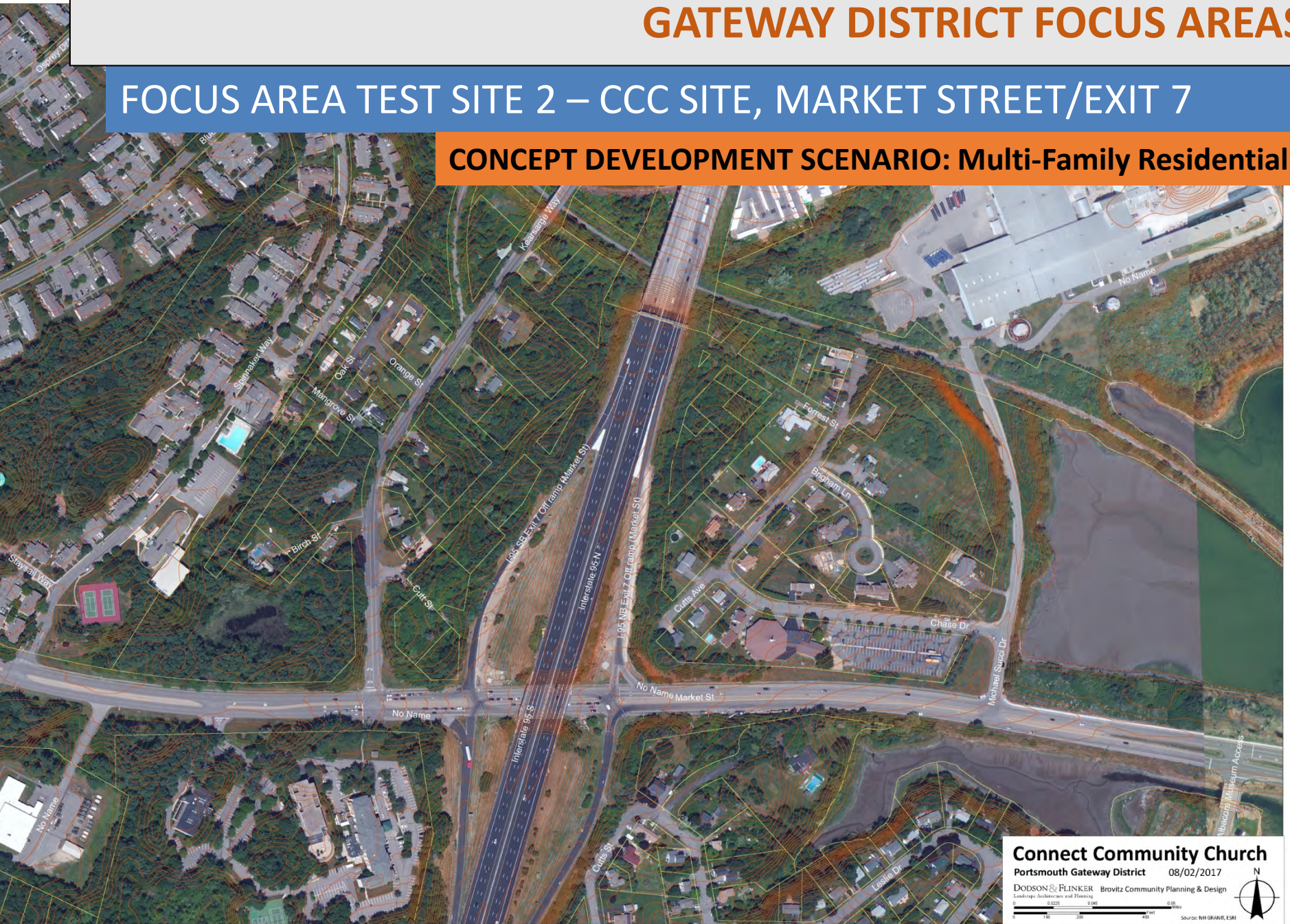
FOCUS AREA TEST SITE 2 – CCC SITE, MARKET STREET/EXIT 7




GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 2 – CCC SITE, MARKET STREET/EXIT 7

CONCEPT DEVELOPMENT SCENARIO: Multi-Family Residential



Connect Community Church
Portsmouth Gateway District 08/02/2017
DODSON & FLINKER Brovitz Community Planning & Design
Landscape Architecture and Planning
0 100 200 400 800
0 0.025 0.05 0.1
1:0 2:0 4:0 8:0
Source: NH GRANIT, ESI





Connect Community Church
 Portsmouth Gateway District 08/02/2017

DODSON & FLINKER Brovitz Community Planning & Design
 Landscape Architecture and Planning
 © 2017 0 0.05 0.10 Miles
 Source: NH GRANIT, ESRI



Connect Community Church

Portsmouth Gateway District 08/02/2017

DODSON & FLINKER Brovitz Community Planning & Design
Landscape Architecture and Planning

Scale: 1" = 50' (0.0020" = 0.040' = 0.005" = 0.100')



Source: NH GRANIT, ESRI



Interstate 95-N

I-95 NB Exit 7 Off ramp (Market St)

Cutts Ave

Brigham Ln

Chase Dr

Michael Succi Dr

No Name Market St

PROJECTED YIELD

- 84 New D.U. – Apartment Buildings (Rental/Ownership)
- Approximately 114 Parking Spaces (1.3 Spaces/DU)



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 3 – FRANK JONES CTR SITE, RT 1 BYPASS



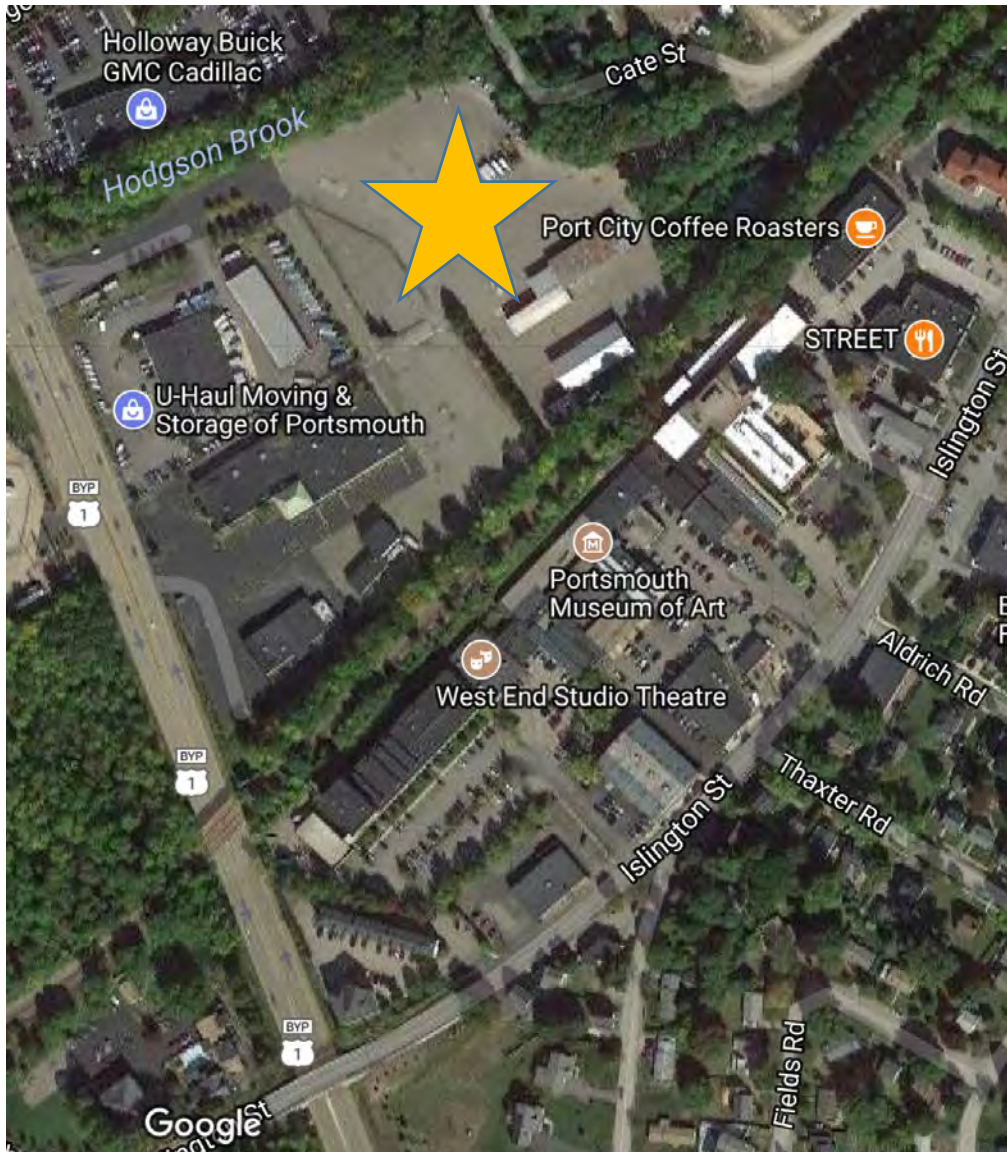
GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 3 – FRANK JONES CTR SITE, RT 1 BYPASS



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 3 – FRANK JONES CTR SITE, RT 1 BYPASS

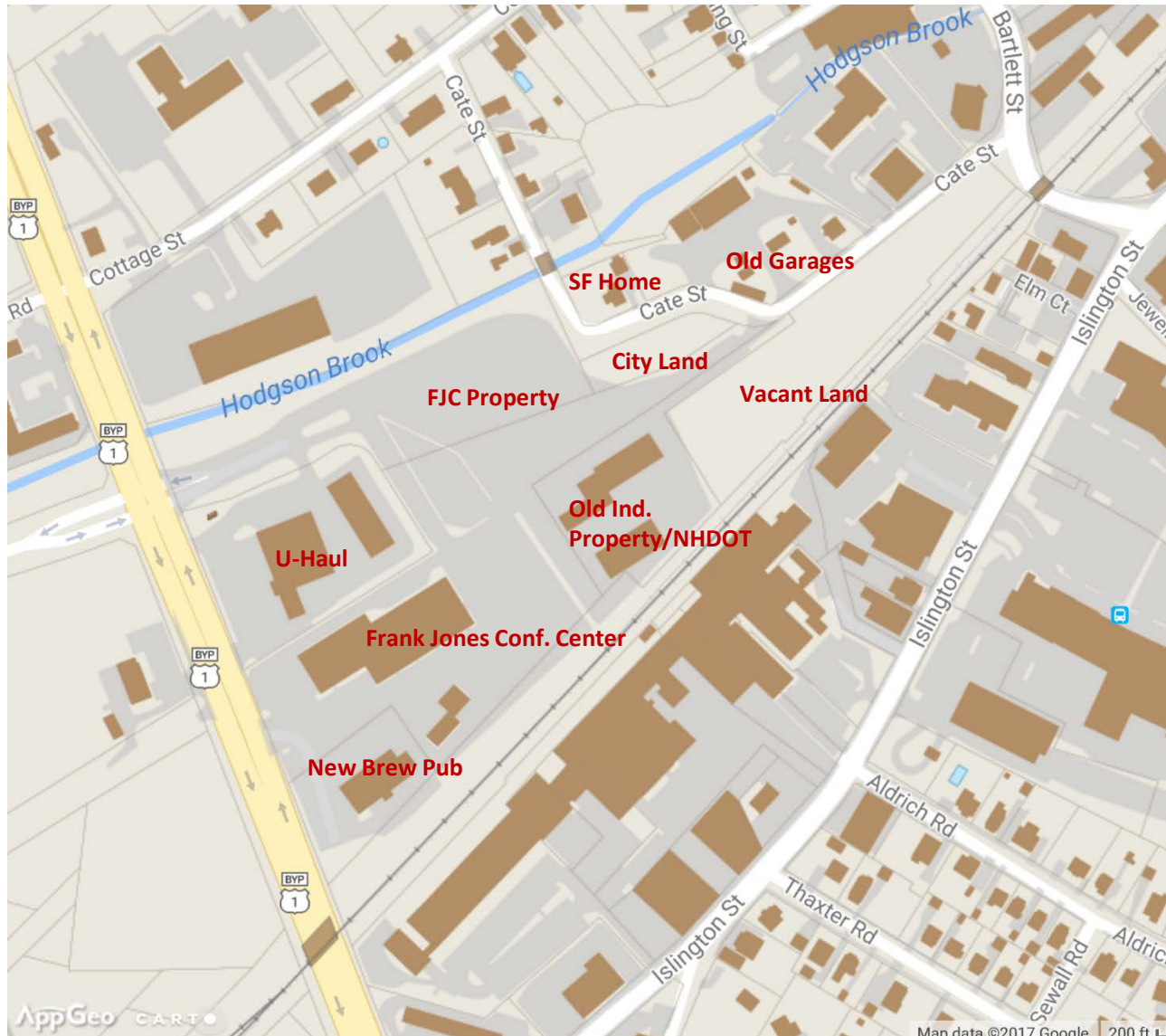


EXISTING CONDITIONS

- 9 Properties
- Approx. 18.4 Acres
- Properties have Approx. 425 Ft. Frontage on Rt. 1 Bypass. Frontage on Cate Street
- Current Uses: F. Jones Conf. Center, U-Haul, Older Industrial Properties, Vacant Properties, New Pub, SF Home
- Hodgson Brook Borders North Side
- Current Zoning: Gateway (GW)

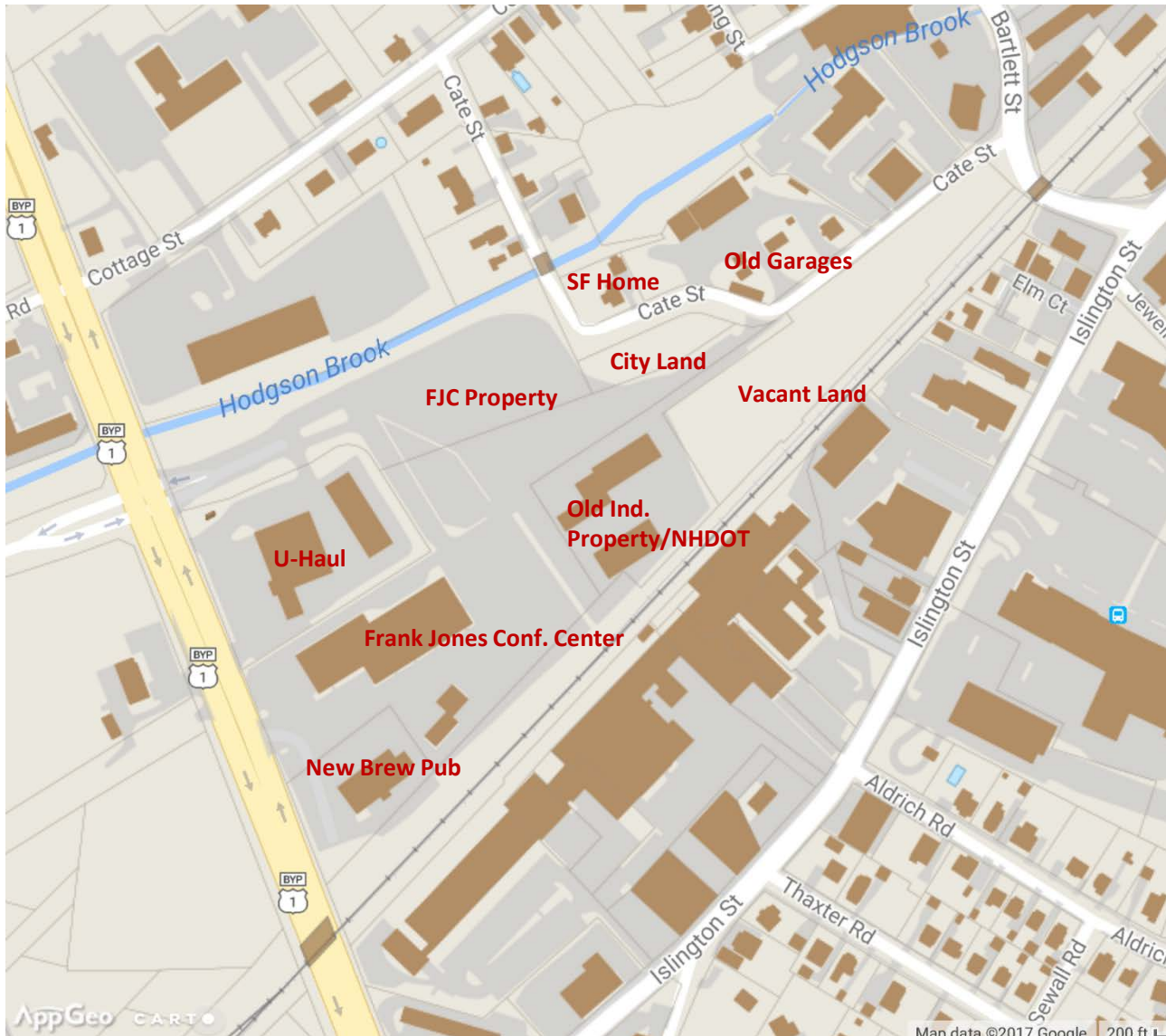
GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 3 – FRANK JONES CTR SITE, RT 1 BYPASS



GATEWAY DISTRICT FOCUS AREAS

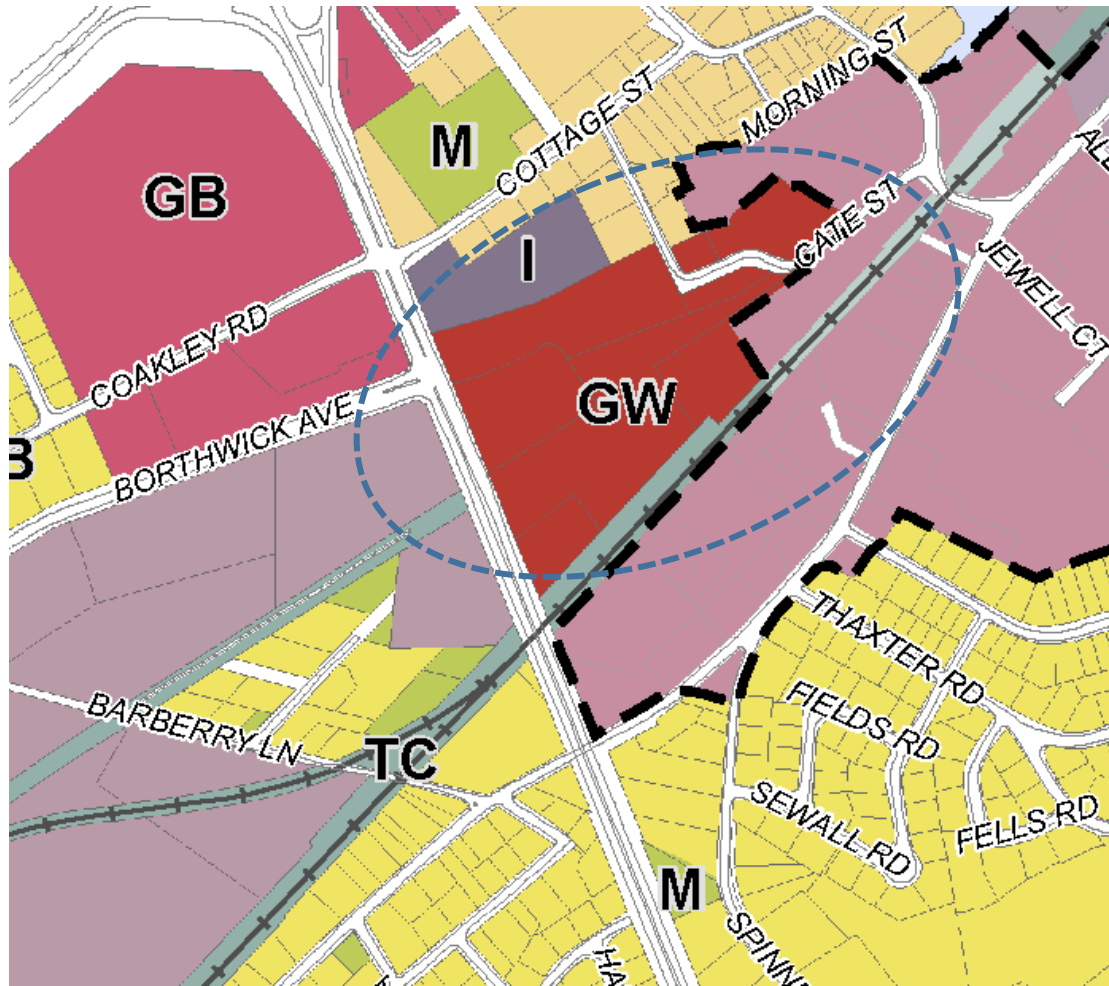
FOCUS AREA TEST SITE 3 – FRANK JONES CTR SITE, RT 1 BYPASS



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 3 – FRANK JONES CTR SITE, RT 1 BYPASS

CURRENT ZONING: Gateway (GW)



PROPOSED ZONING: Gateway Corridor Mixed Use (G1)



GATEWAY DISTRICT FOCUS AREAS

CURRENT ZONING – GATEWAY (GW)

DIMENSIONAL STANDARDS

MINIMUM LOT SIZE: 1 ACRE (43,560 SF)

MINIMUM FRONTAGE: 200 FT

MINIMUM LOT DEPTH: 100 FT

EFFECTIVE LOT DEPTH: 218 FT

MINIMUM FRONT YARD: 30 FT (OR 80 FT FROM RT 1 CENTERLINE)

MINIMUM SIDE YARD: 30 FT

MINIMUM REAR YARD: 50 FT

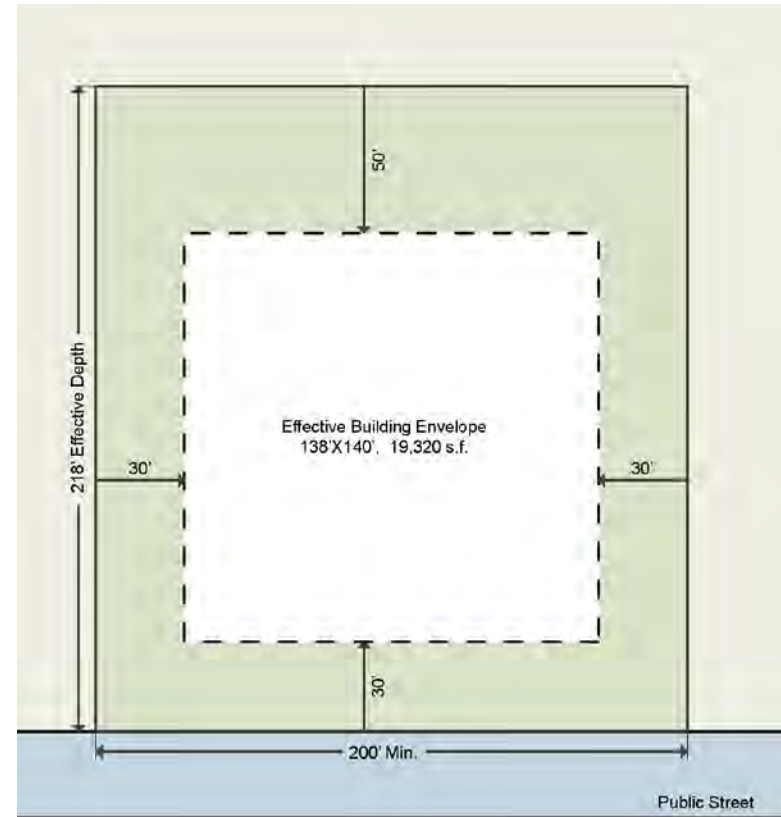
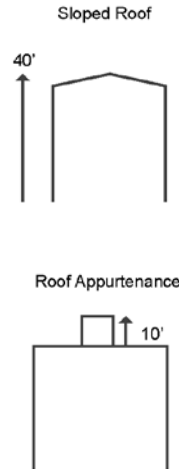
EFFECTIVE BUILDING ENVELOPE: 19,320 SF

MINIMUM OPEN SPACE 20% (8,712 SF)

EFFECTIVE YARD AREA/OPEN SPACE: 56% (24,240 SF)

MAXIMUM BUILDING COVERAGE: 30% (13,068 SF)

MAXIMUM BUILDING HEIGHT: 40 FT

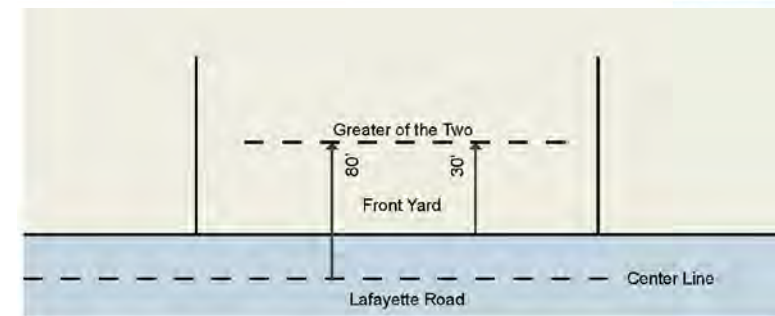


ALLOWED USES

- **No Residential Uses**
- Limited Institutional/Res. Care Facilities, Recreational Uses
- Educational/Religious/Public Uses
- Lodging, Offices and Services
- Retail/Restaurants/Drinking Establishments
- Vehicle and Marine Related Uses
- Limited Industrial and Transportation Uses

KEY PARKING REQUIREMENTS

- On same lot or within 300' with SE
- No parking within Front Yard or between Building and Street except SF and Duplexes
- Setback from Other Zoning Districts and Lot Lines: 20 – 100'



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 3 – FRANK JONES CTR SITE, RT 1 BYPASS

CONCEPT DEVELOPMENT SCENARIO: Mixed Use Development



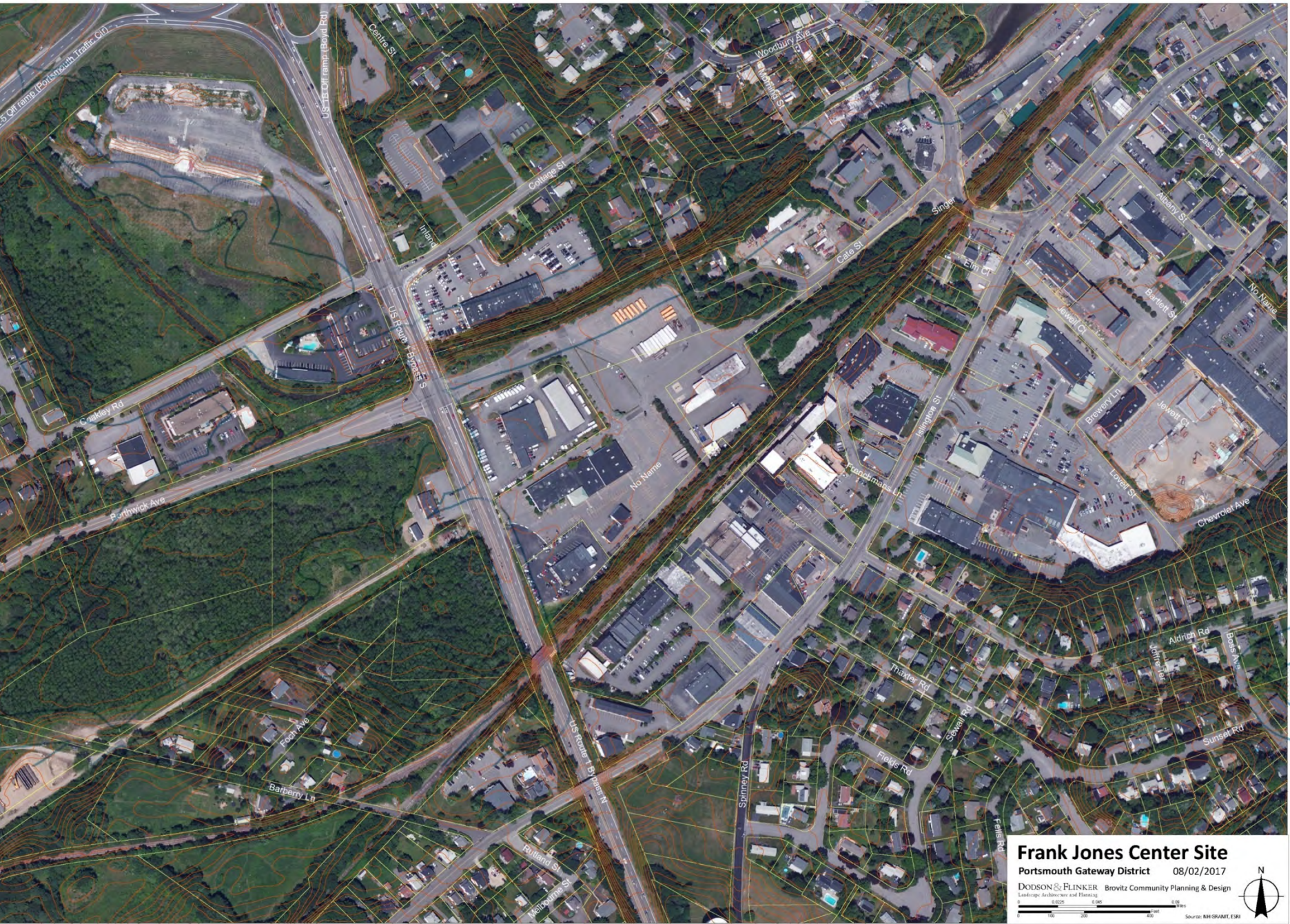
Frank Jones Center Site

Portsmouth Gateway District 08/02/2017

DODSON & FLINKER Brovitz Community Planning & Design
Landscape Architecture and Planning

Scale: 1" = 200'
0 100 200 400 Feet
Source: NH GRANIT, ESRI

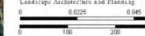




Frank Jones Center Site
 Portsmouth Gateway District

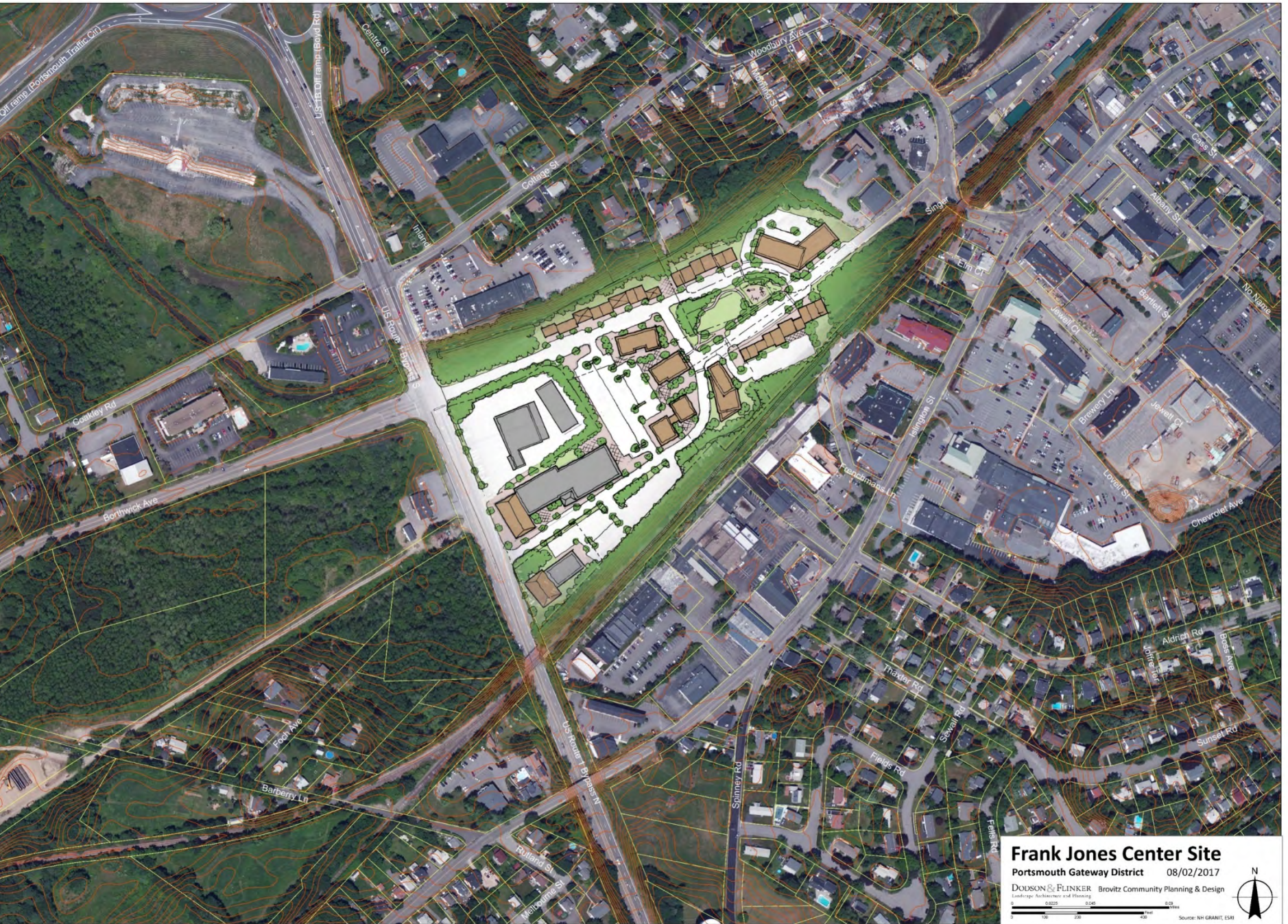
08/02/2017

DODSON & FLINKER Brovitz Community Planning & Design
 Landscape Architecture and Planning



Source: RH GRANT, ESR





Frank Jones Center Site

Portsmouth Gateway District 08/02/2017

DOUSON & FLINKER Brevitz Community Planning & Design
Landscape Architecture and Planning

Scale: 1" = 50' 0" 100' 0" 200' 0" 400' 0"
Source: NH GRANIT, ESRI





Cottage St

Inland

US Route 1 Bypass S

Singer

Cate St

Elm C

No Name

Islington St

Frenchmas Ln



Cottage St

Inland

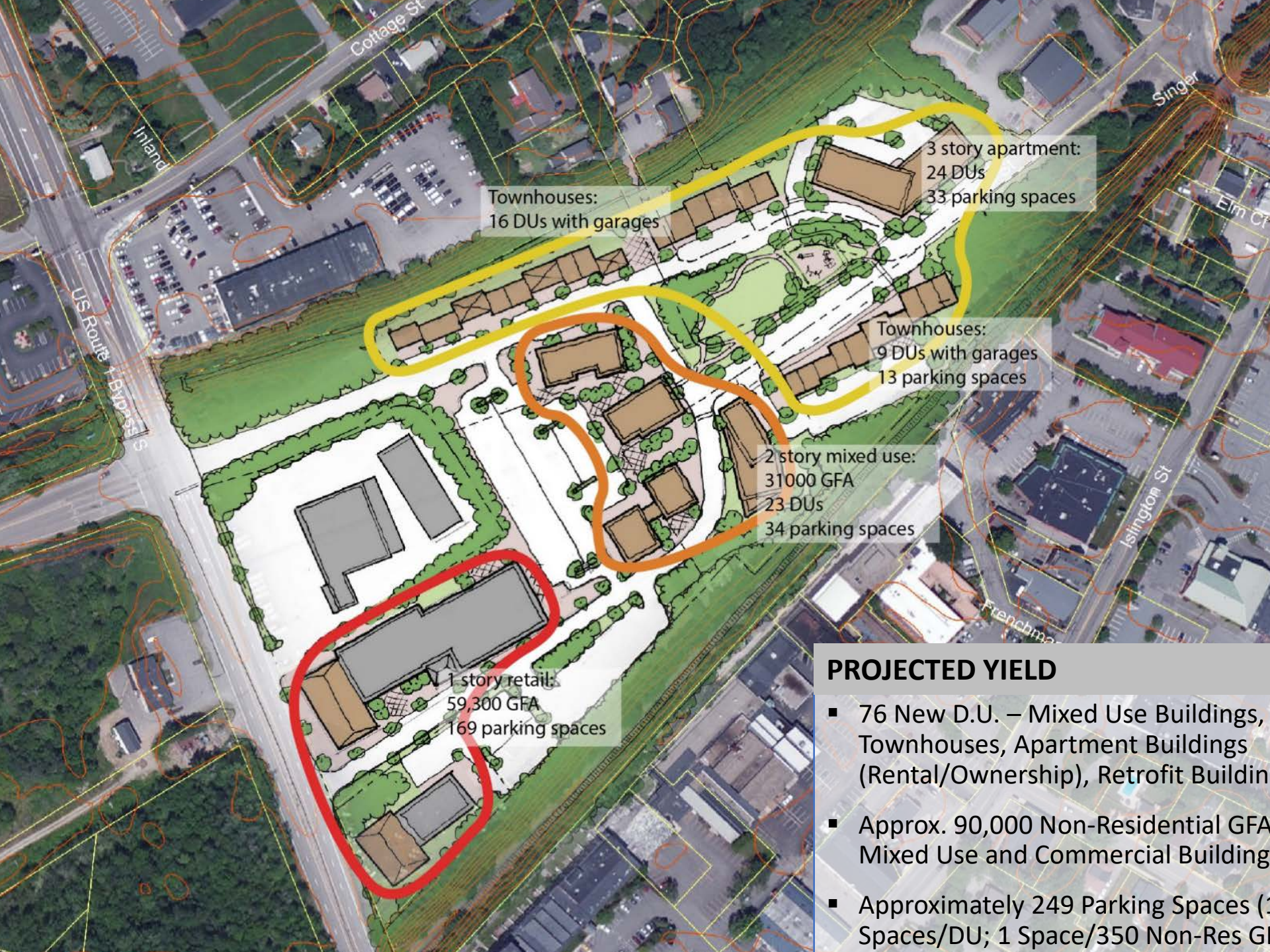
Singer

Elm C

US Route 1 Bypass S

Islington St

Frenchmans Ln



Townhouses:
16 DUs with garages

3 story apartment:
24 DUs
33 parking spaces

Townhouses:
9 DUs with garages
13 parking spaces

2 story mixed use:
31000 GFA
23 DUs
34 parking spaces

1 story retail:
59,300 GFA
169 parking spaces

PROJECTED YIELD

- 76 New D.U. – Mixed Use Buildings, Townhouses, Apartment Buildings (Rental/Ownership), Retrofit Building
- Approx. 90,000 Non-Residential GFA Mixed Use and Commercial Building
- Approximately 249 Parking Spaces (3 Spaces/DU; 1 Space/350 Non-Res)

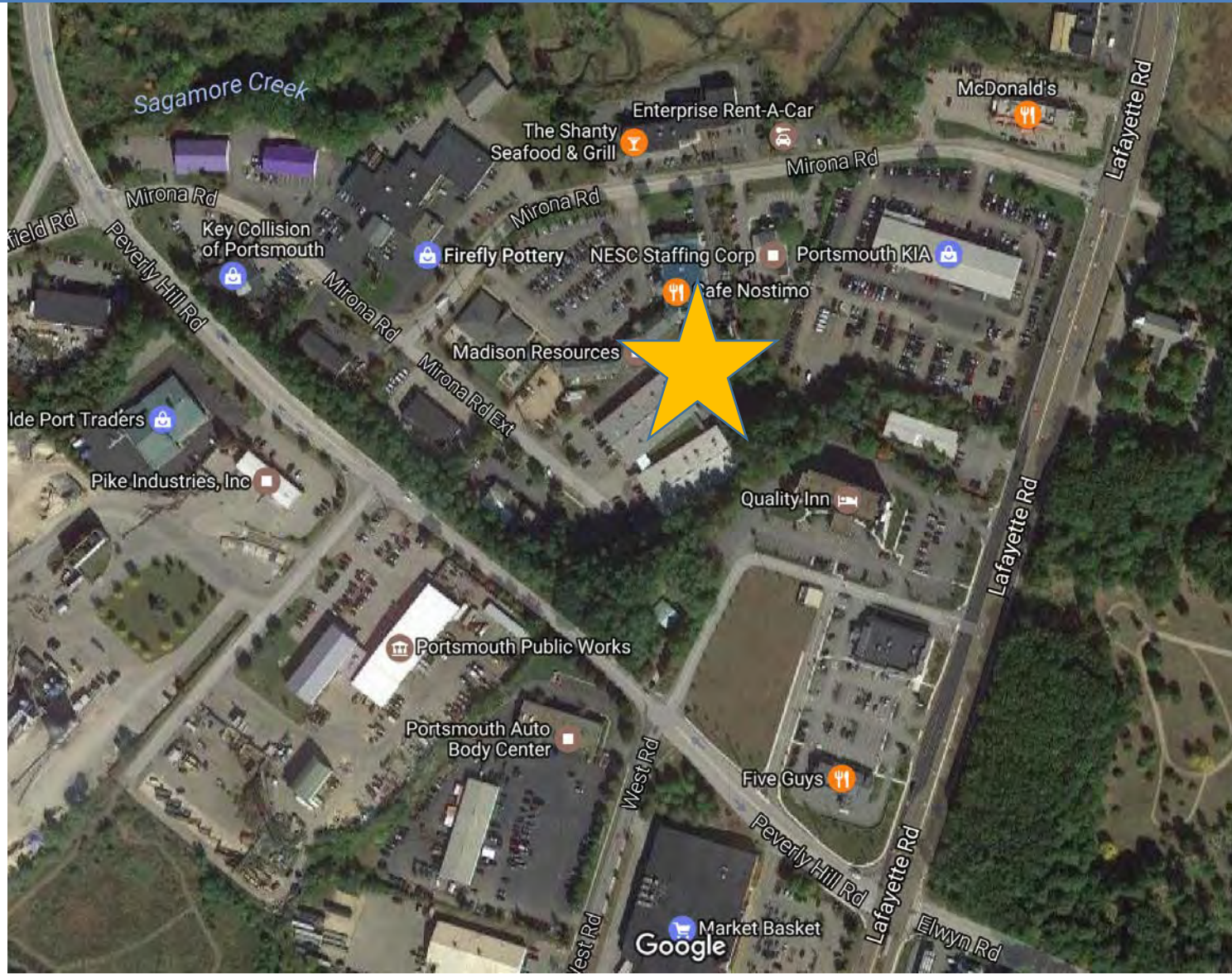


PROJECTED YIELD WITH PARKING GARAGE

With a 180' x 180' 2-level parking garage replacing the surface lot a total of 208 parking spaces are provided (61 more than surface lot) allowing 46 additional DUs, 55,200 SF. Two (2) more stories (totaling 5) are added to each of the three adjacent mixed-use buildings.

GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 4 – ROUTE 1/MIRONA ROAD AREA



GATEWAY DISTRICT FOCUS AREAS



GATEWAY DISTRICT FOCUS AREAS



Image Landsat / Copernicus

Google Earth

GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 4 – ROUTE 1/MIRONA ROAD AREA



GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 4 – ROUTE 1/MIRONA ROAD AREA



EXISTING CONDITIONS

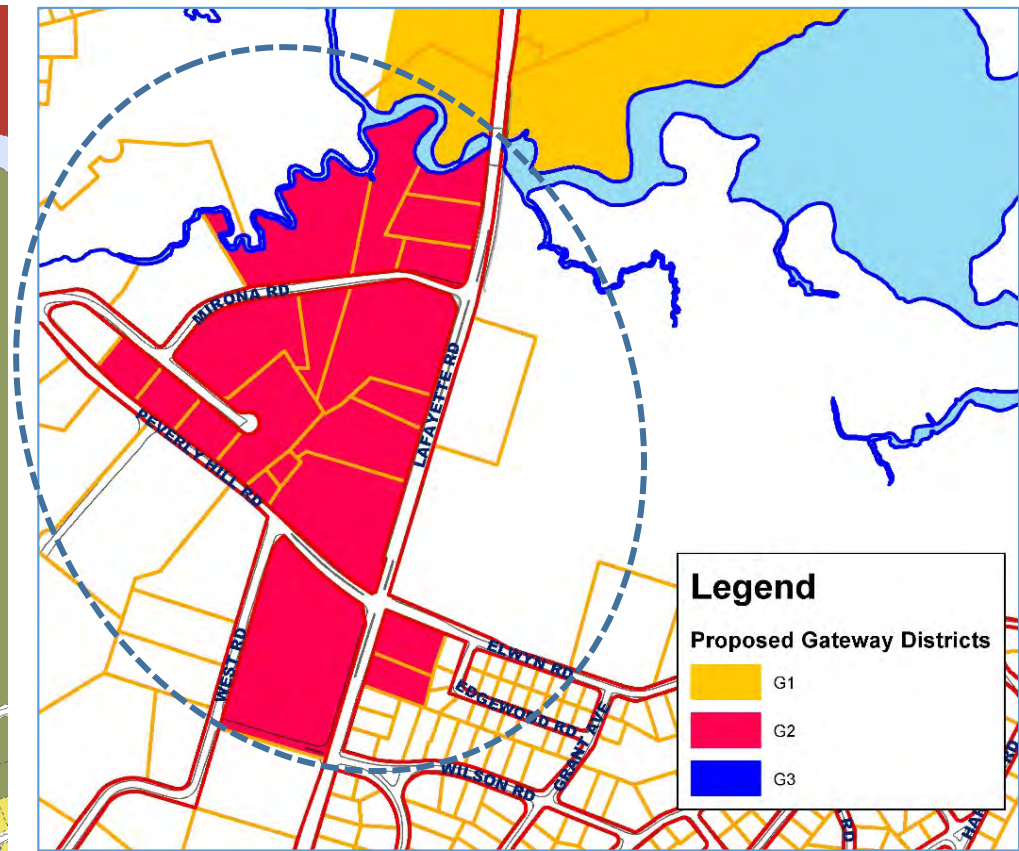
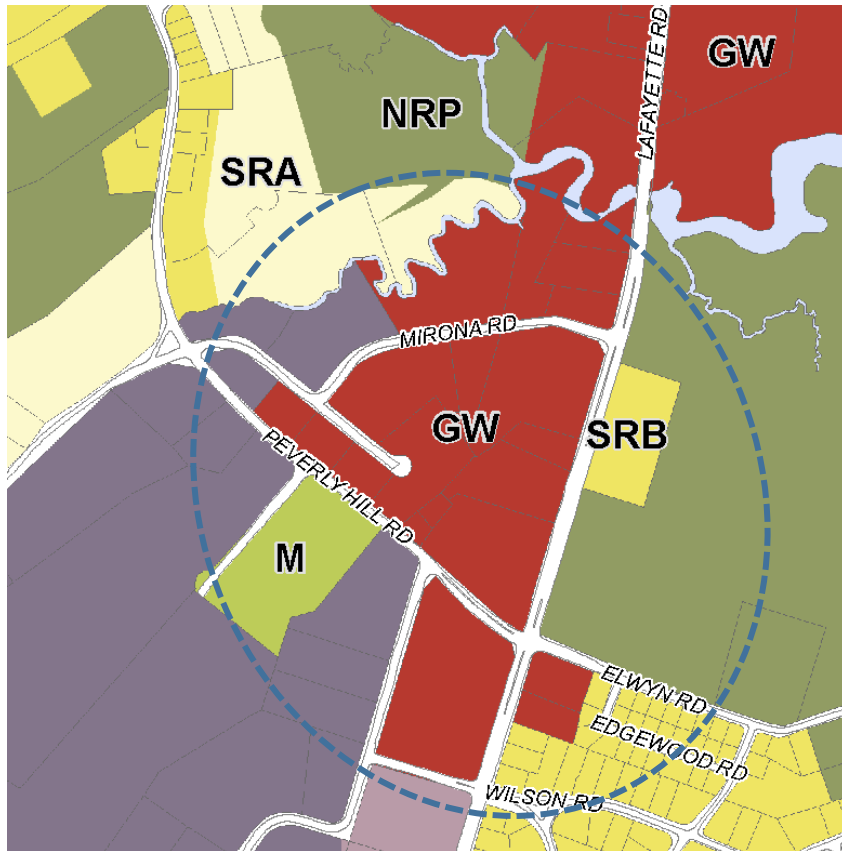
- 23 Properties
- Approx. 58 Acres
- Property Frontage on Lafayette Road, Mirona Road, Mirona Rd Ext., Peverly Hill Rd
- Current Uses: Mix of Retail, Restaurant, Office, Auto Services, Light Industrial
- Sagamore Creek, Wetland, and 100-Ft Wetland Buffers on North Side of Mirona Road
- Current Zoning: Gateway (GW), Industrial (I), Gateway Planned Development (GPD –Overlay)

GATEWAY DISTRICT FOCUS AREAS

FOCUS AREA TEST SITE 4 – ROUTE 1/MIRONA ROAD AREA

CURRENT ZONING: Gateway (GW)

PROPOSED ZONING: Gateway Center Mixed Use (G2/G3)



GATEWAY DISTRICT FOCUS AREAS

CURRENT ZONING – INDUSTRIAL (I)

DIMENSIONAL STANDARDS

MINIMUM LOT SIZE: 2 ACRE (87,120 SF)

MINIMUM FRONTAGE: 200 FT

MINIMUM LOT DEPTH: 200 FT

EFFECTIVE LOT DEPTH: 436 FT

MINIMUM FRONT YARD: 70 FT

MINIMUM SIDE YARD: 50 FT

MINIMUM REAR YARD: 50 FT

EFFECTIVE BUILDING ENVELOPE: 31,600 SF

MINIMUM OPEN SPACE NR

EFFECTIVE YARD AREA/OPEN SPACE: 64% (55,520 SF)

MAXIMUM BUILDING COVERAGE: 50% (43,560 SF)

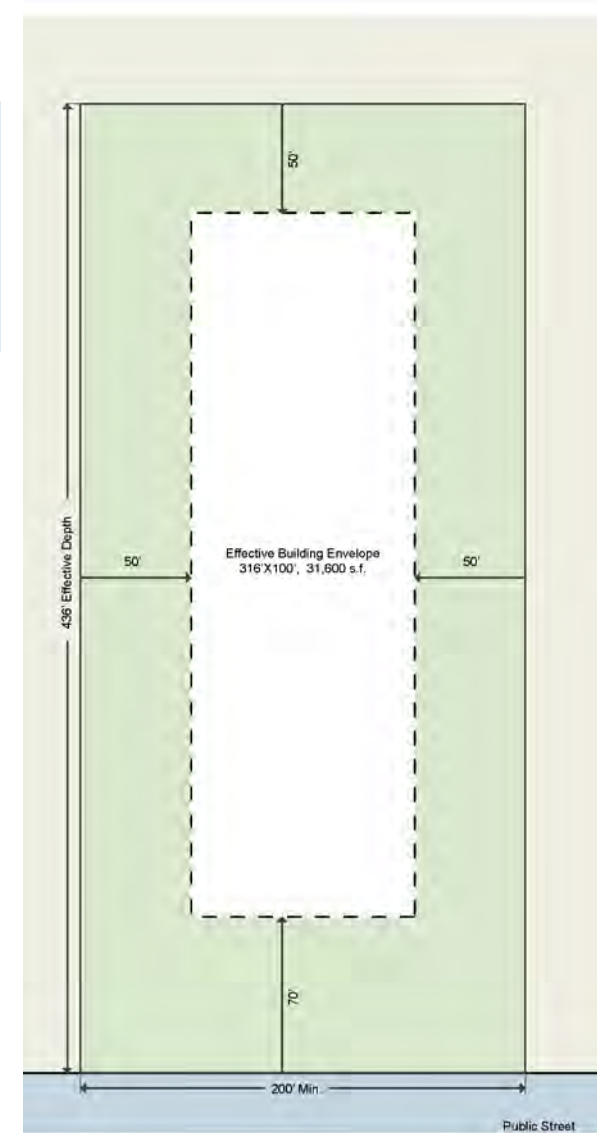
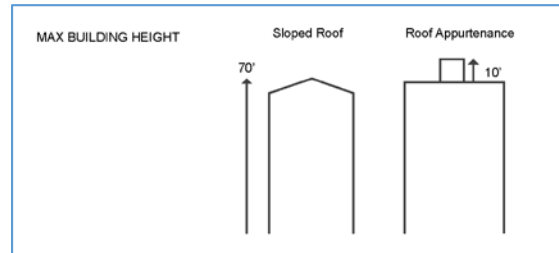
MAXIMUM BUILDING HEIGHT: 70 FT

ALLOWED USES

- No Residential, PUD, Retail, Restaurants, Lodging
- Limited Educational/Religious/Public Uses
- Limited Recreational Uses
- Offices and Services (Non-Medical)
- Vehicle and Marine Related Uses
- Industrial, Wholesale, and Transportation Uses

PARKING REQUIREMENTS

- Parking Placement:
 - On same lot or within 300' with SE
 - No parking within Front Yard or between Building and Street except SF and Duplexes
 - Setback from Other Zoning Districts and Lot Lines: 20 – 100' (See Sec. 10.1113)



GATEWAY DISTRICT FOCUS AREAS

CURRENT ZONING – GATEWAY PLANNED DEVELOPMENT (GPD)

DIMENSIONAL STANDARDS

MINIMUM LOT SIZE: N.R.

MINIMUM AREA/D.U.: 2,500 S.F./DU (17 DU/ACRE)

MINIMUM FRONTAGE: 100 FT

MINIMUM FRONTAGE OCCUPATION BY BLDG OR OPEN SPACE: 60%

MINIMUM FRONT YARD:

- **From Centerline of Lafayette Rd: 70' Min./90' Max.**
- **From Side Line of Rt. 1 Bypass: 30' Min./N.A. Max.**
- **From Other Private/Public Street Side Lines: 20' Min./40' Max.**

MINIMUM SIDE AND REAR YARD: N.R.

MINIMUM OPEN SPACE: 20%

MAXIMUM BUILDING COVERAGE: 75%

MAXIMUM BUILDING HEIGHT: 60 FT

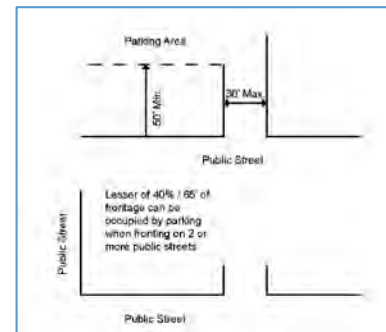
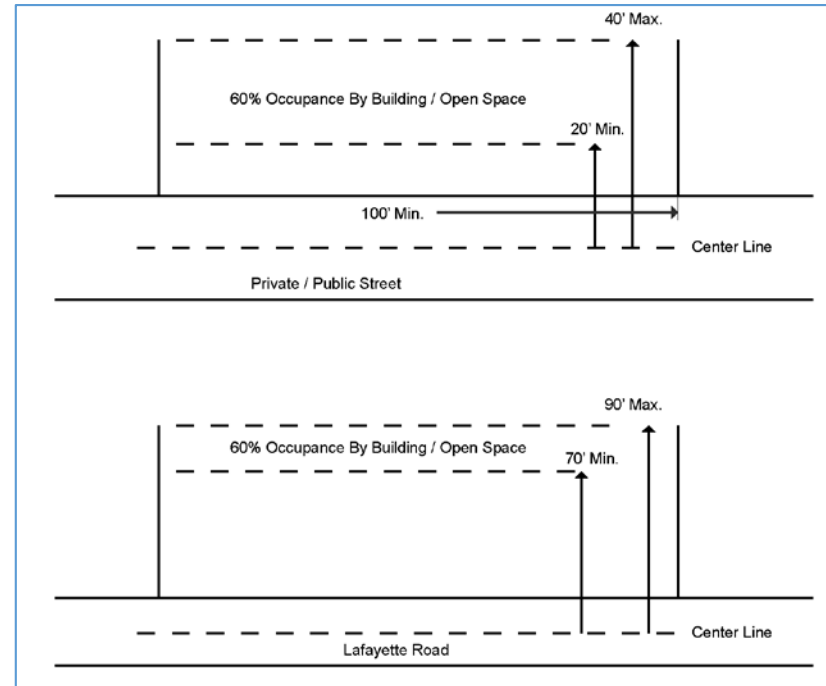
(SEE BLDG HEIGHT SETBACKS FROM STREET ROW AND RES. DISTRICTS)

ALLOWED USES

- All Uses Allowed By Right in the GW District
- MF Dwellings and Townhouses as part of Mixed Use Development
- Live/Work and Artists Studios

PARKING REQUIREMENTS

- **Non-Residential: 1 Space/350' GFA Min.; 250' GFA Max.**
- **Residential: 1.3 Spaces/DU Min.; 1.8 Spaces/DU Max.**
- **Parking Placement:**
 - **50' Min Setback from ROW**
 - **Lesser of 40%/65' of frontage can be occupied by parking when lot fronts on 2 or more public streets**
 - **Maximum access drive 30'**



GATEWAY DISTRICT FOCUS AREAS

CURRENT ZONING – GATEWAY PLANNED DEVELOPMENT (GPD)

DIMENSIONAL STANDARDS

MINIMUM LOT SIZE: N.R.

MINIMUM AREA/D.U.: 2,500 S.F./DU (17 DU/ACRE)

MINIMUM FRONTAGE: 100 FT

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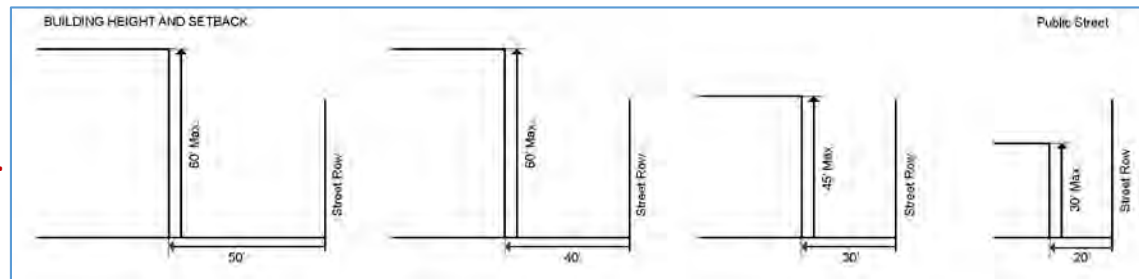
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GATEWAY DISTRICT FOCUS AREAS

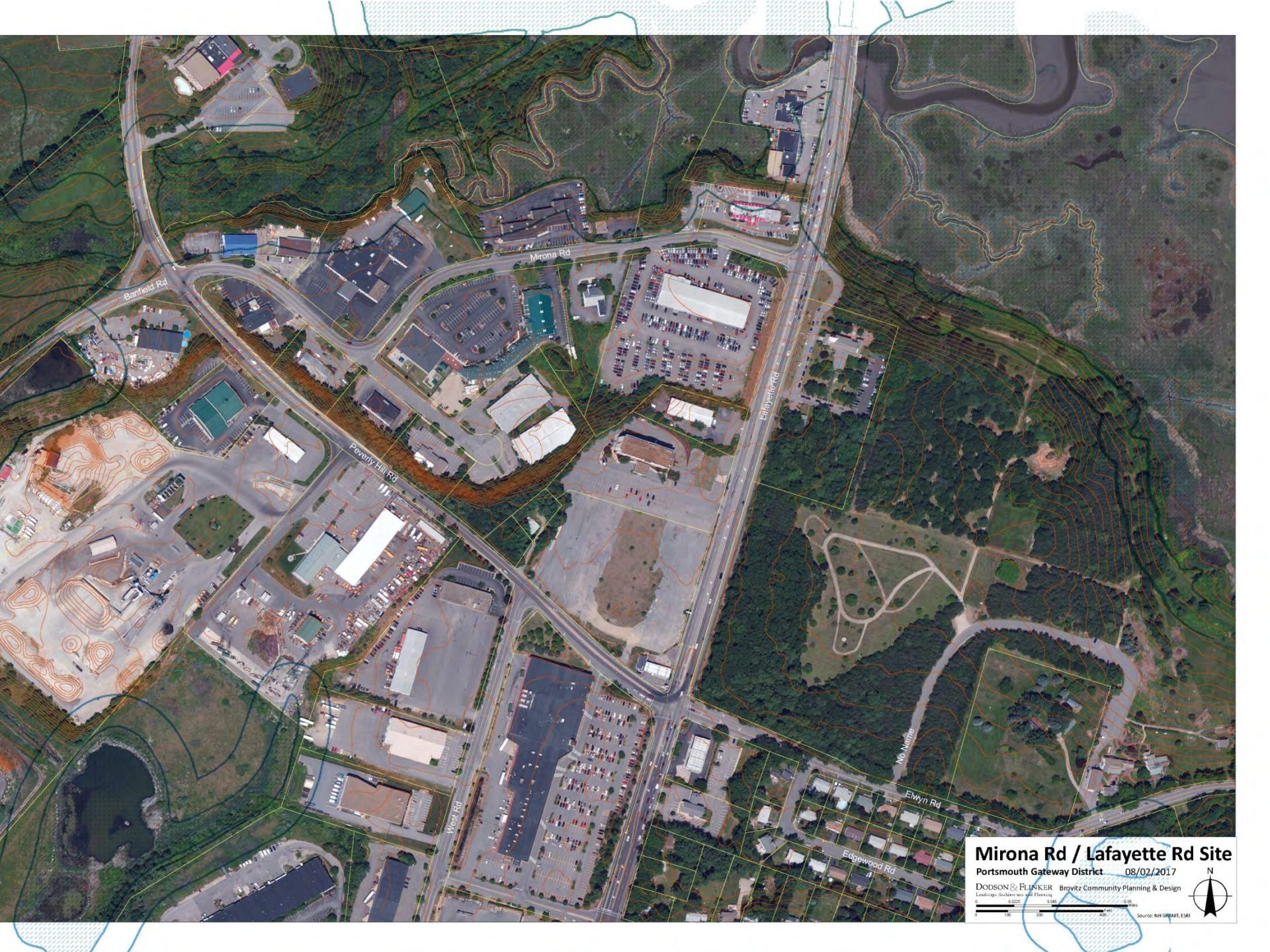
FOCUS AREA TEST SITE 4 – ROUTE 1/MIRONA ROAD AREA

CONCEPT DEVELOPMENT SCENARIO: Residential and Mixed Use Development



Mirona Rd / Lafayette Rd Site
Portsmouth Gateway District 08/02/2017
DODSON & FLINKER Brevitz Community Planning & Design
Landscape Architecture and Planning
0 100 200 300 Feet
Source: NH GRANIT, ESRI





Mirona Rd / Lafayette Rd Site

Portsmouth Gateway District 08/02/2017

DODSON & FLINKER Brevitz Community Planning & Design
Landscape Architecture and Planning

0 100 200 300 Feet
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Mirona Rd / Lafayette Rd Site

Portsmouth Gateway District 08/02/2017

DODSON & FLINKER Brovitz Community Planning & Design
Landscape Architecture and Planning



Source: NH GRANIT, ESRI







PROJECTED YIELD

- 194 New D.U. – Mixed Use Buildings, Townhouses, Apartment Buildings (Rental/Ownership), Cottage Courts
- Approx. 104,000 Non-Residential GFA in Mixed Use and Commercial Buildings
- Approximately 572 Parking Spaces (1.3 Spaces/DU; 1 Space/350 Non-Res GFA)





PROJECTED YIELD WITH PARKING GARAGE

With a parking garage (Kia Site) the 212-space surface lot doubles to 424 spaces allowing 163 more DUs (ave. 12,000 GFA/unit). This would allow all surrounding mixed use buildings to go up to 6 stories each. Or, the smaller footprint of the parking garage would provide space for additional buildings

GATEWAY DISTRICTS

DRAFT CHARACTER-BASED ZONING & DEVELOPMENT STANDARDS

City of Portsmouth, NH

PLANNING BOARD WORKSHOP
August 17, 2017



Brovitz Community Planning & Design
Dodson & Flinker Associates

