

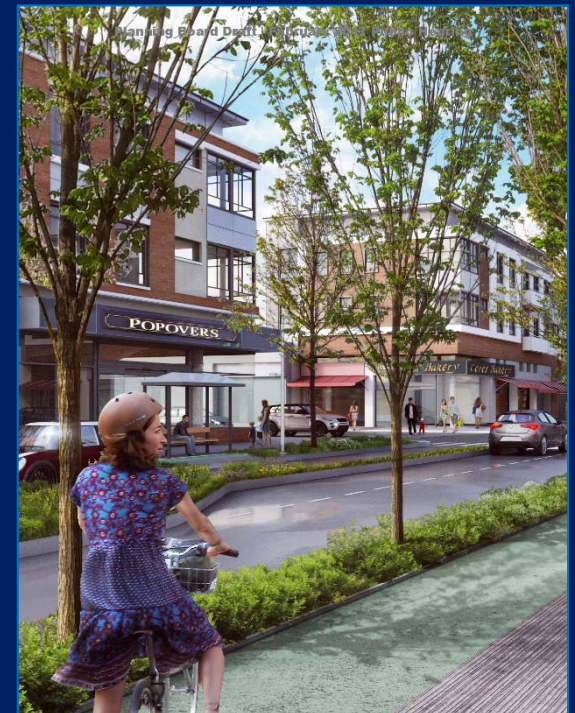


# HOUSING GOALS and RECOMMENDATIONS

Portsmouth 2025 Master Plan (2017)

City of Portsmouth Housing Policy (2016)

Housing Committee Recommendations (2016)



# HOUSING POLICY COMMITTEE RECOMMENDATIONS

## □ Housing Policy Key Principles

- Housing Choice and Affordability
- Protect local character and heritage of neighborhoods
- Focus on suitable areas
- Encourage infill development and mix of uses where appropriate

## □ Focus Areas

- Lafayette Road(Route 1)
- Route 1 Bypass
- Outer Woodbury Avenue
- Mirona Road Area - Lafayette Road (Rt 1) and Peeverly Hill Rd
- Exit 7 Area - North side of Market Street on CCC Church Site and Kearsarge Way.

Exhibit A: Housing Committee – Recommended Focus Areas

### 1. Gateway Zoning District (Lafayette Rd, Route 1 Bypass and Outer Market St.)

#### Locations

The Gateway zoning district consists of the existing zones along much of Lafayette Road and several sites along the Route 1 Bypass, and should include Woodbury Avenue from Market Street to Gosling Road, which is currently zoned General Business.

#### Existing Conditions

The Gateway corridors are characterized by auto-dependent commercial development at various scales and on lots of varying depths. These retail strips are interspersed with various forms of residential development, ranging from single-family subdivisions to manufactured housing parks to apartment and condominium developments, but there is little integration of the commercial and residential uses.



The Gateway Planned Development option, created in 2010, was designed to encourage more efficient use of land through higher-density, mixed-use redevelopment of the larger retail parcels, but to date only one project has taken advantage of this option – Southgate Plaza, where a 94-unit residential building is being added to the existing shopping center.

In addition to the residential component added to Southgate Plaza, new stand-alone residential developments are currently being planned for two sites along the corridors. The former medical office at 150 Route 1 Bypass will be replaced by a 30-unit, senior-oriented multifamily building, and a former office building at 3310 Lafayette Road will be converted into a 25-unit development. It is noteworthy that in both cases the proposed residential uses were not permitted by the zoning in effect, and the Zoning Board of Adjustment granted variances to allow the uses. The fact that these applications are a) being proposed and b) receiving approval is evidence of both the demand for residential development and its appropriateness for these areas.

#### Development Objectives

In public meetings for the new Master Plan, residents identified the commercial areas alongside existing corridors as places where new housing is desired to transform these areas into more attractive centers of activity. Continuing development or redevelopment of these sites can include the addition of residential uses to existing commercial uses, as is being done at Southgate Plaza, or complete redevelopment of parcels into new residential or mixed-use developments. While a smaller parcel might only be able to support a single-use multifamily development (as is being done in the two projects at 150 Route 1 Bypass and 3510 Lafayette Road), larger sites could include a range of housing choices and commercial uses in a quality human-scaled

November 16, 2016

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# PROPOSED GATEWAY MIXED USE ZONING DISTRICTS

## ARTICLE 4 (Zoning Districts and Use Regulations)

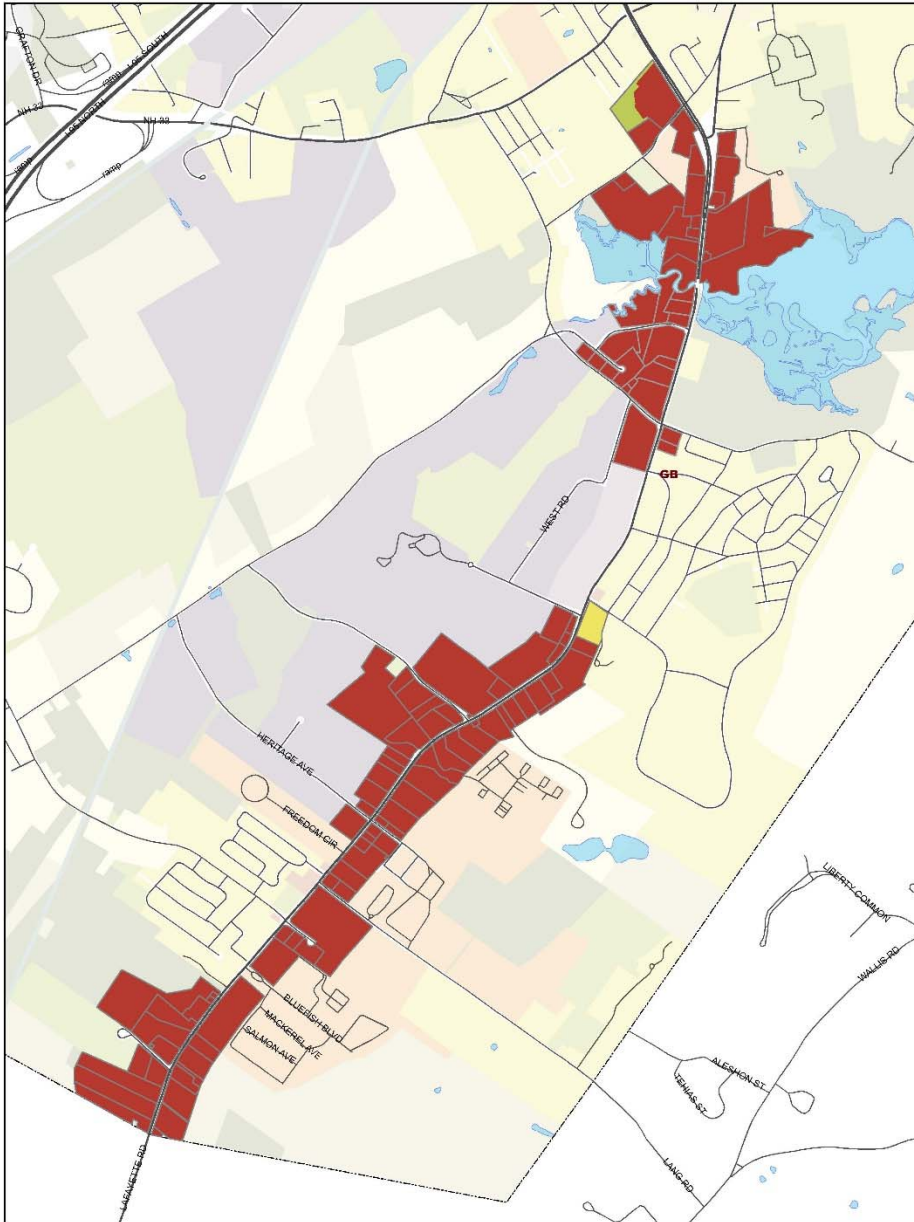
### Gateway Corridor (G1)

- The purpose of this district is to facilitate a broad range of housing types together with compatible commercial, fabrication, and civic uses in a high-quality pedestrian environment with moderate to high density.

### Gateway Center (G2)

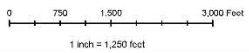
- This district is intended to facilitate a broad range of residential and mixed use development at a pedestrian scale and moderate density providing commercial uses that benefit residents of the district and surrounding neighborhoods along major corridors.



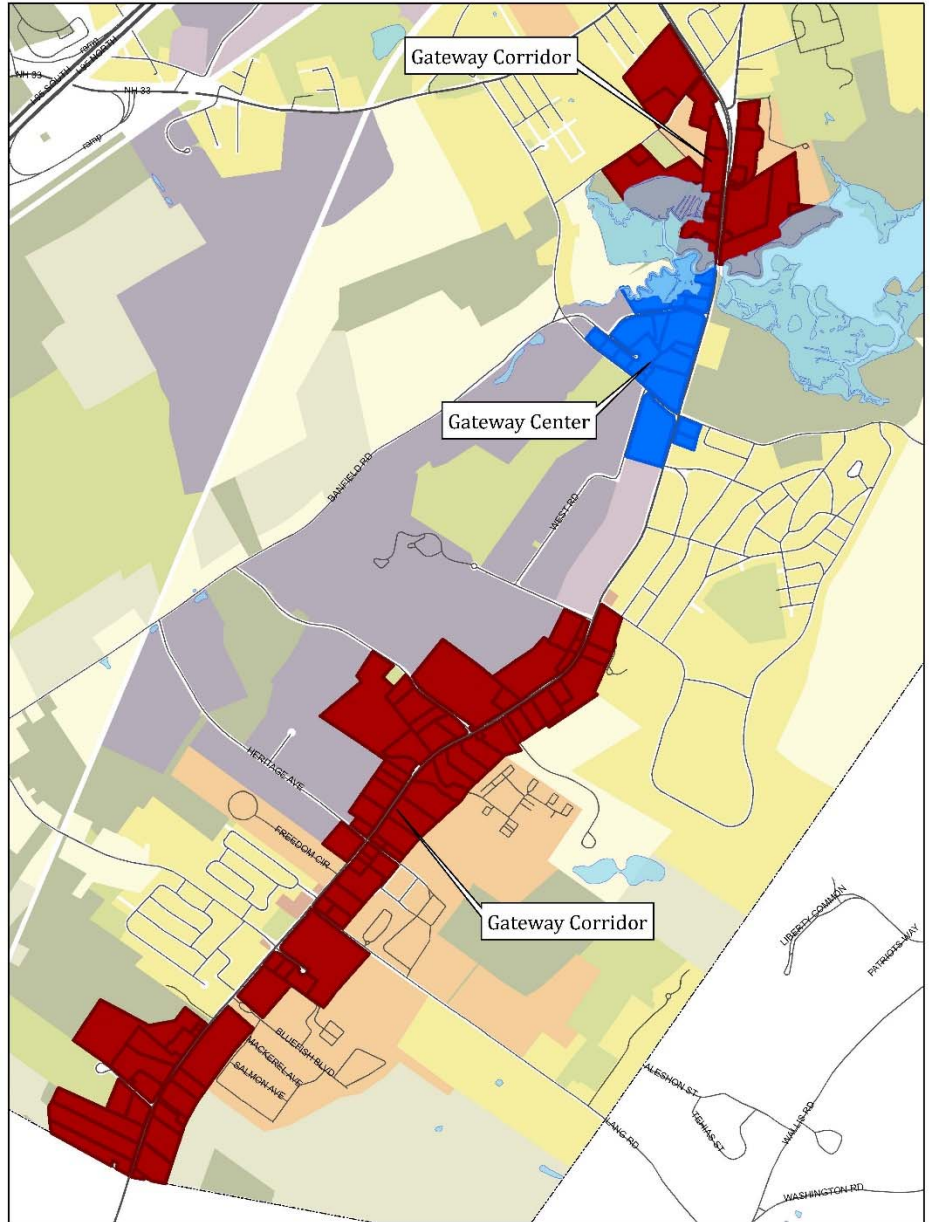


### Gateway Mixed Use Zoning Districts - Existing Zoning

- Legend**
- GW - Gateway
  - GB - General Business
  - SRA - Single Residence A
  - SRB - Single Residence B
  - GA/MH - Garden Apt./Mobile Home Park
  - OR - Office Research
  - M - Municipal

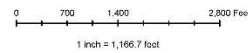


Map created by Portsmouth Planning Department August 10, 2017

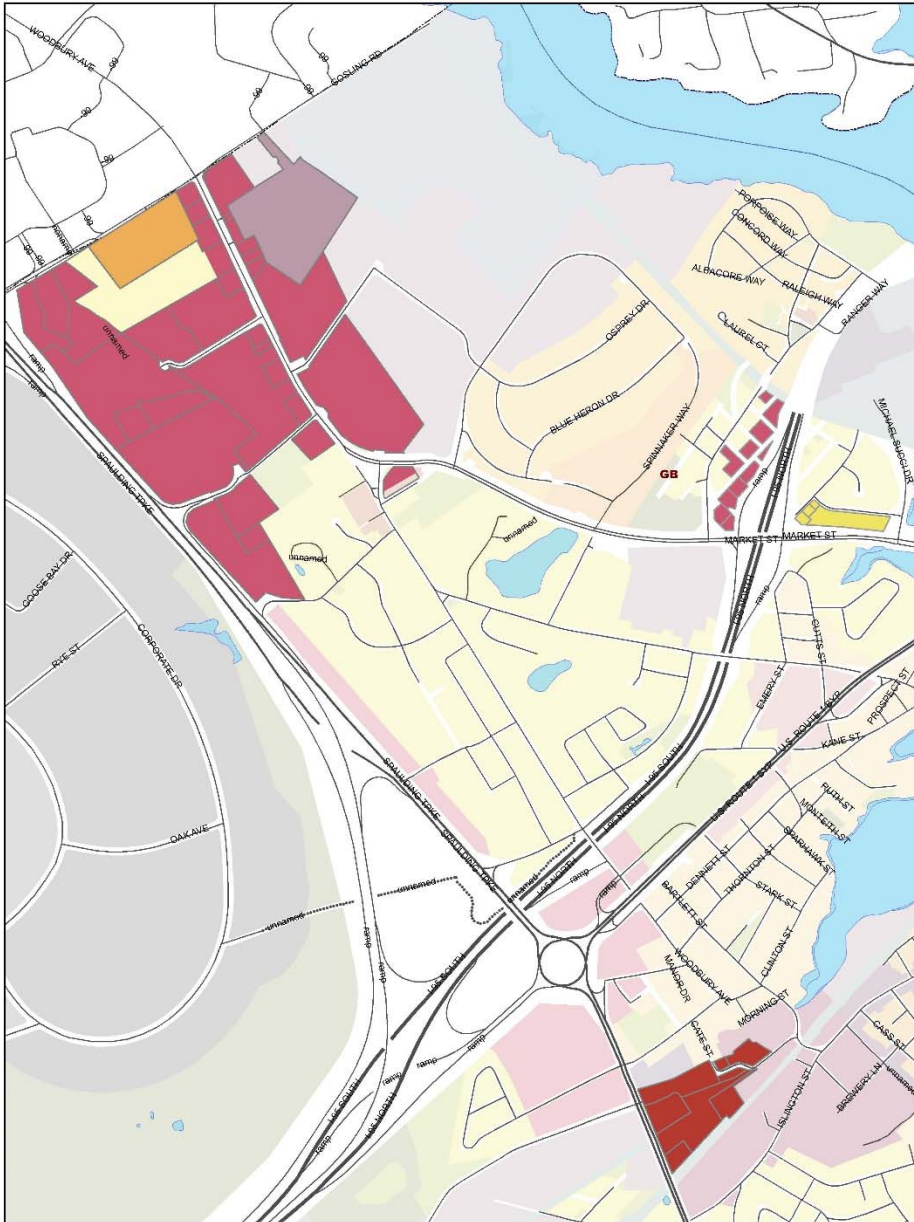


### Gateway Zoning Districts - Proposed Zoning

- Legend**
- Gateway Center
  - Gateway Corridor



Map created by Portsmouth Planning Department August 10, 2017



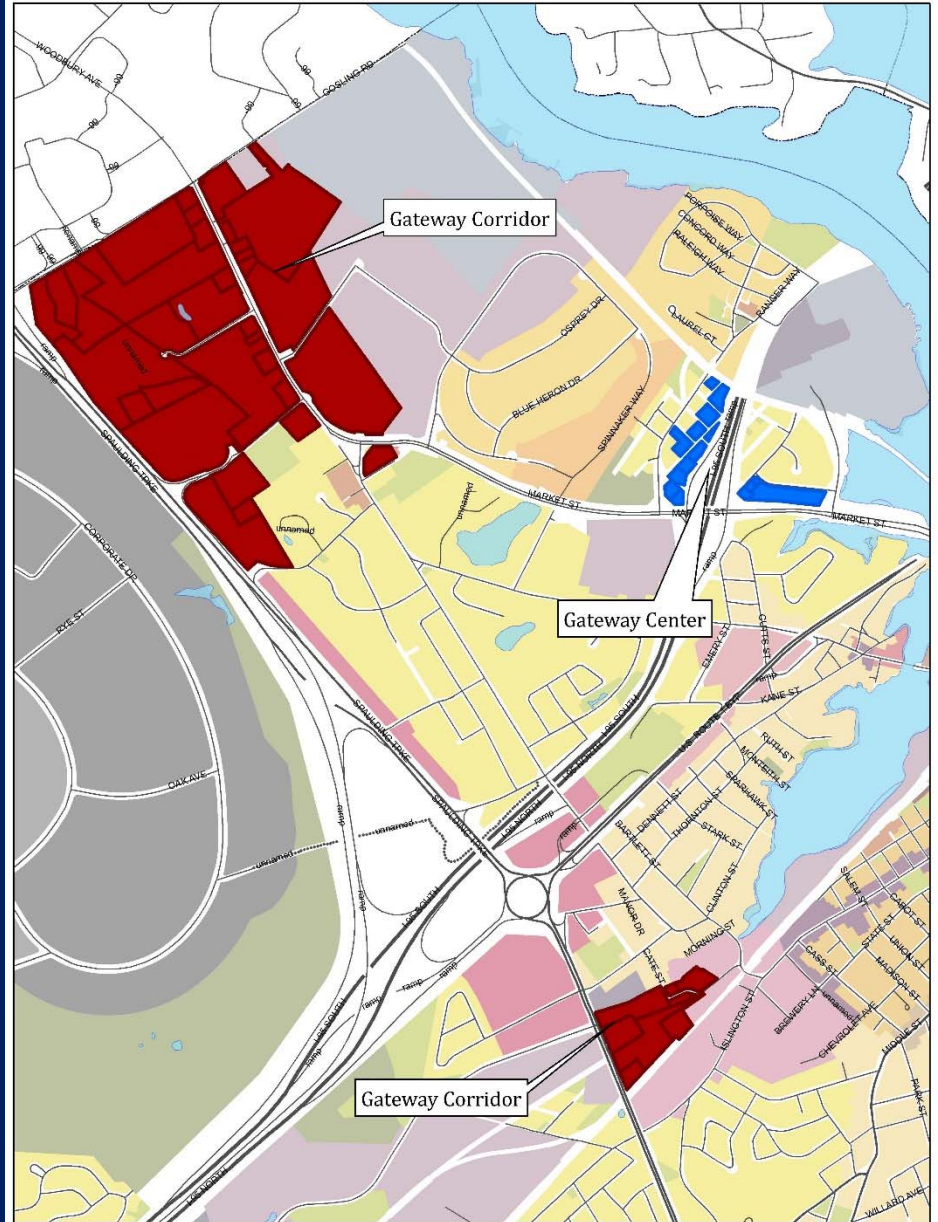
## Gateway Mixed Use Zoning Districts - Existing Zoning

- Legend**
- |                          |                                      |
|--------------------------|--------------------------------------|
| <b>Current Districts</b> | SRB - Single Residence II            |
| GW - Gateway             | GA/MH - Garden Apt./Mobile Home Park |
| GB - General Business    | OR - Office Research                 |
| SRA - Single Residence A | M - Municipal                        |



0 500 1,000 2,000 Feet  
1 inch = 833.3 feet

Map created by Portsmouth Planning Department  
August 10, 2017



## Gateway Zoning Districts - Proposed Zoning

- Legend**
- |                  |
|------------------|
| Gateway Center   |
| Gateway Corridor |



0 500 1,100 2,200 Feet  
1 inch = 916.7 feet

Map created by Portsmouth Planning Department  
August 10, 2017

# PROPOSED GATEWAY MIXED USE ZONING DISTRICTS

Section 10.440

Table of Uses – Residential, Mixed Residential, Business and I

Use	Mixed Use Districts (MU)		Supplemental Regulations
	G1	G2	
<b>1. Residential Uses and Mixed Uses</b>			
1.10 Single family dwelling	P	P	
1.20 Accessory dwelling unit			10.814 (Accessory Dwelling Units)
1.21 Attached	CU	CU	
1.22 Detached	N	N	
1.25 Garden Cottage	N	N	10.815 (Garden Cottages)
1.30 Two-family dwelling	P	P	10.640 (Downtown Overlay district)
1.40 Townhouse	P	P	10.640 (Downtown Overlay district)
1.50 Multifamily dwelling			10.5A32 (Character district permitted uses)
1.51 3 or 4 dwelling units	P	P	10.640 (Downtown Overlay district)
1.52 5 to 8 dwelling units	P	P	
1.53 More than 8 dwelling units	P	P	10.813 (Multifamily Dwellings in the Business District)
1.60 Conversion of a building existing on January 1, 1980, with less than the required minimum lot area per dwelling unit specified in Article 5			10.640 (Downtown Overlay District)
1.61 To 2 dwelling units	N	N	10.812 (Conversion of Existing Dwelling to Multifamily Dwelling)
1.62 To 3 or 4 dwelling units	N	N	
1.63 To 5 to 8 dwelling units	N	N	
1.64 To more than 8 dwelling units	N	N	
1.70 Live/work unit	P	P	
1.80 Manufactured housing park	N	N	10.816 (Manufactured Housing Park Dimensional Standards)
1.90 Planned unit development (PUD)			
1.91 Open space PUD	N	N	10.720 (Planned Unit Developments)
1.92 Residential density incentive PUD	N	N	
1.100 Gateway Development Types			
1.101 Pocket Neighborhood (PN)	CU	CU	
1.102 Homestead Retrofit Development (IRD)	CU	CU	
1.103 General Residential Development (GRD)	CU	CU	
1.104 Mixed Use Development (MUD)	P	P	
1.105 General Commercial Development (GCD)	CU	CU	
<b>2. Institutional Residence or Care Facilities</b>			
2.10 Assisted living facility			
2.11 Assisted living center	CU	N	
2.12 Assisted living home	CU	S	
2.20 Residential care facility			
2.21 5 or fewer residents	S	S	
2.22 More than 5 residents	S	S	
<b>3. Educational, Religious, Charitable, Cultural and Public Uses</b>			
3.10 Place of assembly			
3.11 Religious	S	S	
3.12 Other nonprofit	S	S	
3.20 School			
3.21 Primary or secondary	S	S	
3.30 Post-secondary	S	S	
3.30 Historic preservation building	P	P	10.821 (Historic Preservation Buildings and Museums)
3.40 Museum	S	N	10.821 (Historic Preservation Buildings and Museums)
3.50 Performance facility			
3.51 Indoor performance facility			10.592 (location)
3.511 Occupancy up to 500 persons	S	N	10.860 (hours of operation)
3.512 Occupancy more than 500	N	N	
3.52 Outdoor performance facility			10.592 (location)
3.521 Occupancy up to 500 persons	S	N	10.822 (yards)
3.522 Occupancy more than 500	N	N	10.860 (hours of operation)
3.60 Cemetery	N	N	
3.70 Club, fraternal or service organization	S	S	
3.80 Municipally operated park and related activities	P	P	For other municipal uses see Section 10.460 (Municipal districts)
<b>4. Recreational Uses</b>			
4.10 Religious, sectarian or private non-profit recreational use	S	N	
4.20 Cinema or similar indoor amusement use with no live performance	S	N	10.825 (noise) 10.860 (hours of operation)

- P = permitted
- N = not permitted
- S = special exception
- CU = conditional use permit

*CU criteria in Gateway Districts includes workforce housing requirement*



# DESIGN AND DENSITY STANDARDS

## ARTICLE 5B – GATEWAY MIXED USE DISTRICTS

Sec 10.5B10	General (Purpose, etc.)
Sec 10.5B20	General Standards
Sec 10.5B30	Building Types and Standards
Sec 10.5B40	Development Types and Standards
Sec 10.5B50	Pre-Existing Buildings and Developments
Sec 10.5B60	Building Façade Types
Sec 10.5B70	Density Thresholds and Bonuses
Sec 10.5B80	Parking Requirements and Standards
Sec 10.5B90	Pedestrian Access and Circulation
Sec 10.5B100	Community Space
Sec 10.5B101	Definitions

“encourage development that is consistent with the City’s goals for the **production and diversification of high quality housing and a mix of uses** in Portsmouth’s primary gateway areas. This is accomplished by providing a range of standards that define a place and regulate the physical character of buildings and site developments through placement, form, design, and utilization”

# DESIGN AND DENSITY STANDARDS

## Building Types and Standards

**Cottage**

**Paired House**

**Apartment Building**

**Gateway Townhouse**

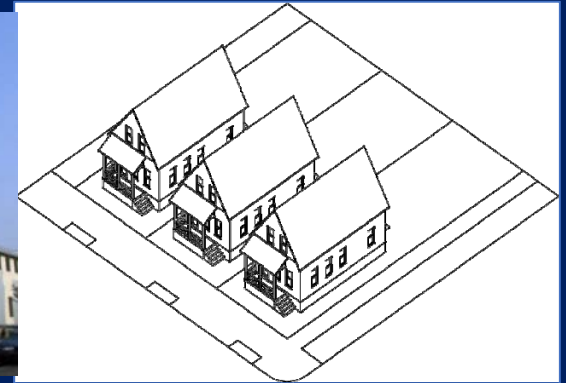
**Live-Work/Shop Building**

**General Commercial Building**

**Mixed-Use Building**

**Small Flex Space/Fabrication Building**

**Community Buildings**



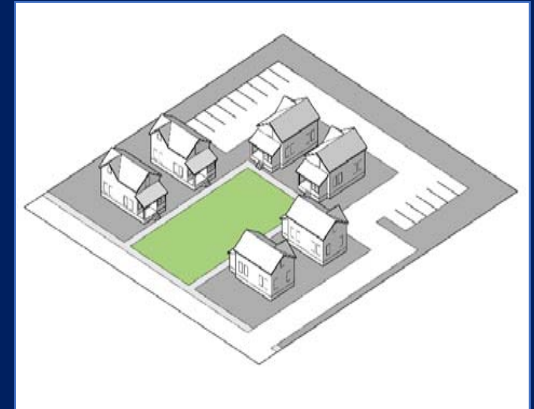
# DESIGN AND DENSITY STANDARDS

## DEVELOPMENT TYPES AND STANDARDS

Development Types	Gateway Corridor Mixed Use (G1)	Gateway Corridor Mixed Use Center (G2)
<b>A. Pocket Neighborhood (PN)</b>	CU	CU
<b>B. Mixed Use Development (MUD)</b>	P	P
<b>C. General Residential Development (GRD)</b>	CU	CU
<b>D. General Commercial Development (GCD)</b>	P	P
<b>E. Retrofit Development (HRD)</b>	CU	CU

*P = Permitted*

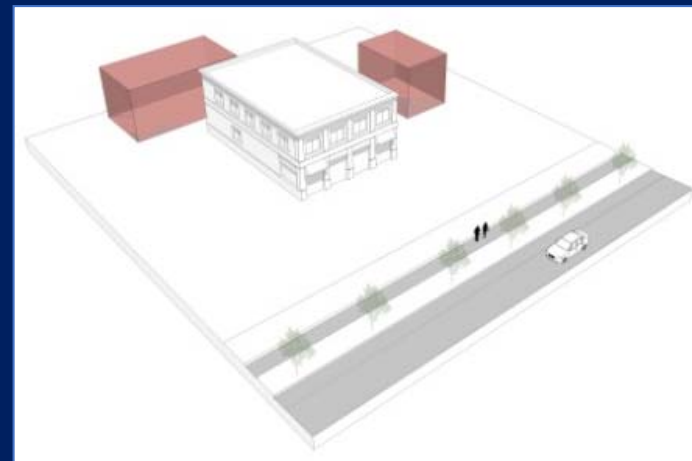
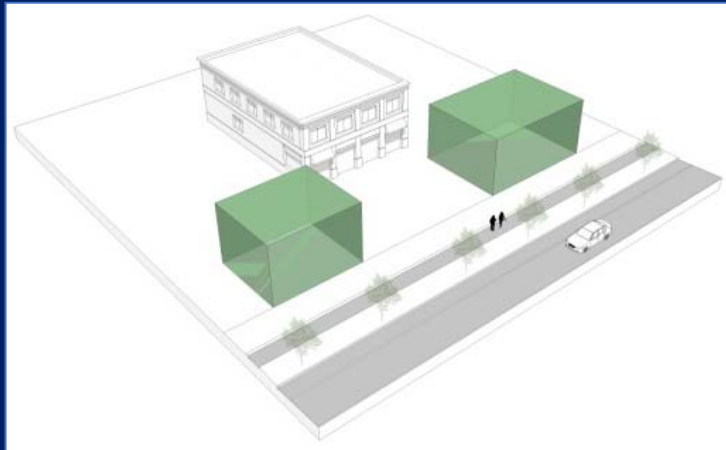
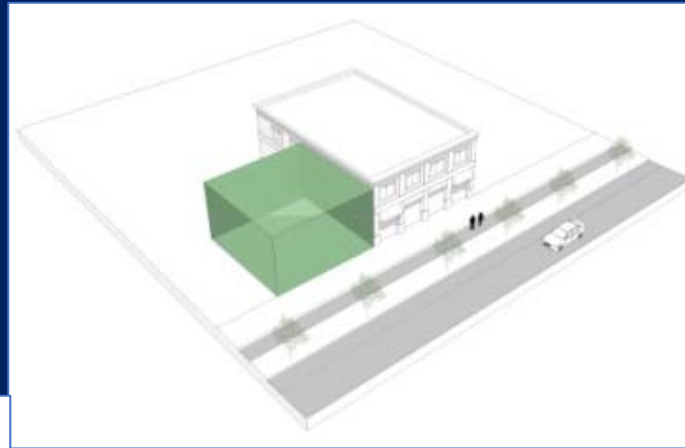
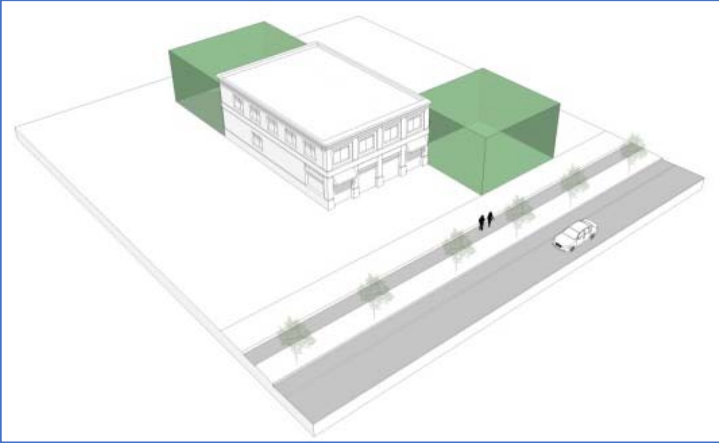
*CU = Conditional Use Permit*



# DESIGN AND DENSITY STANDARDS

## Pre-Existing Buildings and Lots

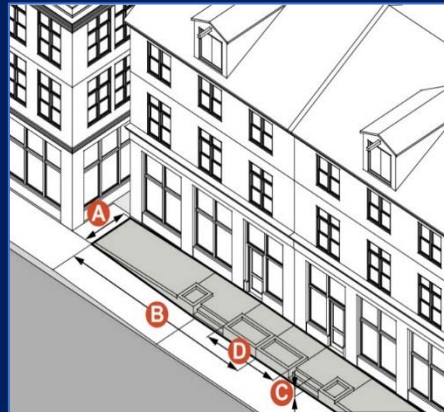
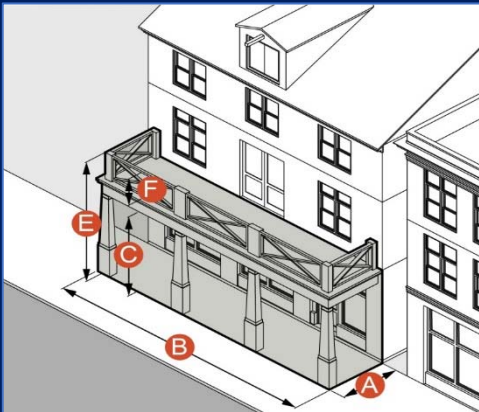
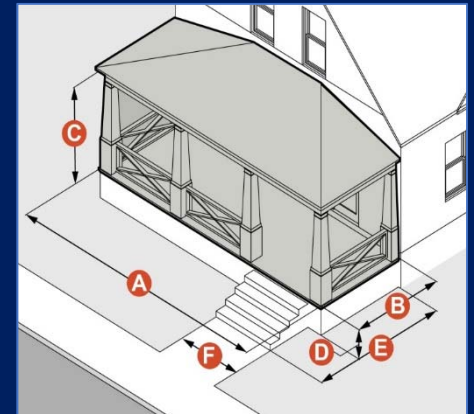
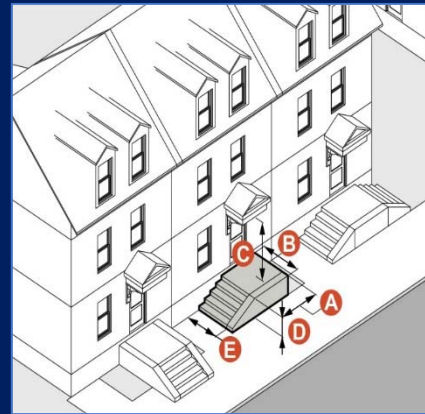
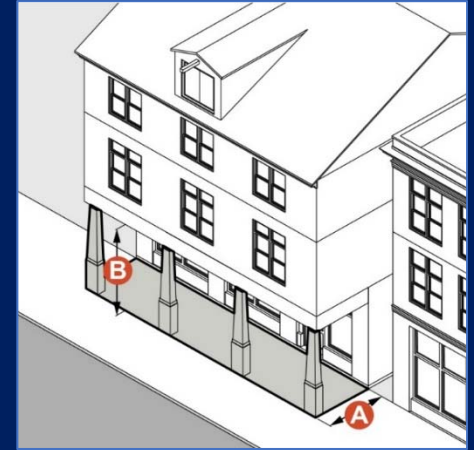
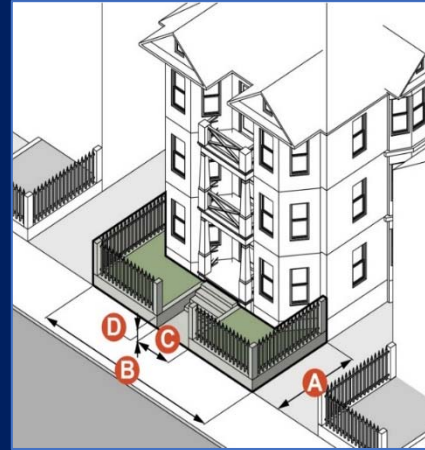
Maintain opportunity for repurposing, expansion, and reinvestment in existing properties



# DESIGN AND DENSITY STANDARDS

## BUILDING FAÇADE TYPES

Dooryard  
Terrace  
Gallery  
Arcade



# DESIGN AND DENSITY STANDARDS

## RESIDENTIAL DENSITY (Dwelling Units per Acre)

Building Type	Gateway Corridor Mixed-Use (G1)		Gateway Corridor Mixed Use Center (G2)	
	P	CU	P	CU
Cottage	NR	NR	NR	NR
Paired House	NR	NR	NR	NR
Apartment Building	16	24	16	24
Rowhouse	16	24	16	24
Live-Work/Shop House	16	24	16	24
Mixed-Use Building	16	24	16	24

# DESIGN AND DENSITY STANDARDS

## RESIDENTIAL DENSITY (Dwelling Units per Acre)

Development Types	Gateway Corridor Mixed-Use (G1)		Gateway Corridor Mixed Use Center (G2)		Gateway Neighborhood Mixed Use Center (G3)	
	P	CU	P	CU	P	CU
Pocket Neighborhood	16	20	12	16	12	16
Mixed Use Development	20	30	20	30	20	30
General Residential Development	20	30	20	30	20	30
Retrofit Development	*	*	*	*	*	*

# DESIGN AND DENSITY STANDARDS

## DENSITY BONUS INCENTIVES

### Incentives

- Dwelling units per building
- Dwelling units per acre
- Height and Building Footprint

### Requirements

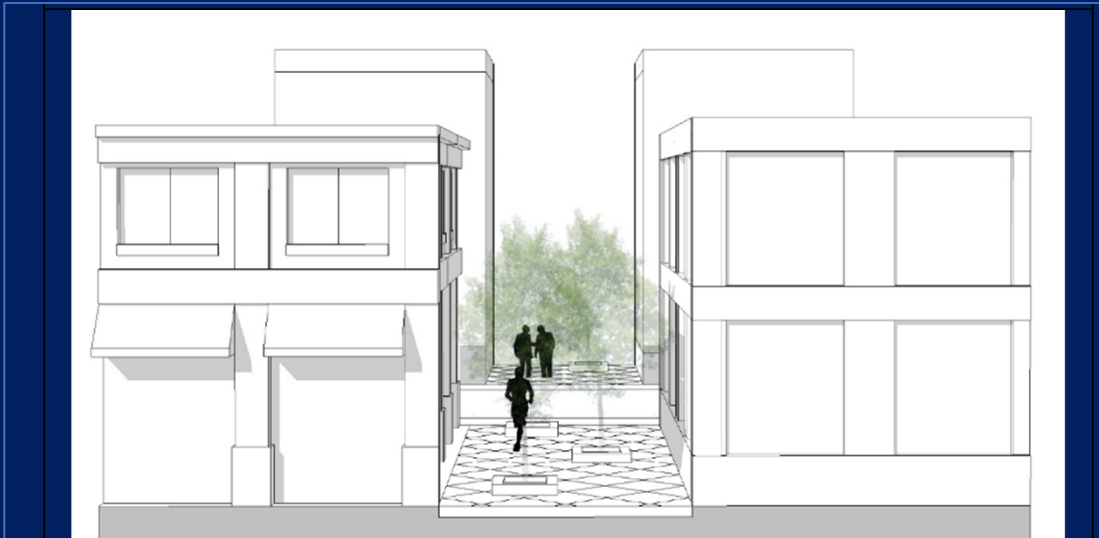
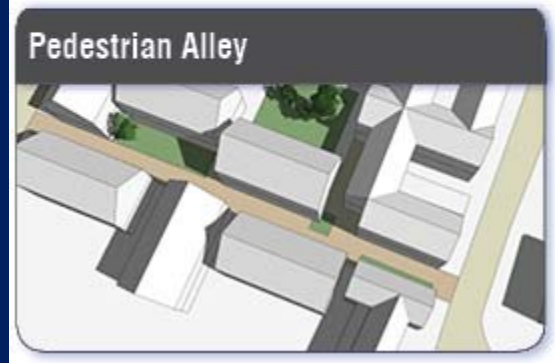
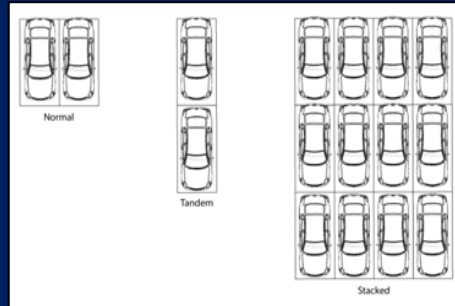
- Public Realm Improvements
- Workforce Housing\*

\*above what is already required



# DESIGN AND DENSITY STANDARDS

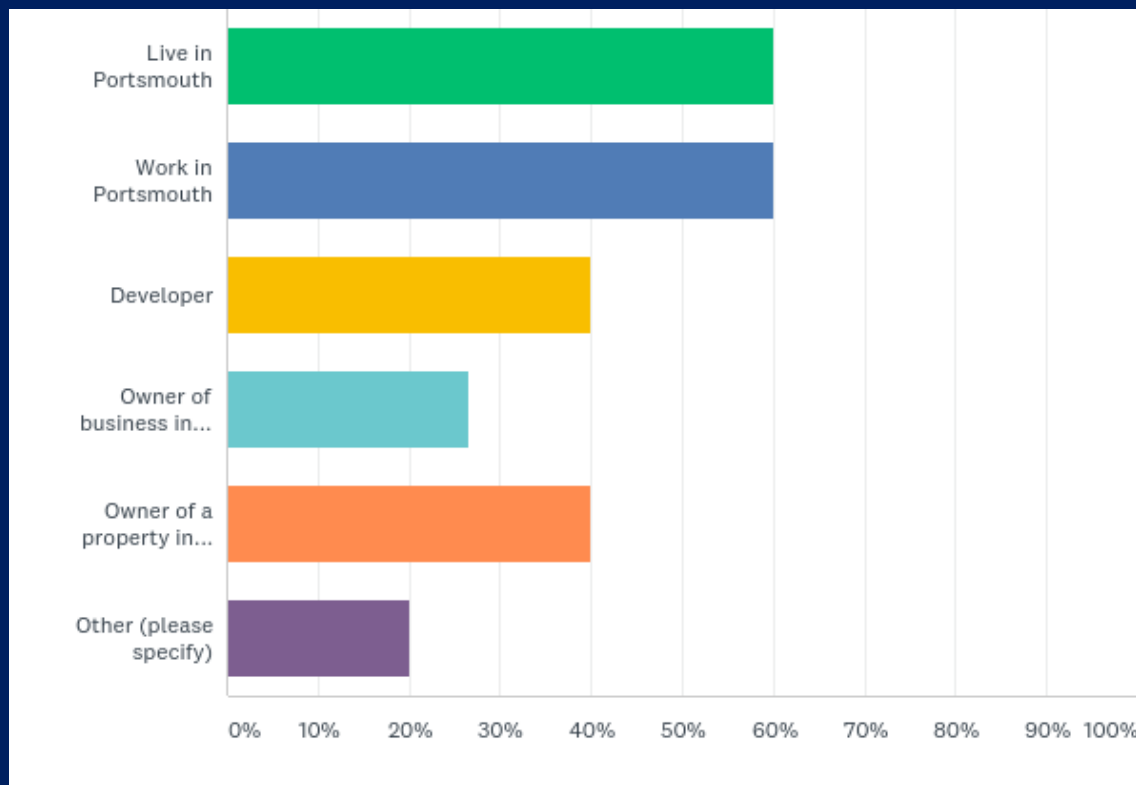
## PARKING, PEDESTRIAN CIRCULATION, COMMUNITY SPACE



## SCHEDULE

- Planning Board Work Session (June 22)
- Planning Board Work Session (July 27)
- Survey (August)
- Planning Board Work Session with Development Scenarios (August 17)
- Planning Board Public Hearing (August 24)
- Planning Board Public Hearing (September 12)
- City Council 1<sup>st</sup> Reading (September)
- City Council 2<sup>nd</sup> Reading and Public Hearing (October)
- City Council 3<sup>rd</sup> Reading (November)

Q1: Are you a developer, property owner, interested resident? Please check all that apply below.

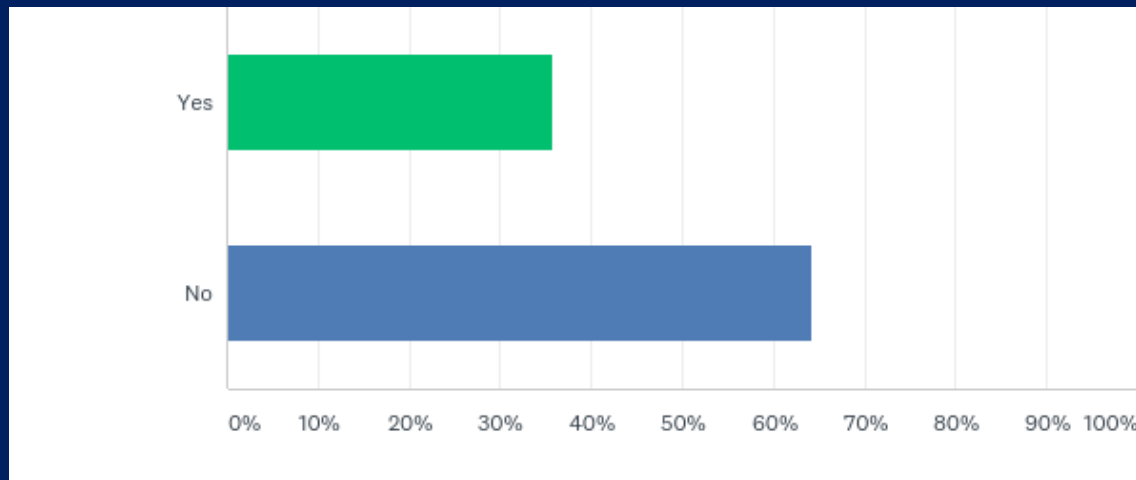


# Q2: If you are a developer, please click all that apply below.

- Answered: 6   Skipped: 9

ANSWER CHOICES	RESPONSES	
I have experience building multi-unit residential projects	83.33%	5
I have experience building mixed-use projects (mix of commercial and residential)	66.67%	4
I have experience building residential projects with all or a portion of affordable units	66.67%	4
I have experience building rental apartments	66.67%	4
I have experience building projects in Portsmouth	66.67%	4
Total Respondents: 6		

Q4: The current zoning proposes a maximum of 24 dwelling units per building. Do you think this is reasonable?



Q5: In order to be allowed higher residential densities (more than 12 or 16 units per acre in some locations and more than 20 in others), the proposed zoning requires that 50% of the units be Workforce Housing units (affordable to a household with no more than 100% of the area median income for ownership units and 60% of area median income for rental units). Do you think this is reasonable?

