

Article 5B Gateway Mixed Use Districts

Section 10.5B10 General

10.5B11 Purpose and Intent

The purpose of Article 5B is to encourage development that is consistent with the City's goals for the production and diversification of high quality housing and a mix of uses in Portsmouth's primary gateway areas. This is accomplished by providing a range of standards that define a place and regulate the physical character of buildings and site developments through placement, form, design, and utilization. These standards aim to provide the minimum level of control necessary to meet the Purpose Statements for the Gateway Corridor (G1), and Gateway Center (G2) Districts in Section 10.410 while providing a range of opportunities appropriate to the context of each Gateway Mixed Use District.

10.5B12 Applicability

10.5B12.10 Article 5B shall apply to the G1 and G2 Gateway Mixed Use Districts as shown on the City of Portsmouth Zoning Map.

10.5B12.11 No development, subdivision, re-subdivision or construction of or on any building, lot or parcel of land shall occur except in compliance with all standards and requirements for these districts.

10.5B13 Relationship to Other Provisions of the Zoning Ordinance

10.5A13.10 The provisions of Article 5B shall take precedence over all other provisions of the Zoning Ordinance that conflict with Article 5B.

10.5A13.20 All provisions of the Zoning Ordinance that are not specifically modified or superseded by Article 5B, or that are not in conflict with Article 5B, shall apply to lots, buildings and uses in the Gateway Mixed Use Districts.

10.5B14 Relationship to Other Regulations, Codes and Ordinances

10.5B14.10 Any proposed subdivision of land shall comply with the Subdivision Rules and Regulations, in addition to the requirements of Article 5B.

10.5B14.20 Any development that requires Site Plan Review under the Site Plan Review Regulations shall comply with such Regulations, in addition to the requirements of Article 5B.

10.5B14.30 The provisions of Article 5B do not modify or supersede any provision of the Building Code, other City ordinances or regulations, or State laws relating to the development of land.

10.5B15 Figures and Tables

- 10.5B15.10 The standards and definitions included in the figures and tables in this Article are an integral part of Article 5B.
- 10.5B15.20 The diagrams, photographs and illustrations contained in the figures in this Article are provided only to provide reference to certain regulating elements and indicate general character within the various districts and shall have regulatory force and effect only to that extent.

10.5B16 Allowed Uses

Buildings, structures, and land within the Gateway Mixed Use Districts shall comply with the use regulations set forth in Section 10.440, Table of Uses. The Planning Board shall be the Conditional Use Permit Granting Authority for all uses requiring a Conditional Use Permit in the Gateway Districts.

10.5B17 Definitions

Terms used throughout Article 5B may be defined in the figures, Section 10.5B101, Section 10.5A60, Article 15 or elsewhere in the Zoning Ordinance. Terms not so defined shall be accorded their commonly accepted meanings. In the event of any conflict between the definitions in Article 5B, Article 5A, Article 15, other sections of the Zoning Ordinance, or any other local land use ordinances, rules or regulations, those of Article 5B shall take precedence unless the context clearly indicates otherwise.

10.5B18 Projects Requiring Conditional Use Permit

- 10.5B18.10 Conditional Use Permit Criteria: Prior to granting a conditional use permit for Development Types in the Gateway Mixed Use Districts according to the requirements of this Article, the Planning Board shall make the following findings.
 - 1) The development project is consistent with the Portsmouth Master Plan.
 - 2) The development project has been designed to allow uses that are appropriate for its context and consistent with City's planning goals and objectives for the area.
 - 3) The project has includes feasible measures to mitigate or eliminate anticipated impacts on traffic safety and circulation, demand on municipal services, stormwater runoff, and protection of natural resources.
 - 4) The project is consistent with the purpose and intent set forth in Section 10.5B11.
- 10.5B18.20 Workforce Housing Requirement: For any projects requiring a conditional use permit according to the requirements of this Article that include a residential use, one or more of the following criteria shall be met:

Commented [JTW1]: New Section added since 8/17 draft. Consider adding additional requirements for stormwater management and energy efficiency.

- 1) At least 30% of the dwelling units within a building, but no less than three units, shall be **workforce housing units for sale**. Such units shall be at least the average gross floor area of the proposed units in the building or 1,000 sq. ft., whichever is greater. The workforce housing units shall be distributed throughout the building wherever dwelling units are located; or
- 2) At least 10% of the dwelling units within a building, or at least two units, shall be workforce housing units for rent (affordable to a household with an income of no more than 60 percent of the area median income for a 3-person household). Such units shall be at least the average gross floor area of the proposed units in the building or 800 sq. ft., whichever is greater. The workforce housing units shall be distributed throughout the building wherever dwelling units are located.

Commented [JTW2]: As defined by this ordinance and state law.

Section 10.5B20 General Standards for All Buildings and Development

10.5B21 Yard Encroachments

In addition to the exceptions specified in Section 10.515 and 10.516, determination of yards shall not include:

- 10.5B21.20 Chimneys and flues may encroach up to four (4) feet, provided that at least two (2) feet is maintained from the vertical plane of any lot line.
- 10.5B21.30 Unenclosed fire escapes or emergency egress stairways may encroach up to four (4) feet into a required side or rear yard, provided that at least two (2) feet is maintained from the vertical plane of any lot line.
- 10.5B21.40 Certain Building Façade Types as permitted in 10.5B60.

10.5B22 Building Height and Stepback

- 10.5B22.10 **Building Height Exceptions:** Roof decks, roof gardens, and related structures shall not be counted in the building height limits. All other building height exceptions shall comply with Section 10.517.
- 10.5B22.20 **Building Stepback and Street Enclosure:** Buildings of five (5) stories or 45 feet less shall be required to setback the building from the street line to the maximum yard; or setback the building from the fifth floor and above a distance that equals the height of the floor. The purpose of this requirement is to enhance the pedestrian environment and prevent a canyon effect and shadowing on narrower streets in the district.

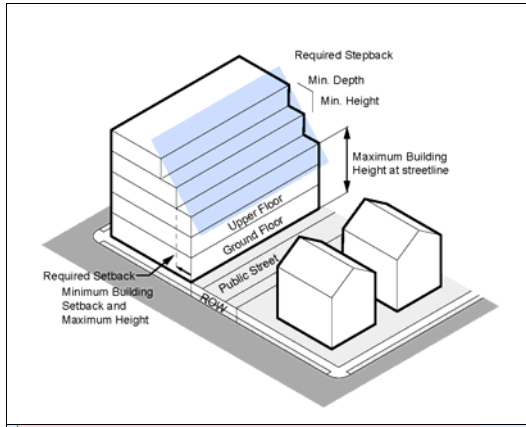


Figure 10.5B22.10 - Building Stepback Standards

Commented [JTW3]: Diagram will be updated.

10.5B23 Façade Composition Standards

10.5B23.10 **Facade Glazing:** For Building Types with specific Façade Glazing requirements as defined in Section 10.5B34, the following general standards shall apply:

Commented [JTW4]: These are general requirements, additional standards are incorporated into Building Types. Could also be incorporated into 5A, which also has façade requirements.

- (a) Facades shall have windows and doors with highly transparent, low reflectivity glass for a percentage of the total area of a facade, measured for each story independently.
- (b) Facade glazing of a ground story facade is measured between two (2) feet and twelve (12) feet above the abutting sidewalk.
- (c) Facade glazing of an upper story facade is measured from the top of a finished floor to the top of the finished floor above.
- (d) Facade glazing requirements are only applicable to facades facing a front street line.

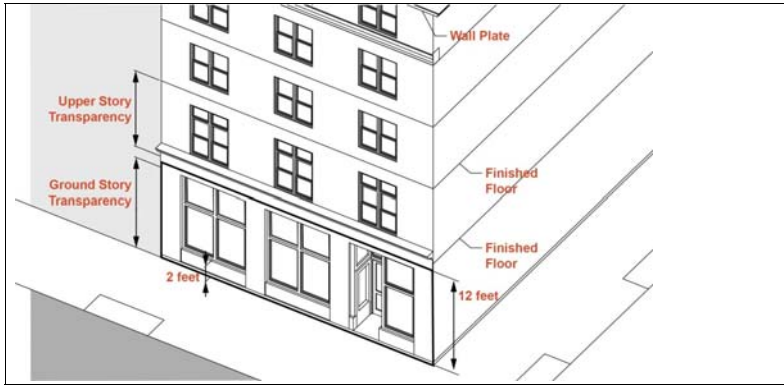


Figure 10.5B23.10 - Ground Floor and Upper Floor Façade Glazing

10.5B23.20 Facade Modulation

- (a) Building facades shall be vertically articulated with architectural bays between six (6) feet and fifty (50) feet in width to create an equal, central, and/or ends focused composition as illustrated in Figure 10.5B23.30.

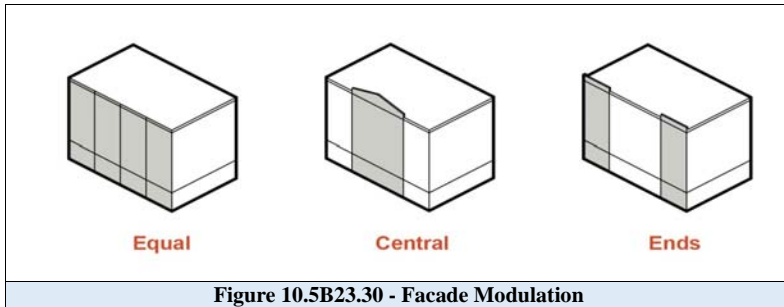


Figure 10.5B23.30 - Facade Modulation

- (b) Buildings greater than one hundred (100) feet in width shall be designed to read as a series of smaller buildings with varied architectural design and facade glazing patterns or include a change in vertical plane of the facade of at least four (4) feet (in depth or projection) for at least one (1) bay in width for every one hundred (100) feet of total facade width. This change in plane applies to the entire height of the façade.

10.5B23.30 Horizontal Articulation and Massing Elements: Building facades shall be horizontally articulated with a clearly defined base, middle, and top.

Commented [JTW5]: Consider adding this to Article 5A (Character Districts) or having a common reference for both sections.

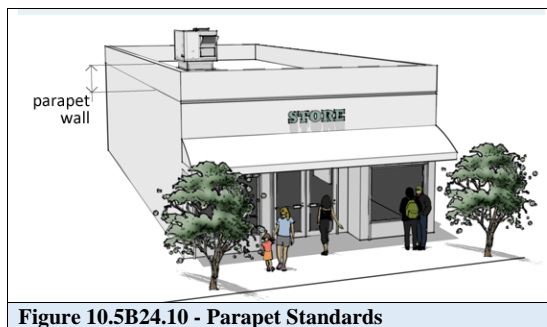
10.5B23.40 Pedestrian Access: Where pedestrian access is required for specific Building Types, entrances shall be located on the street-facing facade of a building, provide both ingress and egress, and be operable and accessible.

10.5B24 Roof Types and Design

10.5B24.10 **Roof Shapes and Rooflines:** The shape and proportion of the roof shall be visually compatible with the architectural style of the building and with those of neighboring buildings. Pitched Roofs shall have a minimum slope as follows:

- (a) Shed: 2:12 minimum
- (b) Hip: 3:12 minimum
- (c) Gable: 6:12 minimum to 12:12 maximum.
- (d) Gambrel: 6:12 minimum to 30:12 maximum.

10.5B24.20 **Flat Roofs:** Buildings with Flat Roofs shall be capped by an articulated parapet design that acts as a structural expression of the building façade and its materials, visible from all sides of the building.



10.5B25 Number of Dwelling Units

Unless otherwise specified in Section 10.5B34, no more than 24 dwelling units per building shall be allowed without a conditional use permit from the Planning Board as provided in Section 10.5B72.

Commented [JTW6]: See comments submitted via survey and in advance of developer work session.

Section 10.5B30 Building Types and Standards

10.5B31 General

10.5B31.10 All new buildings in the Gateway Mixed Use Districts shall be Building Types specified in this Section.

10.5B31.20 Any new development or redevelopment of a lot or tract that includes construction of more than one principal building or building types shall conform to one of the permitted Development Types for that zoning district as described in Section 10.5B40.

Commented [JTW7]: This needs to be better defined to distinguish between what qualifies as reconstruction of pre-existing buildings and lots per 10.5B50 and therefore exempt from certain requirements.

10.5B31.30

Commented [JTW8]: Add new section explaining how building type and development type standards relate to each other, in cases where there is conflict, indicate which one takes precedence.

10.5B32 Building Lots

10.5B32.10 **Lot Dimensions:** Building lot requirements designate the range of lot sizes that a given building type as identified in this Section can be built on. If a lot is smaller than the minimum required for a certain building type, a different building type must be selected.

10.5B32.20 **Number of Buildings:** No more than one principal building type is allowed on a lot except where otherwise specified in Section 10.5B40.

10.5B32.30 Lots with both frontage on and driveway access from Lafayette Road, Woodbury Ave, or Market Street must have a minimum of 100 feet of street frontage.

10.5B33 Building Placement and Orientation

10.5B33.10 **Building Placement:** All buildings and structures must be located at or behind any required minimum front, side, or rear yard except as indicated in Section 10.5B21. The facade of a principal building must be built at or in front of any required maximum front yard for each story of a building.

10.5B33.20 **Front Lot Line Build Out:** All buildings must have a front lot line build out of at least 50% unless otherwise specified in Section 10.5B34.

10.5B33.30 **Facade Orientation:** The primary facade of a principal building must be built parallel to a front lot line or to the tangent of a curved front lot line. On a corner lot, the façade may be retracted at a 45-degree angle between the curb radius to allow for community space and for safe site distance at the corner. All other requirements pertaining to corner visibility in Section 10.516.30 shall apply.

10.5B34 Building Type Standards

Commented [JTW9]: Updated tables and standards.

10.5B34.10 Cottage



A small detached single family dwelling with narrow massing.

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	30 ft.
D. Front Yard (Min./Max.)	5 ft./20 ft.
E. Front Lot Line Buildout (Min.)	80%
F. Side Yard (Min.)	5 ft.
G. Rear Yard (Min.)	10 ft.
H. Open Space Coverage (Min.)	20%
I. Parking Setback (Min.)	To rear of building

1.3 DESIGN STANDARDS

A. Building Height (Max.)	1.5 Stories/ 20 ft.
B. Street Facing Façade Height (Min.)	10 ft.
C. Ground Story Height (Min.)	NR
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	36"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	1,000 SF
G. Façade Modulation Length (Max.)	18 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	20% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	Gable, Hip, Dooryard,
L. Façade Types	Stoop, Step, Porch

Commented [JTW10]: Move this standard to the Development Types section.

Commented [JTW11]: Planning Department is reviewing and will be recommending building coverage requirements for each building type and/or development type.

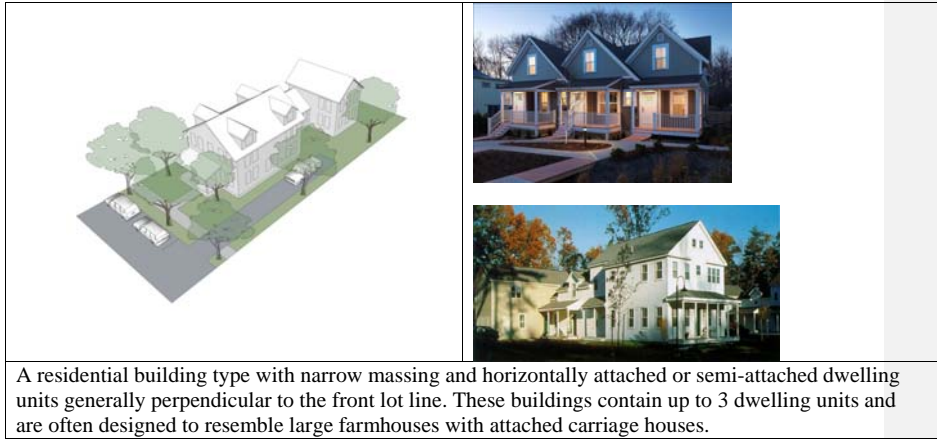
1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Maximum)	1
B. Dwelling Units Size (Max.)	1,400 GFA; 2 Bedrooms
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.4 ADDITIONAL STANDARDS

A. Only allowed in a Pocket Neighborhood Development	
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10.5B34.20 Paired House



A residential building type with narrow massing and horizontally attached or semi-attached dwelling units generally perpendicular to the front lot line. These buildings contain up to 3 dwelling units and are often designed to resemble large farmhouses with attached carriage houses.

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Yard (Min./Max.)	10 ft./30 ft.
E. Front Lot Line Buildout (Min.)	60%
F. Side Yard (Min.)	10 ft.
G. Rear Yard (Min.)	20 ft.
H. Open Space Coverage (Min.)	20%
I. Parking Setback (Min.)	30 ft.

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	3
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Max.)	2.5 Stories/ 35 ft.
B. Street Facing Façade Height (Min.)	12 ft.
C. Ground Story Height (Min.)	9 ft.
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	36"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	NR
G. Façade Modulation Length (Max.)	18 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	20% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	Gable, Hip, Gambrel
L. Façade Types	Dooryard, Stoop, Step, Porch

1.4 ADDITIONAL STANDARDS

A. Only allowed in a Pocket Neighborhood Development	
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10.5B34.30 Townhouse



A small footprint attached single family residential building type with narrow massing. Each unit is separated horizontally by a common wall or pedestrian passage.

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	50 ft.
C. Street Frontage (Min.)	20 ft.
D. Front Yard (Min./Max.)	5 ft./15 ft.
E. Front Lot Line Buildout (Min.)	80%
F. Side Yard (Min.)	NR.
G. Rear Yard (Min.)	15 ft.
H. Open Space Coverage (Min.)	20%
I. Parking Setback (Min.)	To rear of building; No parking allowed between units.

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	1
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

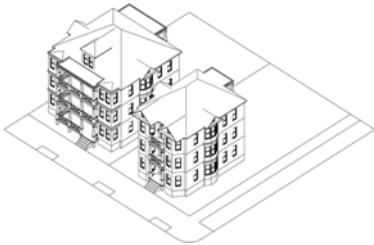

1.3 DESIGN STANDARDS

A. Building Height (Max.)	2.5 Stories/ 35 ft.
B. Street Facing Façade Height (Min.)	12 ft.
C. Ground Story Height (Min.)	9
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	36"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	NR
G. Façade Modulation Length (Max.)	Required Every 4th Unit; See Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	20% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	All
L. Façade Types	Door Yard, Stoop, Recessed Entry, Step, Porch

1.4 ADDITIONAL STANDARDS

A. A maximum of 8 units can be attached by a common wall before a space of 20 feet or more is provided for access or community space.

10.5B34.40 Apartment Building

	
<p>A large footprint residential building with four (4) or more dwelling units vertically and horizontally integrated and accessed by common entrances and hallways.</p>	

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Yard (Min./Max.)	10 ft./30 ft.
E. Front Lot Line Buildout (Min.)	70%
F. Side Yard (Min.)	15 ft.
G. Rear Yard (Min.)	20 ft.
H. Open Space Coverage (Min.)	20%
I. Parking Setback (Min.)	30 ft.

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Min./Max.)	4 DU/24 DU
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Min./Max.)	2 Stories and 24 ft./4 Stories and 40 ft.
B. Street Facing Façade Height (Min.)	24 ft.
C. Ground Story Height (Min.)	9
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	36"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	NR
G. Façade Modulation Length (Max.)	50 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	20% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	All
L. Façade Types	Forecourt, Recessed Entry, Dooryard, Step, Porch

1010.5B34.50 Live/Work Building

	
<p>A small footprint attached residential building type with one (1) dwelling unit and one (1) ground floor commercial unit.</p>	

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	20 ft.
D. Front Yard (Min./Max.)	0 ft./15 ft.
E. Front Lot Line Buildout (Min.)	80%
F. Side Yard (Min.)	0 ft.
G. Rear Yard (Min.)	20 ft.
H. Open Space Coverage (Min.)	15%
I. Parking Setback (Min.)	To rear of building

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	1
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Max.)	2.5 Stories/ 35 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Ground Story Height (Min.)	10 ft.
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Min./Max.)	0"/24"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	NR
G. Façade Modulation Length (Max.)	18 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	50% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	All
L. Façade Types	Door Yard, Recessed Entry, Porch, Shopfront, Terrace

10.5B34.60 General Commercial Building






A variable footprint building type that typically accommodates a variety of ground floor commercial uses and upper office uses at the scale that compliments surrounding neighborhoods. When combined with residential building types, ground floor uses shall be publicly-oriented.

1.1 LOT STANDARDS

A. Lot Area (Min.)	5,000 SF
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Yard (Min./Max.)	0 ft./20 ft.
E. Front Lot Line Buildout (Min.)	70%
F. Side Yard (Min.)	0/10 ft.
G. Rear Yard (Min.)	15 ft.
H. Open Space Coverage (Min.)	10%
I. Parking Setback (Min.)	20 ft.

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	NR
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	



1.3 DESIGN STANDARDS

A. Building Height (Max.)	3 Stories/ 40 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Ground Story Height (Min.)	12 ft.
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	24"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	20,000 SF
G. Façade Modulation Length (Max.)	100 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	50% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	All
L. Façade Types	Forecourt, Recessed Entry, Porch, Officefront, Shopfront, Terrace, Gallery, Arcade

1.4 ADDITIONAL STANDARDS

A. Side Setback is not required when there is a common wall; a minimum 10-foot side setback is required when there is not a common wall to accommodate pedestrian and/vehicle access to the side and rear of the property.

10.5B34.70 Mixed Use Building

	
<p>A variable footprint building type that typically accommodates a variety of ground floor commercial uses and upper residential and office uses at the scale that compliments the historic character of the neighborhood. When combined with residential building types, ground floor uses shall be publicly-oriented.</p>	

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Yard (Min./Max.)	0 ft./20 ft.
E. Front Lot Line Buildout (Min.)	70%
F. Side Yard (Min./Max.)	0 ft/15 ft.
G. Rear Yard (Min.)	20 ft.
H. Open Space Coverage (Min.)	20%
I. Parking Setback (Min.)	To rear of building

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	24
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Min./Max.)	2 Stories and 22 ft./4 Stories and 40 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Ground Story Height (Min.)	12 ft.
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	24"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	20,000 SF
G. Façade Modulation Length (Max.)	100 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	50% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	All
L. Façade Types	Forecourt, Recessed Entry, Porch, Officefront, Shopfront, Terrace, Gallery, Arcade

1.4 ADDITIONAL STANDARDS

A. Side Setback is not required when there is a common wall; a minimum 10-foot side setback is required when there is not a common wall to accommodate pedestrian and/vehicle access to the side and rear of the property

10.5B34.80 Small Flex Space/Fabrication Building



A building located and designed to accommodate a small footprint for fabrication and light industrial uses. Flex buildings are also used to provide affordable space to small and creative business enterprises. These buildings may be combined with residential uses in Retrofit Developments.

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Yard (Min./Max.)	0 ft./30 ft.
E. Front Lot Line Buildout (Min.)	50%
F. Side Yard (Min./Max.)	0 ft if common wall; 20 ft.no common wall
G. Rear Yard (Min.)	20 ft.
H. Open Space Coverage (Min.)	10%
I. Parking Setback (Min.)	30 ft.

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	NR
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Min./Max.)	2 Stories/40 ft.
B. Street Facing Façade Height (Min.)	12 ft.
C. Ground Story Height (Min.)	9 ft.
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Max.)	24"
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	20,000 SF
G. Façade Modulation Length (Max.)	100 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	20% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	All
L. Façade Types	Door Yard, Recessed Entry, Officefront, Shopfront, Terrace

10.5B34.90 Community Building



A building located and designed to accommodate public or civic uses such as a neighborhood center and similar public gathering facilities and spaces. Community Buildings may be privately owned and operated as an accessory building and amenity for a Pocket Neighborhood, Residential Development, Mixed Use Development, or Homestead Retrofit Development.

1.1 LOT STANDARDS

A. Lot Area (Min.)	NR
B. Lot Depth (Min.)	NR
C. Street Frontage (Min.)	50 ft.
D. Front Yard (Min./Max.)	10 ft./40 ft.
E. Front Lot Line Buildout (Min.)	70%
F. Side Yard (Min.)	15 ft.
G. Rear Yard (Min.)	20 ft.
H. Open Space Coverage (Min.)	20%
I. Parking Setback (Min.)	To rear of building

1.2 BUILDING AND LOT USE

A. Dwelling Units Per Building (Max.)	NR
B. Dwelling Units Size (Max.)	NR
C. See Section 10.5B32.30 for street frontage requirements for lots fronting on Lafayette Road, Woodbury Avenue and Market Street.	

1.3 DESIGN STANDARDS

A. Building Height (Max.)	3 Stories/45 ft.
B. Street Facing Façade Height (Min.)	18 ft.
C. Ground Story Height (Min.)	12 ft.
D. Finished Floor Surface of Ground Floor Above Sidewalk Grade (Min./Max.)	2 ft/6 ft.
E. Building Coverage (Max.)	NR
F. Building Footprint (Max.)	NR
G. Façade Modulation Length (Max.)	100 ft. (see Section 10.5A43.20)
H. Street Facing Façade Glazing (Min.)	30% Ground Floors. 20% Upper Floors
I. Street Facing Entrance	Required
J. Street Facing Entrance Spacing (Max.)	NR
K. Roof Type	All
L. Façade Types	Door Yard, Forecourt, Stoop, Recessed Entry, Step, Porch, Terrace, Gallery, Arcade

Section 10.5B40 Development Types and Standards

10.5B41 General

Development Types include a combination of permitted Building Types that are assembled on a lot or tract for the purpose of a single development.

10.5B42 Allowed Development Types by District

Commented [JTW12]: Consider allowing more, or less, development types by right (P) or by CUP.

Development Types	Gateway Corridor Mixed Use (G1)	Gateway Corridor Mixed Use Center (G2)	Gateway Neighborhood Mixed Use Center (G3)
A. Pocket Neighborhood (PN)	CU	CU	CU
B. Mixed Use Development (MUD)	P	P	P
C. General Residential Development (GRD)	CU	CU	CU
D. General Commercial Development (GCD)	CU	CU	CU
E. Retrofit Development (HRD)	CU	CU	CU

P = Permitted
CU = Conditional Use Permit

10.5B43 Development Type Standards

Commented [JTW13]: Updated tables and standards.

10.5B43.10 Mixed Use Development



A development project containing multiple residential, nonresidential, and mixed-use building types. Mixed Use Developments may include a combination of horizontally and vertically mixed buildings and uses on site subject to all applicable Building Type standards in Section 10.5B30.

Commented [JTW14]: This needs to be more specific about the # of types and/or the minimum res/non. res. uses.

1.1 DEVELOPMENT STANDARDS

A. Tract Area (Minimum)	20,000 S.F.
B. Tract Street Frontage (Minimum)	100 ft.
B. Tract Front Yard (Min./Max.)	Determined by Building Type.
C. Tract Side Yard (Minimum)	15 ft.
D. Tract Rear Yard (Minimum)	15 ft.
E. Space Between Buildings (Minimum)	15 ft.
F. Community Space Coverage (Minimum)	15% of the Tract
G. Community Space Types	All

1.3 ADDITIONAL STANDARDS

A. Floor Area Ratio of All Buildings on Site (Max.)	1.0
B. Individual Building Footprint (Max.)	20,000 S.F.
C. Block Length (Maximum)	400 ft.
D. Mixed Use Development tracts adjoining and oriented to Lafayette Road must have a minimum of 100 feet of Street Frontage and must meet the Front Yard requirements of Section 10.533.	

Commented [JTW15]: What about properties with multiple building types (also have a front yard requirement), need to clarify which one takes precedence or if all apply depending on location.

1.2 PERMITTED BUILDING TYPES

A. Apartment Building, Rowhouse, Live-Work/Shophouse, General Commercial Building, Mixed-Use Building, Small Flex Space/Fabrication Building, Community Buildings

10.5B43.20 Pocket Neighborhood Development

A Pocket Neighborhood is a cohesive cluster of homes gathered around a variety of common open space amenities. In the Gateway Mixed Use Districts, the following Pocket Neighborhood Development Types are permitted:

- (a) **Cottage Court:** This Pocket Neighborhood Development Type consists of multiple small, detached single family homes, arranged around a courtyard. The shared courtyard takes the place of private yard space and becomes an important community-enhancing element of this Development Type. The Cottage Court is appropriately scaled to fit within or nearby medium-density neighborhoods. The Pocket Neighborhood Development Type enables appropriately scaled, well-designed, higher density developments important for providing a broad choice of housing types in a walkable environment. Cottage Courts consist of Cottages, Paired Houses, and Community Building Types meeting the design standards in Table 10.5B34 and the density thresholds in Section 10.5B70.
- (b) **Cohousing/Housing Cooperative:** Cohousing is a community of private homes clustered around shared building and community spaces. Each attached or single family home has traditional amenities, including a private kitchen. Shared spaces typically feature a common house, which may include a large kitchen and dining area, laundry, and recreational spaces. Other shared spaces include community garden plots, recreational fields, and shared work spaces. Cohousing Developments consists of Cottages, Paired Houses, and Community Building Types meeting the design standards in Table 10.5B33 and the density thresholds in Section 10.5B70.

1.1 DEVELOPMENT STANDARDS

A. Tract Area (Minimum)	20,000 S.F.
B. Tract Street Frontage (Minimum)	80 ft.
C. Tract Front Yard (Min./Max.)	20 ft.
D. Tract Side Yard (Minimum)	15 ft.
E. Tract Rear Yard (Minimum)	15 ft.
F. Space Between Buildings (Minimum)	15 ft.
G. Community Space Coverage (Minimum)	20% of the Tract
H. Community Space Types	Courtyard, Park, Pocket Park, Playground, Recreation Field

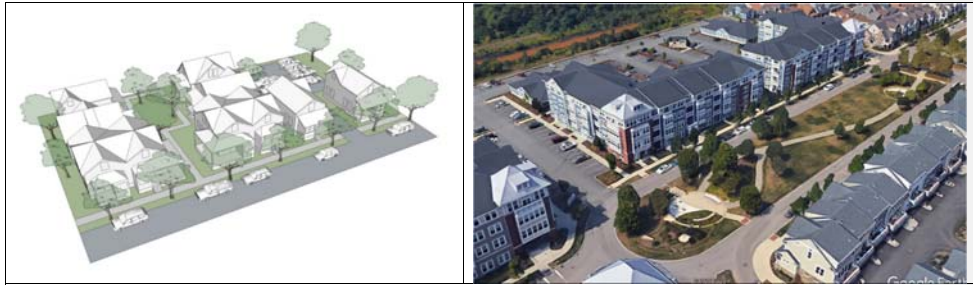
1.2 PERMITTED BUILDING TYPES

A. Cottages, Paired Houses, Community Buildings

1.3 ADDITIONAL STANDARDS

A. Maximum Cottage Unit Size	1,400 GFA and 2 bedrooms
B. Maximum Cohousing Unit Size	1,800 GFA and 3 bedrooms
C. Courtyard Design (Minimum)	3,000 GFA 40 ft. Width
D. Courtyard Area Per DU (Minimum)	600 SF
E. Buildings shall be centered on a common courtyard in groups of 16 or less	
F. Cottage Courts and Cohousing Developments may include a community garden, common house, co-work space, and other common access site amenities.	
G. Pocket Neighborhood Development tracts adjoining and oriented to Lafayette Road must have a minimum of 100 feet of Street Frontage and must meet the Front Yard requirements of Section 10.533.	

10.5B43.30 General Residential Development



A development project containing one or more residential building types in accordance with allowed Building Types and design standards in Section 10.5B34.

1.1 DEVELOPMENT STANDARDS

A. Tract Area (Minimum)	20,000 S.F.
B. Tract Street Frontage (Minimum)	80 ft.
C. Tract Front Yard (Min./Max.)	Determined by Building Type.
D. Tract Side Yard (Minimum)	15 ft.
E. Tract Rear Yard (Minimum)	15 ft.
F. Space Between Buildings (Minimum)	15 ft.
G. Community Space Coverage (Minimum)	20% of the Tract
H. Community Space Types	Greenway, Park, Pocket Park, Playground, Recreation Field, Square, Plaza

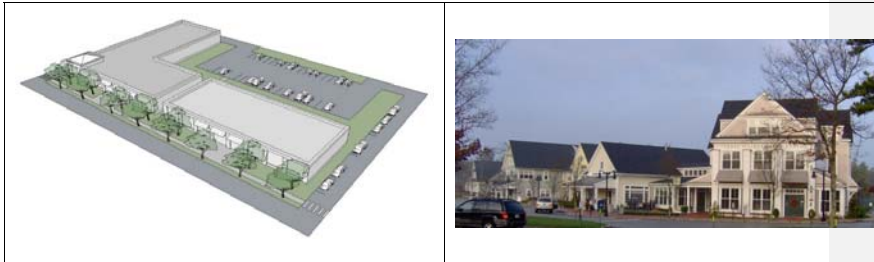
1.2 PERMITTED BUILDING TYPES

A. Apartment Building, Rowhouse, Live/Work Building, Community Building

1.3 ADDITIONAL STANDARDS

A. Floor Area Ratio of All Buildings on Site (Max.)	1.0
B. Individual Building Footprint (Max.)	20,000 S.F.
C. Block Length (Maximum)	250 ft.
D. General Residential Development tracts adjoining and oriented to Lafayette Road must have a minimum of 100 feet of Street Frontage and must meet the Front Yard requirements of Section 10.533.	

10.5B43.40 General Commercial Development



A development project containing one or more commercial building types in accordance with allowed Building Types and design standards in Section 10.5B34.

1.1 DEVELOPMENT STANDARDS

A. Tract Area (Minimum)	20,000 S.F.
B. Tract Street Frontage (Minimum)	80 ft.
C. Tract Front Yard (Min./Max.)	Determined by Building Type.
D. Tract Side Yard (Minimum)	15 ft.
F. Tract Rear Yard (Minimum)	15 ft.
E. Space Between Buildings (Minimum)	15% of the Tract
G. Community Space Coverage (Minimum)	15%
H. Community Space Types	Pedestrian Alley, Wide Pedestrian Sidewalk, Greenway, Square, Plaza

1.2 PERMITTED BUILDING TYPES



A. General Commercial Building, Small Flex Space/Fabrication Building, Community Buildings
--

1.3 ADDITIONAL STANDARDS

A. Floor Area Ratio of All Buildings on Site (Max.)	1.0
B. Individual Building Footprint (Max.)	20,000 S.F.
C. Block Length (Maximum)	300 ft.
D. General Commercial Development tracts adjoining and oriented to Lafayette Road must have a minimum of 100 feet of Street Frontage and must meet the Front Yard requirements of Section 10.533.	

10.5B43.50 Retrofit Development

Commented [JTW16]: Clarify how this relates to Section 10.5B50

A development project involving one or more existing buildings being retrofitted and repurposed as a residential and mixed use building in accordance with the standards below.

1.1 DEVELOPMENT STANDARDS

A. Tract Area (Minimum)	NR
B. Tract Street Frontage (Minimum)	80 ft.
C. Tract Front Yard (Min./Max.)	Determined by Building Type.
D. Tract Side Yard (Minimum)	15 ft.
E. Tract Rear Yard (Minimum)	15 ft.
F. Space Between Buildings (Minimum)	10 ft.
G. Community Space Coverage (Minimum)	20% of the Tract
H. Community Space Types	All

1.2 PERMITTED BUILDING TYPES

A. All

1.3 ADDITIONAL STANDARDS

A. Floor Area Ratio of All Buildings on Site (Max.)	1.0
B. Maximum Density is 1 Dwelling Unit Per 2,000 Gross Floor Area of existing building being retrofitted for residential use.	
C. Retrofit Development tracts adjoining and oriented to Lafayette Road must have a minimum of 100 feet of Street Frontage and must meet the Front Yard requirements of Section 10.533.	

Section 10.5B50 Pre-Existing Buildings and Lots

Commented [JTW17]: Will add provisions to ensure pre-existing buildings and lots are not made largely non-conforming and allow for reinvestment and repurposing of existing buildings. Also provide standards for expansion of existing buildings.

Section 10.5B60 **Building Façade Types**

Commented [JTW18]: Reviewing how these can be better integrated with 10.5A which also has Façade Type requirements.

10.5B61 General

At least one (1) façade type is required for each principal building type.

10.5B62 Permitted Building Façade Types

In addition to the Building Façade Types defined in Section 10.5A43.10, the following supplemental types are also permitted in the Gateway Mixed Use Districts in accordance with the Building Type standards in Section 10.5B30.

DOOR YARD

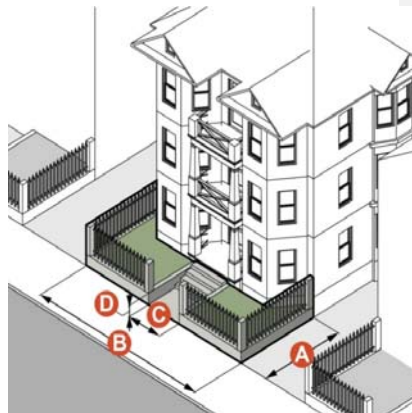
A Private Frontage where the Building Façade is aligned close to the Street Line, and the Frontage Line is defined by a low wall, decorative fence or hedge providing a strong spatial definition from the public sidewalk. The result is a small semi-private dooryard containing the principal entrance in the front yard. The dooryard may be slightly raised, sunken, or at-grade, and may be planted or landscaped. A paved walkway from the sidewalk to the front door is required. This type is commonly associated with ground-floor residential use.

2. DIMENSIONS

A. Depth (Minimum)	8 Feet Equal to the width of the Façade
B. Width (Maximum)	50 feet maximum
C. Path of Travel (Minimum)	4 Feet

3. STANDARDS

- A. Paving, excluding driveways, must match the abutting sidewalk unless paved with pervious, porous, or permeable materials.
- B. A curb or retaining wall that is no taller than structurally necessary may be built around the planter, garden, terrace, or otherwise landscaped area.
- C. This frontage type may be used in conjunction with other frontage types such as Doorway, Stoop, Shopfront or Officefront. In case of a conflict, the Dooryard Frontage Type standards shall prevail.
- D. Dooryards shall not be used for circulation for more than one ground floor entry.
- E. Dooryards are allowed to encroach within the front yard setback to the Street Line.



TERRACE

1. DEFINITION

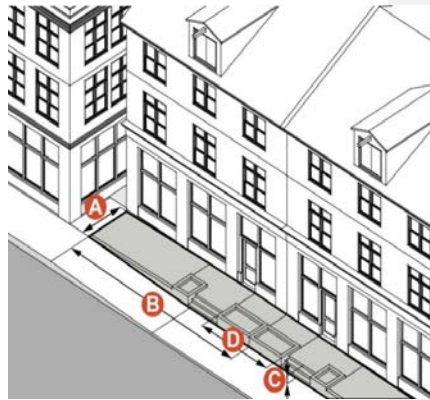
A Private Frontage where the Building Facade is at or near the Street Line with an elevated terrace that may encroach into the front yard setback providing level or terraced public circulation along the façade. This type can be used to provide at-grade access while accommodating a grade change along a Street Line. Frequent steps up to the terrace are necessary to avoid dead walls and maximize access. This type is required to be used in conjunction with other Frontage types to define individual or shared entries facing the street.

2. DIMENSIONS

A.	Depth (Minimum)	8 Feet
B.	Length (Maximum)	150 Feet
C.	Finish Above Sidewalk (Min./Max.)	18 Inches/4 Feet
D.		Distance Between Stairs/Access (Maximum)

3. STANDARDS

- A. Terrace frontage must be paved to match the abutting sidewalk.
- B. Frequent steps up to the terrace are required to avoid blank wall along the sidewalk and maximize pedestrian access.
- C. Low walls used as seating are encouraged.
- D. Terraces shall be used in conjunction with those for the Shopfront, Officefront, or Doorway Frontage Types.
- E. Terrace is allowed to encroach within the front yard setback to the Street Line.



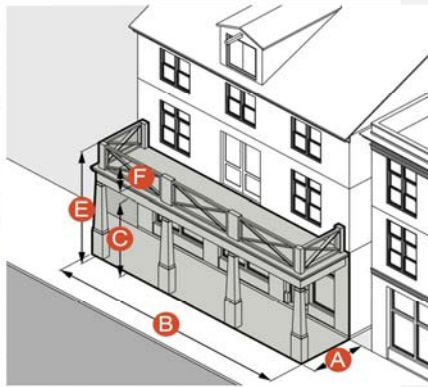
GALLERY

1. DEFINITION

A Private Frontage where the building facade is set back from the Street Line with an attached one or two story cantilevered shed or a lightweight colonnade that is built to the Street Line. This type is intended for buildings with ground floor commercial, hospitality or retail uses. This frontage type is required to be used in conjunction with other types to define individual or shared first floor entries facing the street.

2. DIMENSIONS

A. Depth (Minimum)	8 Feet
B. Width (Minimum)	Equal to the Width of the Façade
C. Ground Floor Height, Clearance (Minimum)	14 Feet
D. Upper Floor Height, Clearance (Minimum)	9 Feet
D. Height, Total	Equal to the Second Story Floor Level
E. Upper Floor Railing Height (Maximum)	5 Feet



3. STANDARDS

- A. These standards may be used in conjunction with those for the Shopfront or Officefront Frontage Types.
- B. No external stairways are allowed to reach the upper-story portion of galleries along a frontage.
- C. Galleries shall remain open on three sides and may have a roof or awning covering the upper floor.
- D. Galleries shall have a consistent depth along a frontage.
- E. Galleries are allowed to encroach within the frontage area to the Street Line, but in no case shall it extend in the public ROW.
- F. Galleries may not contain driveways, parking, loading or service areas or mechanical equipment or vents.

ARCADE

1. DEFINITION

A Private Frontage where only the ground floor level of the building Façade is set back from the Street Line. The Building facade for the upper floors is at the Street Line and is supported by a colonnade with habitable space above. This frontage type is intended for buildings with ground floor commercial, hospitality or retail uses. This type is required to be used in conjunction with other frontage types to define individual or shared first floor entries facing the street.

2. DIMENSIONS

A. Depth, Clearance (Minimum)	12 Feet
B. Ground Floor Height, Clearance (Minimum)	14 Feet
C. Height (Maximum)	1 Story



3. STANDARDS

- A. These standards may be used in conjunction with those for the Shopfront or Officefront Frontage Types.
- B. Arcades shall have a consistent depth across the entire Façade.
- C. Arcades may not contain Driveways, parking, loading, or service areas or mechanical equipment or vents.
- D. Arcades are allowed to encroach within the frontage area to the Street Line, but in no case shall it extend in the public ROW.

Section 10.5B70 Density Thresholds and Bonuses

Commented [JTW19]: See comments received from survey.

10.5B71 Residential Density

10.5B71.10 New development or redevelopment that consists of one principal residential or mixed residential building according to the standards for Building Type in Section 10.5B34 on a single lot shall comply with the following density requirements for the maximum number of dwelling units per acre.

Dwelling Units Per Acre

Building Type	Gateway Corridor Mixed-Use (G1)		Gateway Corridor Mixed Use Center (G2)	
	P	CU	P	CU
Cottage	NR	NR	NR	NR
Paired House	NR	NR	NR	NR
Apartment Building	16	24	16	24
Rowhouse	16	24	16	24
Live-Work/Shop House	16	24	16	24
Mixed-Use Building	16	24	16	24

P = Permitted

CU = Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72

10.5B71.10 New development or redevelopment that is constructed according to the standards for a Development Type 10.5B43 on a single lot or on multiple adjoining lots that comprise a development tract shall comply with the density requirement for the maximum number of dwelling units per acre for all of the buildings in the development.

Dwelling Units Per Acre

Development Types	Gateway Corridor Mixed-Use (G1)		Gateway Corridor Mixed Use Center (G2)	
	P	CU	P	CU
Pocket Neighborhood*	16	20	12	16
Mixed Use Development	20	30	20	30
General Residential Development	20	30	20	30
Retrofit Development	*	*	*	*

P = Permitted

CU = Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72

**For Retrofit Development, maximum density is 1 Dwelling Unit per 2,000 Gross Floor Area of existing building being retrofitted for residential use.*

10.5B72 Density Bonus Incentives

A conditional use permit may be granted by the Planning Board for increased housing density or for increased building height and footprint as described in this section. Such conditional use permit shall be contingent upon satisfying the requirements of Section 10.5B73.

10.5B72.10 **Dwelling Units Per Building:** The Planning Board may, by conditional use permit, allow up to a maximum of 36 dwelling units per building.

10.5B72.20 **Dwelling Units per Acre:** The Planning Board may, by conditional use permit, allow higher density up to the maximum established in Section 10.5B71.10.

10.5B72.40 **Height and Building Footprint:** The Planning Board may, by conditional use permit, allow an increase in the maximum building height by one (1) story and an increase in the maximum building footprint and square footage by 20 percent.

10.5B73 Bonus Incentive Requirements

In order to be eligible for bonus incentives as outlined in section 10.5B72, a development must include additional Workforce Housing or provide Eligible Public Realm Improvements as outlined below. Required documentation for these improvements must be submitted with the application as outlined in Section 10.5B74.

10.5B73.10 **Eligible Public Realm Improvements:** Eligible improvements include the following:

- (a) Expansion of the Portsmouth Bicycle and Pedestrian Network consistent with the Portsmouth Bicycle and Pedestrian Plan including public easements and trail construction over the building site or development tract and connecting to existing or planned public trails.
- (b) Public or publicly-accessible parking facilities including surface and structured (above and below ground) facilities in addition to parking required on site. Parking facilities may be located on-site or on land donated to the City for the purposes of public parking to benefit the District.
- (c) Allocation of land equal to 20% of the project's gross floor area that is located on a portion of the project's building lot or development tract or on a different lot for the purpose of creating a publicly accessible active or passive recreation.

10.5B73.20 **Workforce Housing Units:** Not less than fifty percent (50%) of housing units constructed shall be workforce housing. For purposes of calculating the number of units of affordable housing required within a development project, any fractional unit of 0.5 or greater shall be deemed to constitute a whole unit.

Commented [JTW20]: Removed Energy Efficiency Standards as an incentive, consider adding general energy efficiency standards and surface parking stormwater treatment standards to Section 10.5B18 as criteria for approval of any project requiring a CUP (not just for incentives).

Commented [JTW21]: This needs more specifics to determine what is eligible and how much needs to be provided.

Commented [JTW22]: This will need more specifics as to quantity, type, and location.

Commented [JTW23]: This needs better definition and specifics regarding the terms, but the intent is to provide the ability to allocate, acquire, or donate land to the City for this purpose.

Commented [JTW24]: Add different thresholds for owner vs. rental units.

10.5B74 Approval of Density Bonus Incentives

10.5B.74.10 **General Criteria:** All public benefit improvements used for a density bonus shall be recommended in plans or policies approved or used by the City of Portsmouth including the Portsmouth Master Plan, Capital Improvement Program, or other relevant documents.

10.5B.74.20 **Required Information:** In order to be eligible for bonus incentives as described in 10.5B72, the following submissions must be included with an application for a Conditional Use Permit:

- (a) The applicant shall provide the Planning Board with a written description of the intended site development or District improvements, the public benefit provided, provision for management and maintenance if required, and plans showing the location and type, size and extent of each of the eligible improvements.
- (b) A specific time frame for the completion of all required on-site and off-site improvements shall be incorporated as a condition of approval of the Planning Board.
- (c) The applicant shall provide a list of all permits and approvals required in connection with any proposed public realm improvements or energy efficiency building improvements with the application. These approvals shall be obtained prior to approval of the development, unless an exception for good cause is explicitly authorized by the Planning Board.

Commented [JTW25]: And design and construction?

10.5B74.20 **Planning Board Findings:** Prior to granting a conditional use permit for project under this section, the Board shall make all of the following findings:

10.5B74.21 The proposed project (and any conditions of approval) satisfies the requirements in Section 10.5B73;

10.5B74.22 The proposed project is consistent with the purpose and intent set forth in Section 10.5B11.

10.5B74.30 **Modification of Standards:** In granting a conditional use permit, the Planning Board may modify specific standards and requirements set forth in this Section (including development intensity and dimensional standards, and building design standards) provided that the Planning Board finds such modification will promote design flexibility and overall project quality, or that such modification is required for the development to provide a proposed workforce housing component, and that such modification is consistent with the purpose and intent set forth in Section 10.5B11.

Commented [JTW26]: Consider applying this to any dimensional standards for projects that are granted a CUP from the PB under Section 5B.

10.5B75 Legal Review

All restrictive covenants, cooperative agreements or similar instruments requiring the City's approval or participation shall be reviewed as to content and form by the Legal

Department. Such reviews may include condominium or cooperative agreements which are to be enacted as part of the project.

Section 10.5B80 Parking Requirements and Standards

Parking requirements for the Gateway District are included in Article 11, Off-Street Parking.

Commented [JTW27]: See proposed modifications to Article 11. This can remain as a placeholder section in case additional provisions for Gateway Districts are added or Article 11 amendments proceed on a different schedule.

Section 10.5B90 Pedestrian Access and Circulation

- 10.5B81 Pedestrian walkways shall provide connections through the lot/tract to the public street right-of-way, and between the lot/tract and adjacent land uses.
- 10.5B82 At least one 8-foot wide pedestrian walkway shall be provided throughout the lot/tract, connecting adjacent streets, accessways, sidewalks and off-street parking areas to the entrances of all principal buildings.
- 10.5B83 Pedestrian areas shall be clearly distinguished from vehicular and bicycle traffic areas through the use of paving materials, landscaping, or other means.
- 10.5B84 A lot/tract with more than one principal building or off-street parking area shall include an internal pedestrian network that provides logical and direct routes for pedestrians throughout site.
- 10.5B85 Parking lots shall include internal walkways spaced not more than 150 feet apart. Where possible, these walkways shall be aligned to connect with major building entries or other destinations.

Section 10.5B100 Community Space

10.5B91 Purpose and Intent

The intent of the Community Space requirements is to ensure a variety of functional, well-designed community spaces are built in a way that complements adjacent properties, contribute to a comprehensive open space network, and adds vibrancy to the surrounding neighborhoods and the City in general.

10.5B92 General Requirements

- 10.5B92.10 Community Space meeting one or more of the types described in Figure 10.5A45.10 must be provided according to the standards for Building Types and Development Types as described in Sections 10.5B30 and 10.5B40.
- 10.5B92.20 Multi-Family Building and Mixed-Use Building types may provide shared community spaces, provided that the space includes the total area required for each unit that the shared space is meant to serve.

Commented [JTW28]: Explain

Section 10.5B101 Definitions

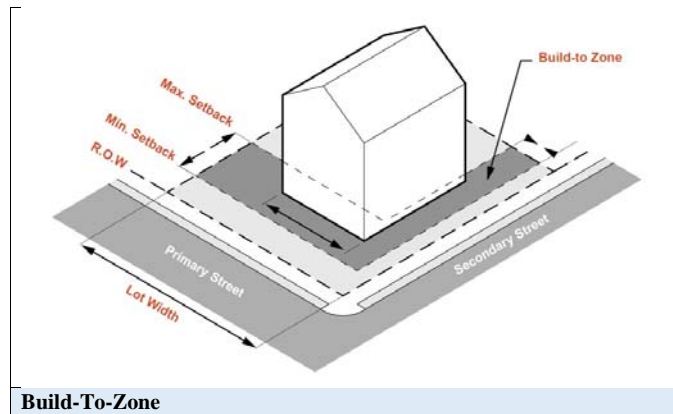
This Section provides definitions for certain terms in Article 5B that are not otherwise defined in Article 5A60 or Article 15:

Blank Wall Area

Blank wall area is any portion of a facade that does not include facade glazing (doors and windows) and surface relief using architectural features that either recess or project from the average plane of the facade.

Build-To-Zones (BTZ)

The area between the minimum yard and maximum yard is the Build-To-Zone (BTZ) in which the front facade of the building shall be placed.



Development Tract

Any lot or group of contiguous lots owned or controlled by the same person or entity, assembled for the purpose of a single development.

Development Tract Area

The cumulative area of all contiguous lots that the site is composed of.

Ground Floor Elevation (GFE)

The elevation measured from the average top grade of the curb along the abutting streets or from the crown of the adjacent street when no curb exists, to the top of the finished floor of the ground story of a building.



Story Height

The measured height from the finished floor elevation to the finished floor elevation above.

Zero-Net Energy (ZNE) Building

A building with zero net energy consumption, meaning the total amount of energy used by the building on an annual basis is roughly equal to the amount of renewable energy created on the site resulting in less overall contribution of greenhouse gas to the atmosphere than similar non-ZNE buildings.