

FOUR TREE ISLAND ADA RESTROOM RENO



CONSTRUCTION DOCUMENTS 9/9/2024



273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
www.jsainc.com

CIVIL ENGINEER
HALEY WARD
200 GRIFFIN RD, UNIT 14
PORTSMOUTH, NH 03802

FOUR TREE ISLAND
ADA RESTROOM RENO
4 Four Tree Island
Portsmouth, NH 03801

CITY OF PORTSMOUTH



Date: 9/9/2024
Project Number: 24076.00

REVISIONS		
NO.	DESCRIPTION	DATE

CONSTRUCTION
DOCUMENTS

COVER SHEET

T.01

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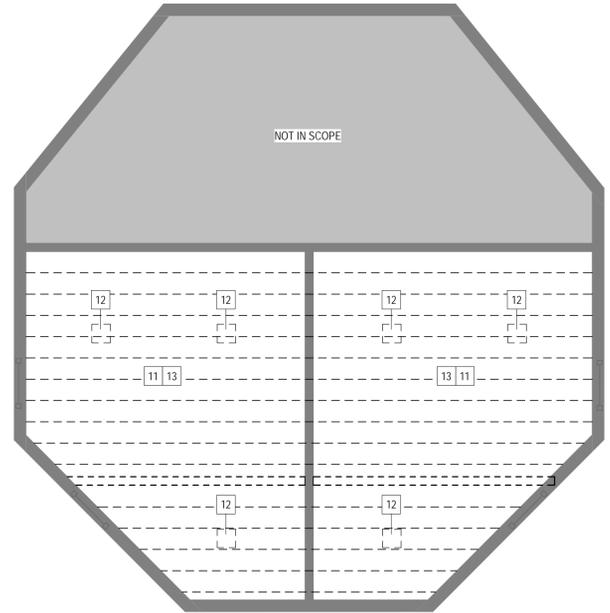
CONSTRUCTION
DOCUMENTS
DEMOLITION
DRAWINGS

AD1.01

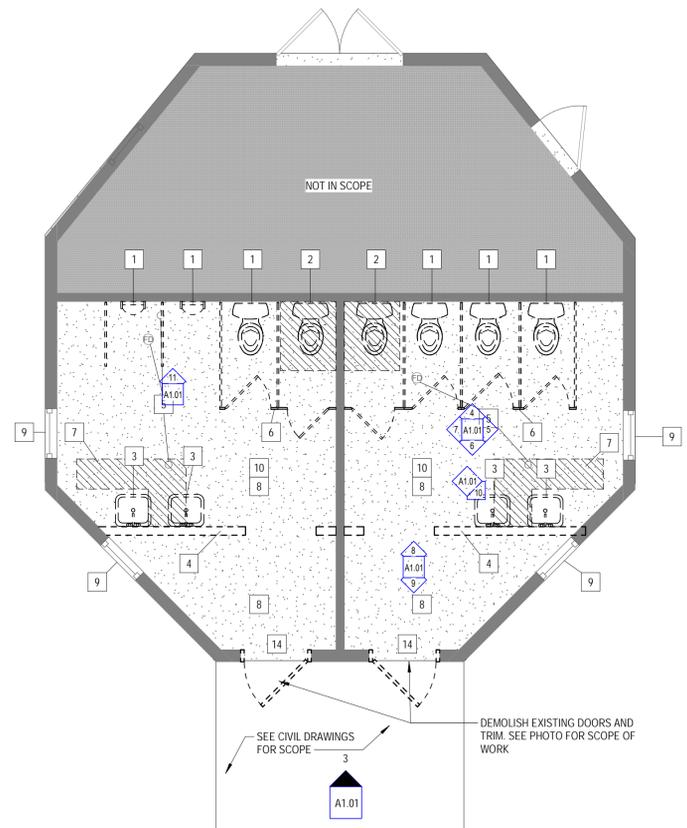
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- DEMO KEYNOTE LEGEND**
- REMOVE EXISTING FIXTURE, EXISTING PIPING TO REMAIN FOR RE-USE.
 - REMOVE EXISTING FIXTURE, DEMOLISH EXISTING CONCRETE PAD, CUT AND CAP PIPING FLUSH WITH EXISTING SLAB.
 - REMOVE EXISTING FIXTURE AND IN WALL PIPING.
 - DEMOLISH EXISTING WALL AND ALL WALL UTILITIES, SALVAGE WALLBOARDS TO BE USED IN PATCHING OF EXISTING WALLS.
 - EXISTING FLOOR DRAINS, CLEAN OUTS, AND OTHER UTILITIES TO REMAIN.
 - DEMOLISH ALL EXISTING TOILET PARTITIONS.
 - APPROXIMATE EXTENT OF SLAB REMOVAL REQUIRED FOR DEMOLITION OF EXISTING PIPING AND EXTENSION OF NEW PIPING TO FIXTURES.
 - REMOVE ALL BASEBOARD TRIM.
 - EXISTING WINDOWS AND INTERIOR CASINGS TO REMAIN.
 - EXISTING 12" PINE TNG SHEATHING TO REMAIN.
 - DEMOLISH EXISTING CEILING.
 - REMOVE EXISTING LIGHT FIXTURES.
 - REMOVE EXISTING PERIMETER TRIM.
 - REMOVE EXISTING DOOR CASINGS

- GENERAL DEMO NOTES**
- SEE SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS AND SALVAGING OF EXISTING ITEMS FOR OWNER'S USE.
 - SEE CIVIL SHEETS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL BUILDING AND SITE DAMAGE CAUSED BY DEMOLITION AND NEW CONSTRUCTION.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, CONDITIONS, MATERIALS AND CLEARANCE DISCREPANCIES, CONFLICTS SHALL BE REPORTED TO THE ARCHITECT.
 - THE CONTRACTOR SHALL REPORT ALL EXISTING DAMAGE AND DETERIORATION TO THE OWNER AND ARCHITECT IN WRITING PRIOR TO BEGINNING OF DEMOLITION AND NEW CONSTRUCTION.
 - THE CONTRACTOR SHALL REFER TO THE DRAWINGS FOR NEW CONSTRUCTION AND COORDINATE/VERIFY THE EXACT REQUIRED EXTENTS OF DEMOLITION, CONFLICTS AND DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
 - THE CONTRACTOR SHALL CONTACT THE OWNER AND COORDINATE ALL EXISTING WARRANTY ISSUES PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
 - THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE OWNER PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
 - REMOVE ALL EXISTING CEILINGS IN ALL ROOMS AND AREAS WHERE NEW CEILINGS ARE INDICATED - SEE REFLECTED CEILING PLANS, FINISH SCHEDULE AND KEYED DEMOLITION NOTES FOR ADDITIONAL INFORMATION AND EXISTING FEATURES THAT ARE TO REMAIN AND BE RE-USED.
 - REMOVE ALL EXISTING FLOOR FINISHES (CARPET, VCT, CERAMIC TILE, ETC.) IN ALL ROOMS AND AREAS WHERE NEW FLOOR FINISHES ARE INDICATED - SEE PLANS AND FINISH SCHEDULE. REMOVE ALL GLUE AND GROUT RESIDUE. PATCH, REPAIR AND PREP FLOORS AS REQUIRED FOR NEW CONSTRUCTION AND PROPER INSTALLATION OF NEW FLOOR FINISHES.
 - CONDUCT MISCELLANEOUS DEMOLITION AS REQUIRED ON ALL SURFACES TO REMOVE ITEMS SUCH AS PROTRUDING NAILS, SCREWS, HANGING HOOKS, FASTENERS, TAPE AND WALLPAPER. PATCH, REPAIR AND PREP SURFACES AS REQUIRED FOR NEW FINISHES. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
 - GENERAL NOTE FOR ALL WALLS TO REMAIN - REMOVE ALL EXISTING WALL BASE (VINYL, WOOD, TILE, ETC.) REMOVE GROUT OR ADHESIVE. PATCH, REPAIR AND PREP WALLS FOR NEW BASE INSTALLATION. COORDINATE DEMOLITION WITH NEW WORK. SEE NEW PLANS AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION AND EXISTING FEATURES TO BE RE-USED.
 - REMOVE EXISTING SIGNAGE. SEE NEW PLANS FOR SIGNAGE TO BE RE-USED AND RELOCATED BY CONTRACTOR. ALL OTHER SIGNAGE TO BE DELIVERED TO OWNER.
 - CONTRACTOR SHALL REMOVE WALL-MOUNTED BULLETIN BOARDS, ART WORK, MARKER BOARDS, SUGGESTION BOXES AND OTHER SIMILAR MISCELLANEOUS ITEMS. ALL ITEMS TO BE STORED AND THEN RE-MOUNTED AT OWNER'S DIRECTION.
 - CUT EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR NEW PLUMBING AND ELECTRICAL WORK. SEE DEMO PLAN.
 - CONTRACTOR SHALL CAREFULLY REVIEW DEMOLITION REQUIREMENTS, INCLUDING MEP DEMOLITION, THAT MAY EXTEND INTO AREAS OUTSIDE OF THE SCOPE OF THE DESIGNATED SCOPE OF WORK ZONES. CONTRACTOR SHALL COORDINATE ACCESS INTO SUCH SPACES WITH OWNER PRIOR TO CONDUCTING THE WORK. PATCH, REPAIR AND RESTORE ANY DAMAGE TO AS-FOUND CONDITION.
 - PATCH AND CAP ANY HOLES AND PENETRATIONS IN ROOF AND EXTERIOR WALLS WEATHER-TIGHT AND VERMIN-PROOF. PROVIDE INSULATION ON CAPS TO AVOID CONDENSATION.



2 DEMO RCP
1/4" = 1'-0"



1 DEMO PLAN
1/4" = 1'-0"



3 PHOTO OF EXTERIOR ENTRY
1/2" = 1'-0"

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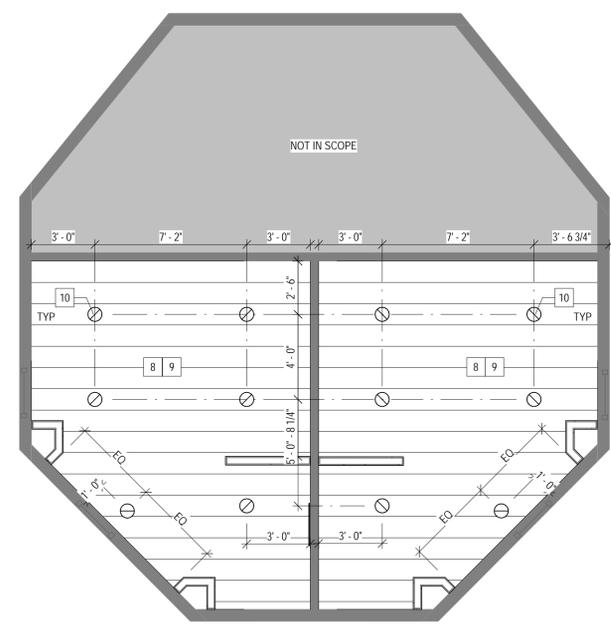
CONSTRUCTION DOCUMENTS
FIRST FLOOR PLAN

A1.01

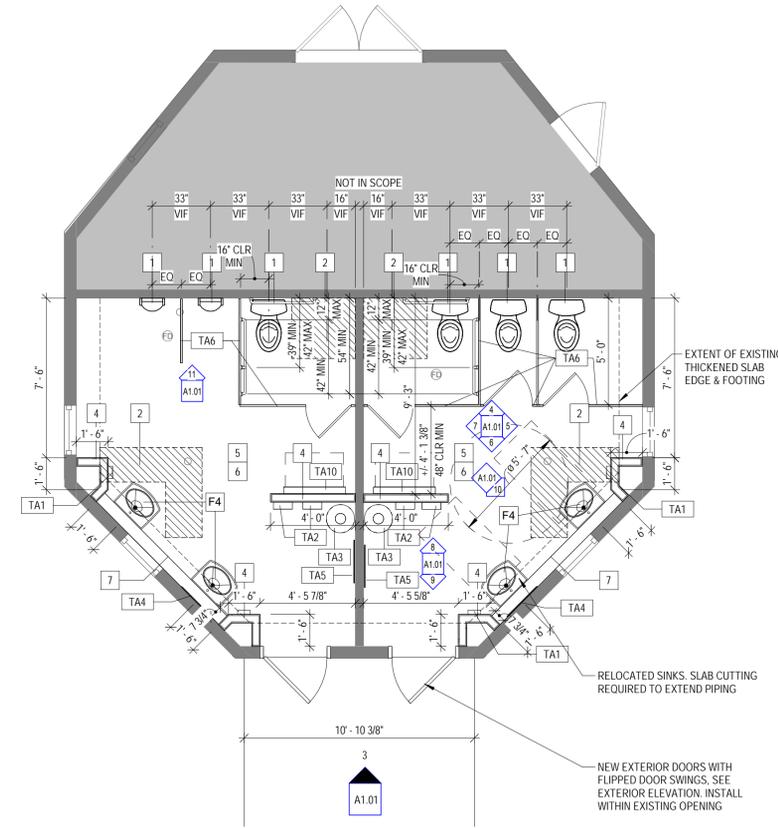
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- GENERAL PLAN NOTES**
- GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DRAWINGS.
 - EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD. TYP.
 - INTERIOR DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD U.N.O.
 - ALL DOORS SHALL BE INSTALLED WITH HINGED SIDE OF FINISHED OPENING 6" FROM ADJACENT WALL OR CENTERED WITHIN WALL, UNLESS NOTED OTHERWISE.
 - ALL DOORS INTENDED FOR PASSAGE MUST MEET ACCESSIBILITY MANEUVERING CLEARANCES.
 - EXTERIOR OPENINGS ARE DIMENSIONED TO CENTER LINE OF OPENING UNLESS NOTED OTHERWISE.
 - SEE SCHEDULES ON SHEET A1.02 FOR FIXTURES AND FINISHES

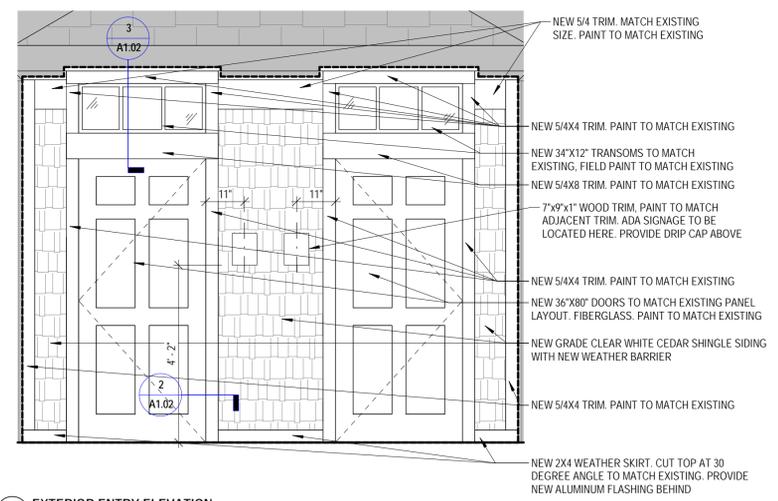
- NEW CONSTRUCTION KEYNOTES**
- NEW FIXTURE AT EXISTING PIPING FIXTURE. MODIFY EXISTING PIPING FIXTURE AS NEEDED. INSTALL NEW EXPOSED VALVES.
 - PATCH CONCRETE SLAB TO BE SMOOTH AND LEVEL WITH EXISTING FLOOR.
 - NOT USED
 - NEW FULL HEIGHT WALL. 2X4 STUDS AT 24" OC. PROVIDE PT SILL. PROVIDE 12" #3 PINE T&G BOARD. PAINTED TO MATCH EXISTING.
 - PROVIDE NEW 1X10 WOOD BASE. PROVIDE SEALANT AT JOINT WITH WALL.
 - PROVIDE 1X4 CORNER BOARDS AT ALL INTERIOR OUTSIDE CORNERS.
 - NEW STEM WALL. 2X4 STUDS AT 24" OC. PROVIDE PT SILL. PROVIDE 12" #3 PINE T&G BOARD. PROVIDE CONTINUOUS WOOD CAP. PAINTED TO MATCH EXISTING.
 - PROVIDE NEW 12" #3 PINE T&G FOR CEILING. PAINT PER FINISH SCHEDULE
 - PROVIDE 1X4 PERIMETER TRIM
 - NEW LIGHT FIXTURES, TYPE A1. SEE SCHEDULE



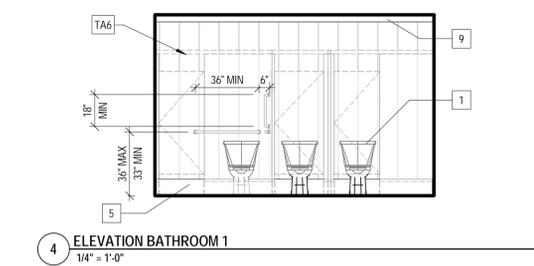
2 FLOOR PLAN RCP
1/4" = 1'-0"



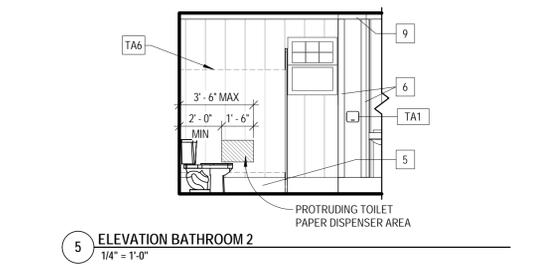
1 FLOOR PLAN
1/4" = 1'-0"



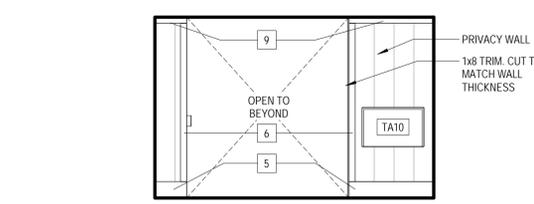
3 EXTERIOR ENTRY ELEVATION
1/2" = 1'-0"



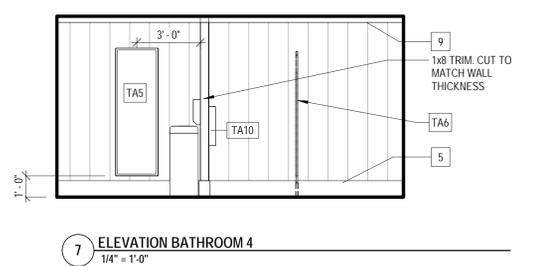
4 ELEVATION BATHROOM 1
1/4" = 1'-0"



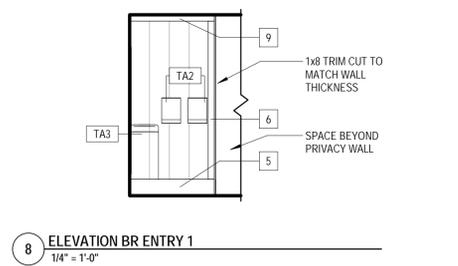
5 ELEVATION BATHROOM 2
1/4" = 1'-0"



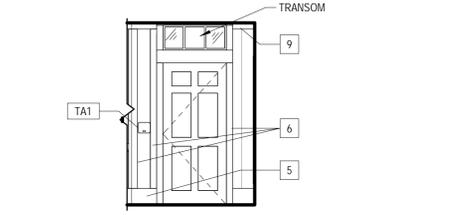
6 ELEVATION BATHROOM 3
1/4" = 1'-0"



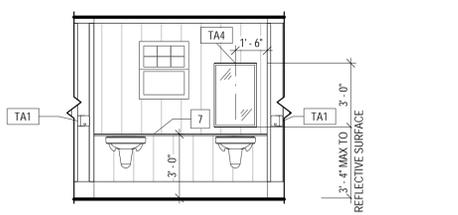
7 ELEVATION BATHROOM 4
1/4" = 1'-0"



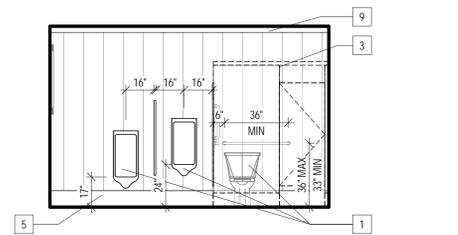
8 ELEVATION BR ENTRY 1
1/4" = 1'-0"



9 ELEVATION BR ENTRY 2
1/4" = 1'-0"



10 ELEVATION SINK WALL 1
1/4" = 1'-0"



11 ELEVATION BR MENS ROOM 1
1/4" = 1'-0"

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SPECIFICATIONS

Four Tree Island ADA Restroom Reno
24076.00

JSA DESIGN
Construction Documents – September 9, 2024

DIVISION 011000 – Supplementary Front End

1. BABAA Requirements
 - a. All construction contracts in excess of the simplified acquisition threshold, which is currently \$250,000, will be subject to the Build America, Buy America Act provisions, unless excepted by a waiver. Additional guidance for contractors is available by contacting (800) 510-7281.
 - b. If subject to BABAA provisions the following materials must comply: Iron and Steel, non-ferrous metals, lumber, composite building materials, and plastic and polymer based pipe and tube
2. Temporary Heat
 - a. Contractor is responsible to provide temporary heat to ensure proper installation and application of materials and products.

DIVISION 012300 – ALTERNATES

1. Alternate 1: Alternate 1 consists of all exterior paving work described on Civil drawings. This consists of the removal of existing pavers, adjusted slopes, and reinstallation of pavers. A portion of new, matching, pavers will be required as described in the drawings. The extent of impermeable surface remains unchanged.

DIVISION 024100 – DEMOLITION

1. Remove existing exterior trim, doors, and transom as described on architectural demolition drawings. Extent of removal and scope of work to be limited to area described. Future repairs are planned outside of this project for the remaining of the exterior and roof
2. Demolition as indicated on the demolition plans including plumbing fixtures, lighting, trim, piping, and concrete
3. Dispose of construction waste legally, separated as required by the local authority
4. Advise architect of any rotted or damaged wood not called to be demolished.

DIVISION 033000 – CAST IN PLACE CONCRETE

1. Provide 3500 psi concrete.
2. Reinforcing bars to be provided with 1 1/2" minimum coverage. Provide size and spacing as indicated on the drawings
3. Protect concrete from hot or cold weather as required

DIVISION 061000 – ROUGH CARPENTRY

1. FSC wood
2. Provide dimensional lumber as indicated on drawings. Construction of new interior walls
3. Provide wood blocking as required to support finished work
4. Wood in contact with concrete slab to be pressure treated

DIVISION 064010 – EXTERIOR ARCHITECTURAL WOODWORK

1. FSC wood.
2. Pressure-treated
3. Provide trim wood as indicated on drawings.
4. Prime all sides of trim prior to installation

DIVISION 064020 – INTERIOR ARCHITECTURAL WOODWORK

1. FSC wood
2. Provide 12" T&G wood sheathing to match existing
3. Provide trim wood as indicated on drawings.
4. Treat all knotholes with two coats of Shellac Based primer, prior to painting. Use Zinsser BIN Ultimate Stain Blocker or equal
5. Prime all sides of baseboard trim prior to installation

1

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JSA DESIGN
Construction Documents – September 9, 2024

DIVISION 072500 – WEATHER BARRIERS

1. Provide drainable WRB, Benjamin Odyke Flatwrap or equal.
2. Provide transition flashing recommended by manufacturer
3. At cedar provide above WRB plus Benjamin Odyke Slicker Classic Rainscreen or equal

DIVISION 073129 – NATURAL WOOD SHINGLES

1. Grade "clear" white cedar shingles to match existing
2. Matching existing weathering dimension
3. Stainless steel nails

DIVISION 079200 – JOINT SEALANTS

1. Provide exterior, silicone joint sealant at all exterior openings. Provide backer rod where indicated.
2. Provide interior sanitary sealant between plumbing fixtures and the wall/floor
3. Provide Interior paintable Acrylic Latex Sealant at all at all interior trim edges and joints

DIVISION 081610 – FIBERGLASS DOORS AND FRAMES

1. Provide fiberglass 6 panel door. Basis-of-design Pella 6 panel Fiberglass Entry door or equal
2. Provide primed. Field paint to match existing trim
3. Handing to match new floor plan
4. See 087100 for hardware

DIVISION 085413 – FIBERGLASS WINDOWS

1. Scope limited to replacing the two existing transom windows about the doors. All other windows are out of scope
2. Match existing transom window size and grill pattern. Provide new transoms as fixed
3. Field paint to match existing trim
4. Basis-of-Design: Pella Impervia Fiberglass window or equal

DIVISION 087100 – DOOR HARDWARE

1. Provide hinges as recommended by manufacturer
2. Provide deadbolt w/ construction cylinder and ADA compliant push-pull hardware.
3. Provide surface mounted closer on interior side of door.
4. Provide 8" high by 2" less than door width kick plate on the push side of the door
5. All hardware oil-rubbed bronze finish

DIVISION 090000 – PAINTING AND COATING

1. Provide paint colors as scheduled
2. Patch all existing surfaces to receive paint
3. Apply paints per manufacturers directions
4. Interior Wood Paint Schedule
 - o 1 coat primer. At wood base prime all sides
 - o 2 coats finish paint. Finish luster per schedule
 - o For the interior of Fiberglass doors and windows provide 2 coats of finish per the above without 1 coat of primer
5. Exterior Wood Paint Schedule
 - o 1 coat primer all sides of trim
 - o 2 coats exterior latex paint
6. Exterior Fiberglass Paint Schedule
 - o Doors and windows come pre-primed
 - o 2 coats exterior latex paint to match exterior trim
7. Concrete Floor Paint Schedule
 - o Acrylic concrete paint: Basis-of-Design Confex Ultracrete or Loxon Water Blocking Primer/Finish or equal
 - o Prep existing floor and apply per manufacturers directions

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Four Tree Island ADA Restroom Reno
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JSA DESIGN
Construction Documents – September 9, 2024

DIVISION 101400 – SIGNAGE

1. Provide 6"x8" ADA compliant restroom signage for each door, see elevations for mounting
2. Sign to display the gender for the bathroom in raised lettering, Braille, Icon, and also display the wheelchair accessible icon.
3. Aluminum lettering against a Black powder coat background
4. Basis-of-design: Seton Outdoor Aluminum ADA Braille Signs – Restroom or equal

DIVISION 102110 – TOILET COMPARTMENTS

1. Provide blocking as required to properly secure partitions at walls and ceiling
2. Partitions to be floor and ceiling anchored. Wall anchored where required by manf
3. Partitions must be capable of supporting grab bars as shown in accessible stalls
4. Phenolic partitions with color through the core
5. Provide 12" clear above the finished floor
6. Basis-of-design: ASI Phenolic Color Thru Partitions. Floor and Ceiling Anchored or equal

DIVISION 102800 – TOILET ACCESSORIES

1. See schedule for list of accessories
2. Provide blocking to properly secure grab bars
3. Install in locations shown on the drawings
4. Equivalent manufacturers are acceptable

DIVISION 220000 – PLUMBING

1. Provide new plumbing fixtures as scheduled. Provide additional components as required
2. See the existing building drawings, sheet 10, for the existing piping layout.
3. Cut the existing slab and install new drainage piping to serve the new fixture locations. Route piping to the vertical chase constructed. Run drainage piping from the sinks horizontally in the chase space. Avoid cutting the slabs thickened edge as shown in the existing building drawings, sheet 12 and indicated on the floor plan. Extend and connect the new sink locations into the existing vent system.
4. Provide new code compliant supply piping to the sinks. At the toilets, the existing supply piping can remain. Replace the existing valves with new.
5. At demolished toilets terminate and cap the existing pipe in the wall. At the floor, remove existing raised concrete slab and piping. Cap pipe with a new floor cleanout and repair slab.
6. Provide new covers over the existing floor shut off valves

DIVISION 260000 – ELECTRICAL

1. Demolish existing lighting fixtures as indicated.
2. Connect new lighting to the existing circuit.
3. Provide new code compliant wiring back to the existing electrical panel located in the mechanical room.

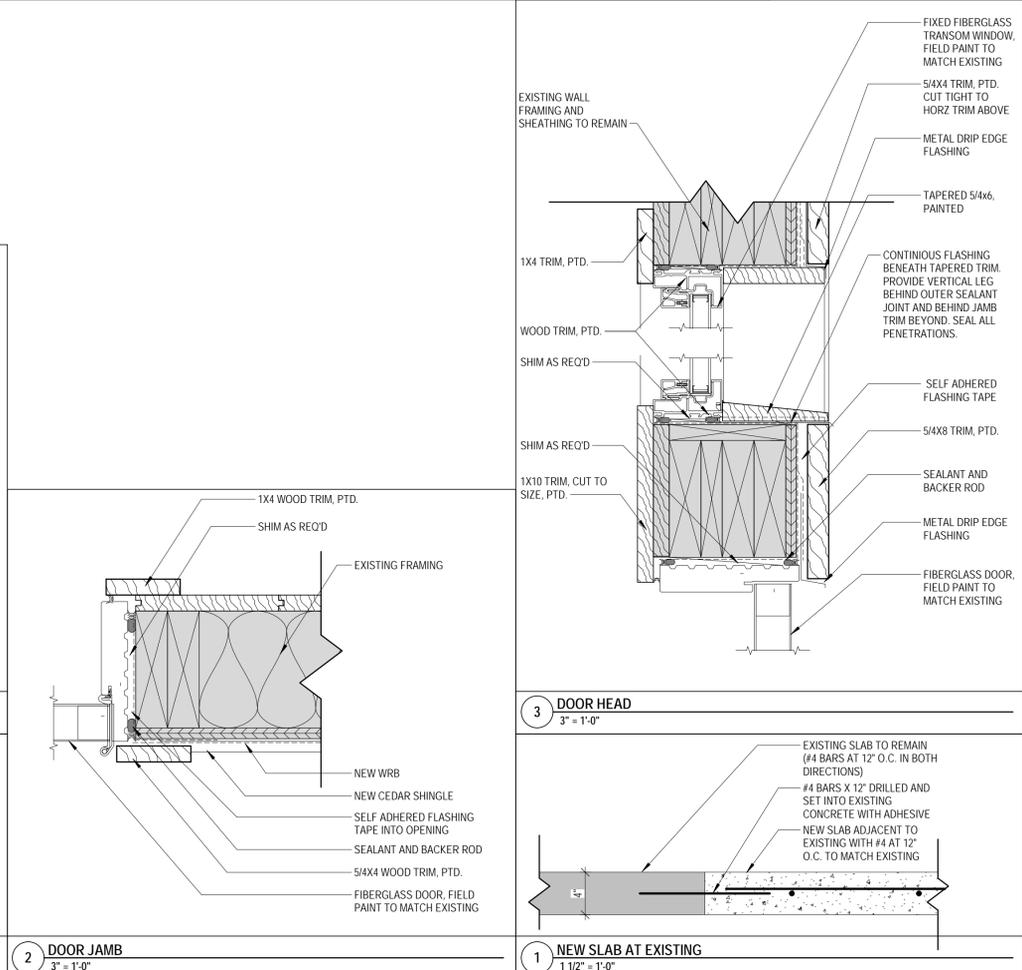
3

MARK	DESCRIPTION	MANUFACTURER	SIZE (W X H X D) - IF APPLICABLE	TOILET ACCESSORIES, FIXTURES, AND LIGHTING SCHEDULE MODEL #	FINISH/TYPE (CF= Owner Furnished, CP= Contractor Furnished, CR= Owner Installed, CC= Contractor Installed)	BUILD AMERICA BUY AMERICA COMPLIANT	COMMENTS
TOILET ACCESSORIES							
TAL	SOAP DISPENSER	TBD	TBD	TBD	OF/CF		
TAP	PAPER TOWEL DISPENSER	TBD	TBD	TBD	OF/CF		
TAT	TRANSOM	TBD	TBD	TBD	OF/CF		
TAM	MIRROR	AMERICAN SPECIALTIES	24"W x 36"H	6000-8243E	CF/CF		STAINLESS STEEL FRAME MIRROR W/ TEMPERED GLASS.
TAS	MIRROR - FULL HEIGHT	AMERICAN SPECIALTIES	24"W x 72"H	6000-8247E	CF/CF		STAINLESS STEEL FRAME MIRROR W/ TEMPERED GLASS.
TAK	TOILET PARTITIONS	AMERICAN SPECIALTIES		COLOR-THRU PHENOLIC PARTITIONS FLOOR TO CEILING ANCHORED	CF/CF		COLOR-THRU PHENOLIC PARTITIONS FLOOR TO CEILING ANCHORED. PROVIDE DIMENSIONS AND LAYOUT AS SHOWN ON DRAWINGS. URINAL SCREENS 48" HIGH. COLOR: PASTEL GREY 8074
TAT	GRAB BARS	AMERICAN SPECIALTIES	18", 36", AND 42"	3800-F SERIES	CF/CF		1 1/2" DIA SNAP FLANGE GRAB BARS W/ 304 STAINLESS PEENED FINISH
TAP	TOILET PAPER DISPENSER	TBD	TBD	TBD	OF/CF		RECESSED
TAP	SANITARY NAPKIN HOLDER	AMERICAN SPECIALTIES	35.5/32" x 24.1/4" x 3.7/8"	20852	CF/CF		RECESSED
TAKD	BAPE CHANGING STATION	AMERICAN SPECIALTIES		3014	CF/CF		BAPE CHANGING STATION, HORIZONTAL, PLASTIC, SURFACE MOUNTED
LIGHTING SCHEDULE							
A1	4" SURFACE MOUNT DOWNLIGHT	DMF LIGHTING	4" ROUND	DRO5-4-8-10-3-35-1	CF/CF		SURFACE MOUNT DOWNLIGHT. MOUNTS IN 40 OCTAGONAL JUNCTION BOX
PLUMBING FIXTURES							
F1	TOILET LEFT TRIP LEVER	AMERICAN STANDARD	30 1/4" DEEP x 20 1/2" WIDE	3483.100 + 4142.601	CF/CF		CADET FLOWISE CHAIR HEIGHT ELONGATED PRESSURE-ASSISTED TOILET 1.1 GPF. TANK WITH COVER LOCKING DEVICE. LEFT-HAND TRIP LEVER
F2	TOILET RIGHT TRIP LEVER	AMERICAN STANDARD	30 1/4" DEEP x 20 1/2" WIDE	3483.100 + 4142.901	CF/CF		CADET FLOWISE CHAIR HEIGHT ELONGATED PRESSURE-ASSISTED TOILET 1.1 GPF. TANK WITH COVER LOCKING DEVICE. RIGHT-HAND TRIP LEVER
F3	URINAL	AMERICAN STANDARD	14 1/8" x 18 7/8" x 26 1/8"	6590.001 + 6063.051.000	CF/CF		WASHROOM FLOWISE UNIVERSAL URINAL, TOP SPRAY, 0.5 GPF SENSOR OPERATED FLUSH VALVE. BATTERY POWERED.
F4	SINK	AMERICAN STANDARD	20 7/8" DEEP x 22 1/8" WIDE	095901E (SINK) + 095902C (DRHOLE)	CF/CF		MURRO UNIVERSAL DESIGN WALL HUNG VANITY WITH EXERCISE CENTER HOLE ONLY LESS OVERFLOW. GREEN SHROUD/KNEE GUARD. WHITE. PROVIDE TAP/Piece, DRINK, AND ANY OTHER COMPONENTS REQUIRED.
F5	FAUCET	AMERICAN STANDARD		775.203 + (1) 6050XRCT	CF/CF		NEXTEGEN ELECTRONIC INTEGRATED TOUCHLESS FAUCET WITH ABOVE-DECK MOUNT, BATTERY POWERED, 0.35 GPM. PROVIDE 1 REMOTE CONTROL FOR BUILDING.

TOILET ACCESSORIES, FIXTURES, AND LIGHTING SCHEDULE

FINISH CODE	MANUFACTURER	DESCRIPTION	SERIES/COLOR	MANUFACTURER'S REP	REMARKS
PTE-1	SHERWIN WILLIAMS	EXTERIOR TRIM PAINT	MATCH EXISTING EXTERIOR TRIM, SEMI-GLOSS	HEATHER BOURGEOIS Heather.R.Bourgeois@sherwin.com	ALL EXTERIOR WOOD TRIM, DOOR, AND WINDOW
PT-1	SHERWIN WILLIAMS	INTERIOR WALL PAINT	WHITE, SEMI-GLOSS	HEATHER BOURGEOIS Heather.R.Bourgeois@sherwin.com	ALL INTERIOR WALLS
PT-2	SHERWIN WILLIAMS	INTERIOR CEILING PAINT	WHITE, FLAT	HEATHER BOURGEOIS Heather.R.Bourgeois@sherwin.com	ALL INTERIOR CEILINGS
PT-3	SHERWIN WILLIAMS	INTERIOR TRIM PAINT 1	MATCH EXISTING IN MENS RESTROOM, SEMI-GLOSS	HEATHER BOURGEOIS Heather.R.Bourgeois@sherwin.com	INTERIOR TRIM IN MENS RESTROOM
PT-4	SHERWIN WILLIAMS	INTERIOR TRIM PAINT 2	MATCH EXISTING IN WOMENS RESTROOM, SEMI-GLOSS	HEATHER BOURGEOIS Heather.R.Bourgeois@sherwin.com	INTERIOR TRIM IN WOMENS RESTROOM
PTF-1	SHERWIN WILLIAMS	CONCRETE FLOOR PAINT	MATCH EXISTING COLOR	HEATHER BOURGEOIS Heather.R.Bourgeois@sherwin.com	ALL CONCRETE FLOORS

PAINT LEGEND



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NO.	DESCRIPTION	DATE

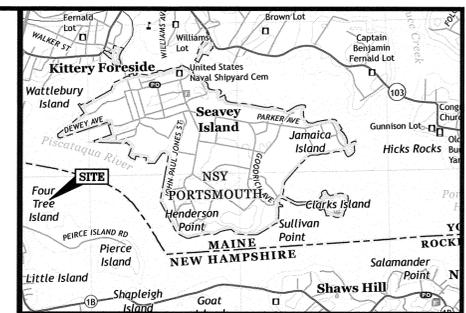
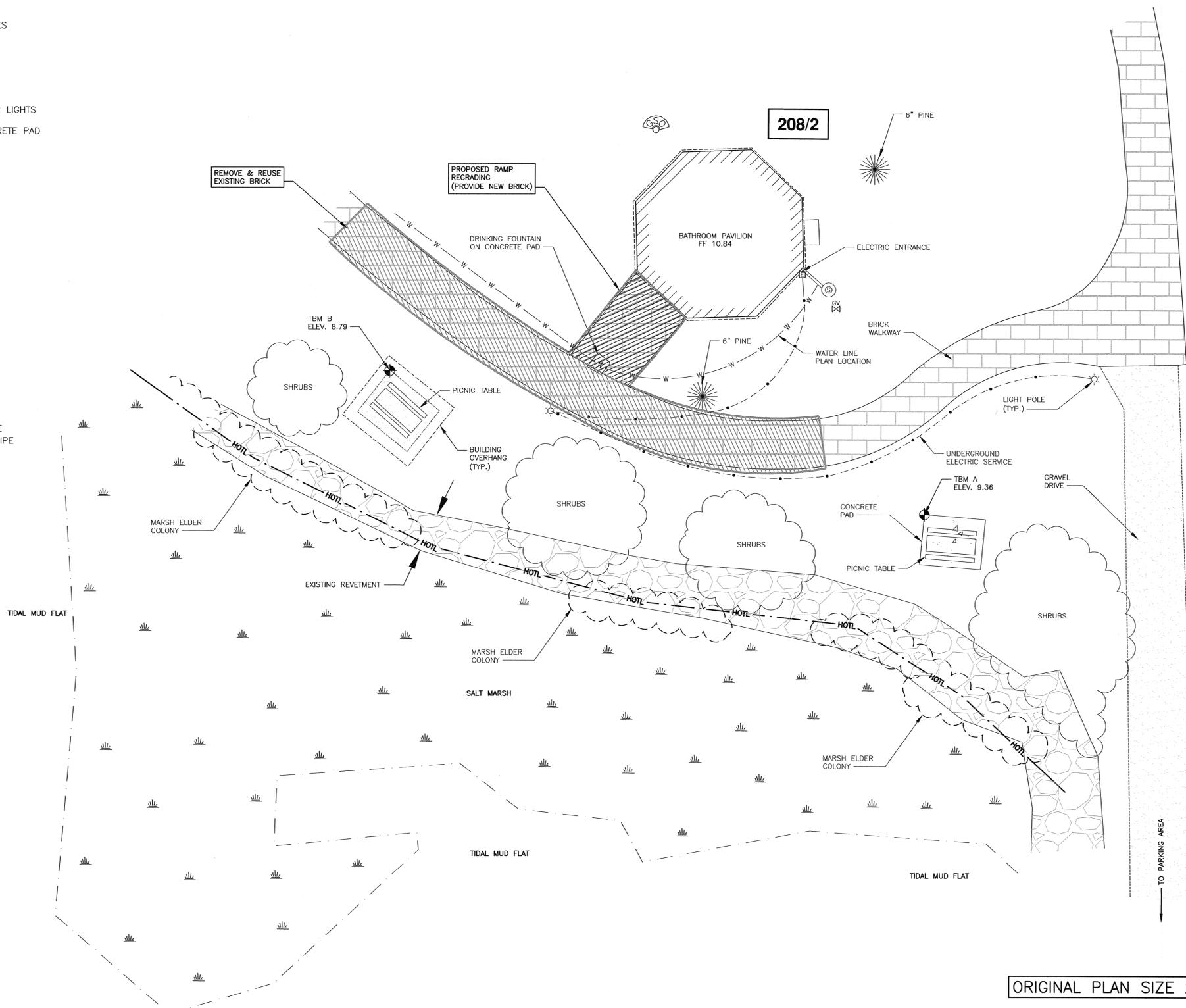
**CONSTRUCTION
DOCUMENTS
SCHEDULES AND
DETAILS**

A1.02

9/9/2024 12:20:40 PM: C:\Users\martz\Documents\Four Tree Island ADA Restroom R.2023 CENTRAL_martz\A1.02.dwg

LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
---	---	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
○	○	UTILITY POLE
☀	☀	WALL MOUNTED EXTERIOR LIGHTS
☑	☑	TRANSFORMER ON CONCRETE PAD
⊙	⊙	ELECTRIC HANDHOLD
⊗	⊗	SHUT OFFS (WATER/GAS)
⊗	⊗	GATE VALVE
⊗	⊗	HYDRANT
⊗	⊗	CATCH BASIN
⊗	⊗	SEWER MANHOLE
⊗	⊗	DRAIN MANHOLE
⊗	⊗	TELEPHONE MANHOLE
14	14	PARKING SPACE COUNT
Ⓜ	Ⓜ	PARKING METER
LSA	LSA	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 208 AS LOT 2.
- 2) OWNER OF RECORD:
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH NH 03801
- 3) PARCEL IS LOCATED IN THE MUNICIPAL ZONING DISTRICT.
- 4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
- 5) LOT AREA:
3.0 ACRES (PER TAX MAP)
- 6) PARCEL IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0278F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED BATHROOM PAVILION RENOVATION ON ASSESSORS MAP 208 LOT 2.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBS.
- 9) SEE BUILDING RENOVATION PLAN BY JSA, INC.
- 10) UTILITY INFORMATION TAKEN FROM FOUR TREE ISLAND RECREATION PARK PLAN FROM 1975.

0	8/26/24	ISSUED FOR COMMENT	EDS	JRC
No.	DATE	DESCRIPTION	BY	CHK.

PROJECT SITE PLAN

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd, Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

**4 TREE ISLAND
ADA RESTROOM RENO**

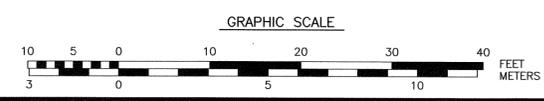
SITE PLAN

DATE	AUGUST 2024	SCALE	1" = 10'
DRAWN BY	EDS	DESIGNED BY	JRC
CHECKED BY	JRC		
PROJECT No.	5010486	FIELD BOOK & PAGE	FB 441 PG 29

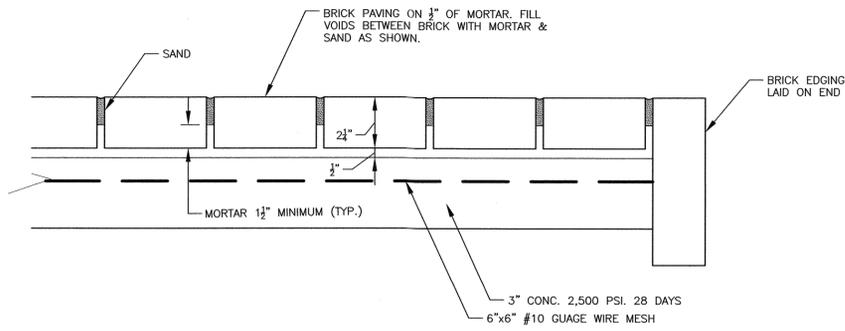


SHEET 1 C1

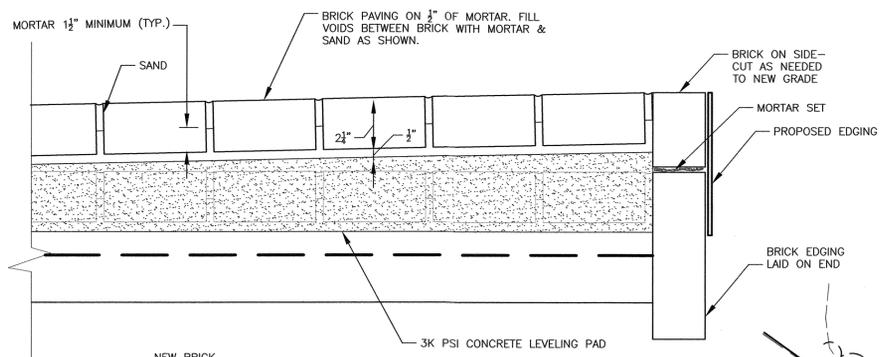
ORIGINAL PLAN SIZE 22X34



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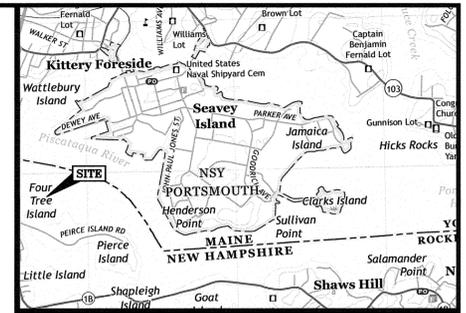
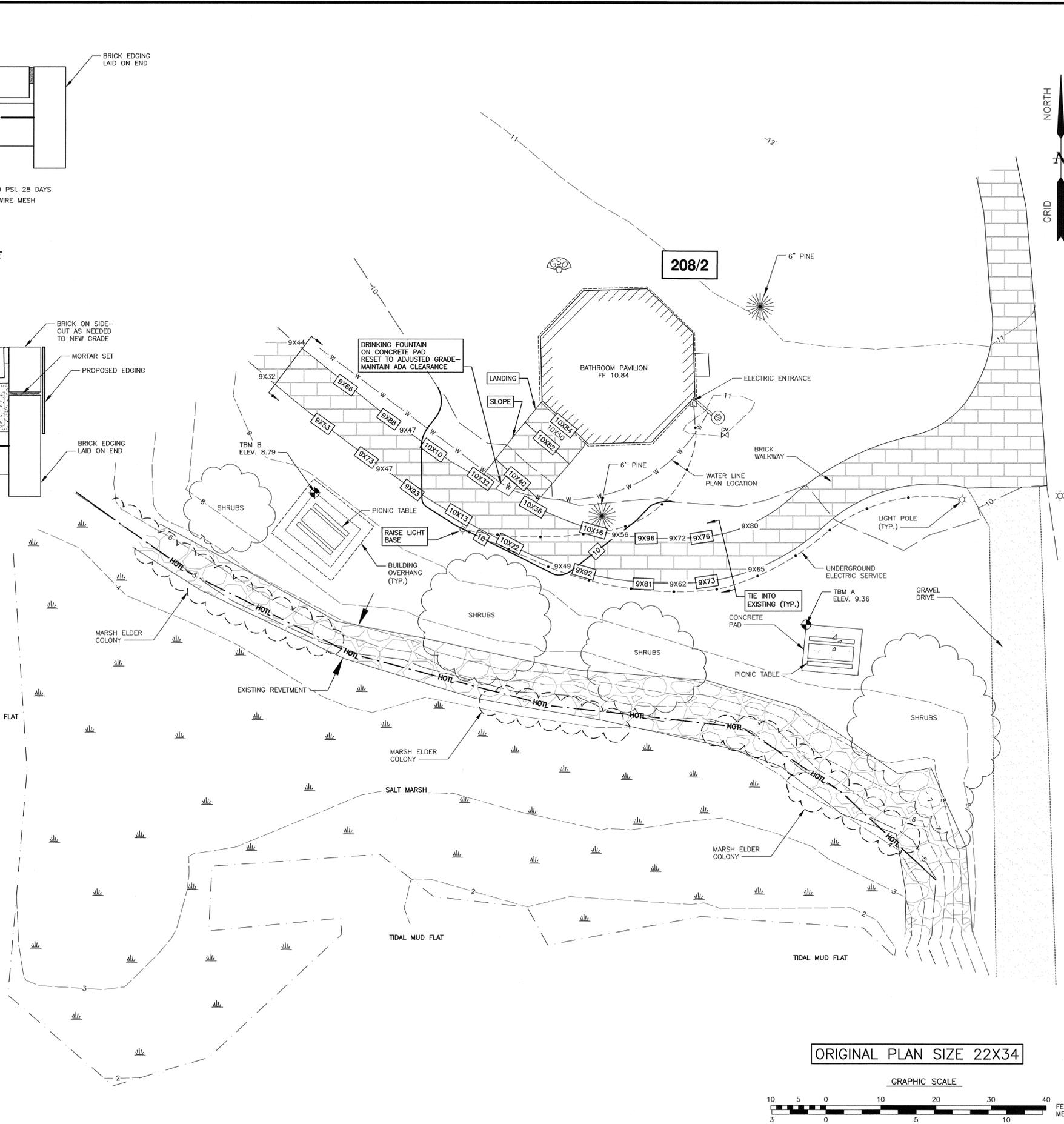
1
C2 HISTORICAL SIDEWALK SECTION
NTS



NEW BRICK
CLAY BRICK PAVER:
ARCHITECTURAL PAVERS COMPANY, BEACON
HILL SERIES, ENGLISH RED (OR APPROVED EQUAL)
- 7.75" x 3.5" x 2.25" NOMINAL (5 PER SQ. FT.)
OR COMPARABLE SIZE GRANITE PAVER

NOTES:
1) BRICK SHALL CONFORM TO ASTM C62-75A
(GRADE SW).
2) ALL WORK SHALL BE PERFORMED IN ACCORDANCE
WITH APPLICABLE CITY ORDINANCES & SPECIFICATIONS.

2
C2 REVISED BRICK WALKWAY
NTS



LOCATION MAP 1" = 2000'

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

0	8/26/24	ISSUED FOR COMMENT	EDS	JRC
No.	DATE	DESCRIPTION	BY	CHK

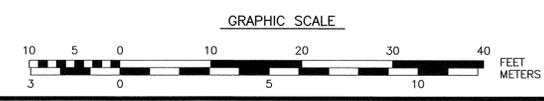
PROJECT SITE PLAN

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
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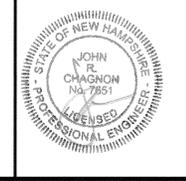
PROJECT
**4 TREE ISLAND
ADA RESTROOM RENO**

TITLE
GRADING PLAN

ORIGINAL PLAN SIZE 22X34



DATE AUGUST 2024	SCALE 1" = 10'	
DRAWN BY EDS	DESIGNED BY JRC	CHECKED BY JRC
PROJECT No. 5010486	FIELD BOOK & PAGE FB 441 PG 29	
SHEET No. SHEET 2	DWG No. C2	



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