

**RFP#16-18**  
**FOUNDRY PLACE PARKING**  
**GARAGE PERCENT FOR ART PROJECT**  
**PORTSMOUTH, N.H.**  
**December 14, 2017**  
**Addendum#3**

This Addendum forms part of the original document marked: RFP#16-18 Foundry Place Parking Garage Percent for Art Project.

The following questions have been asked and answered.

Q: Can the installer of the curtainwall system specify an offset distance (or anticipated range of offset distances) between the concrete landings in stairwell A and the glass curtainwall? See attached excerpt from construction drawing A-410.

A: **D|A: Refer to drawings A-547 for further information regarding depth of mullions at the Stairwell A.**

Q: Understanding the DSA civic space may or may not be available for installed works, are plans for this lot available that will describe the anticipated layout of this "green space"?

A: **Not yet.**

Q: Will consideration be granted exclusively to proposals submitted by individual artists, or would consideration be granted to proposals submitted by small businesses, non-profits, arts organizations, and collaborations thereof?

A: **It is an open submittal process and all submissions should be guided by the criteria put forth in the RFP.**

Q: Does Art-Speak/City of Portsmouth anticipate a preference for awarding one large arts contract, or multiple smaller contracts awarded to several parties?

A: **No.**

Q: Are specifications for the windows to be used on Stairwell A available? Will the glass utilize anti-glare and/or anti-reflective surfaces? If not, is it acceptable to install anti-glare and/or anti-reflective coatings or films to the interior/exterior of these windows?

A: **D|A: The architectural spec of the window system used at Stairwell A are as follows: (as from the Design Development)**

**Kawneer Tri-Fab 451 UT Framing system. Please refer to the provided design development diagram.**

**D|A: The architectural drawings have not determined an anti-glare/anti-reflective film on the glass.**

Q: One concept may require approximately 2 holes, apx. 3" in diameter, to be drilled through the precast concrete landings on each floor. See attached drawing (excerpt from dwg S-411) for reference. Is this non-structural modification acceptable?

A: **If the installation is intended to be on the interior of the stair towers, it is not acceptable to reduce the egress width at the landings. If the installation is intended on the exterior, it is not possible to drill holes through the curtain wall system and the side of the landings.**

Q: One concept may require the fastening of wooden or metal panels to the exterior of the building, likely on the ground floor of the east face of the garage, by way of drop-in concrete anchors. Is it acceptable to cover the decorative metal panels and windows in a way that does not inhibit cross-flow or ventilation?

A: **It is not acceptable to cover the decorative metal panels. Covering of curtain wall or openings between precast spandrels is acceptable as long as it does not reduce the square foot open space of the openings.**

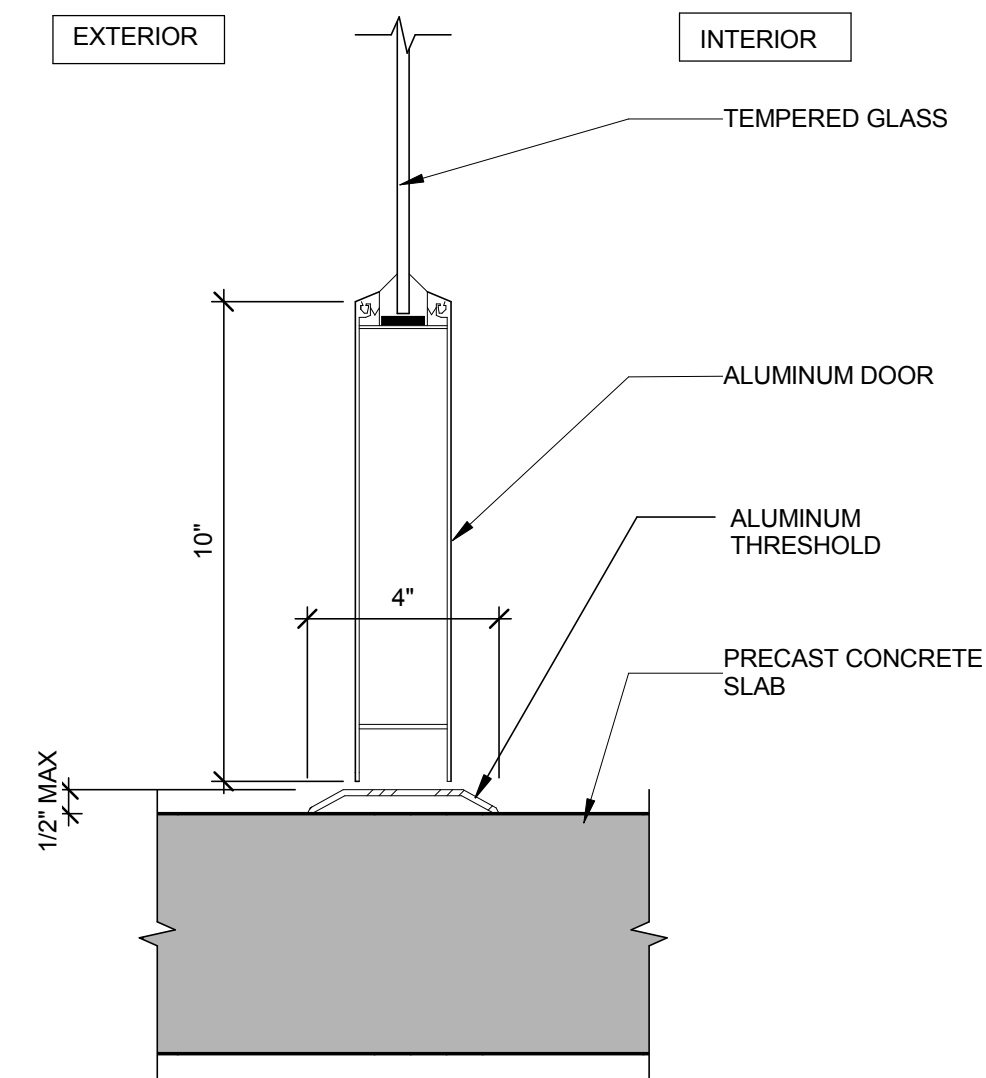
Q: Will the DSA civic space on the east side of the structure be an acceptable location for installed works, or must all works fit entirely within the confines of the parking garage lot?

A: **This particular project is limited to the confines of the parking garage lot.**

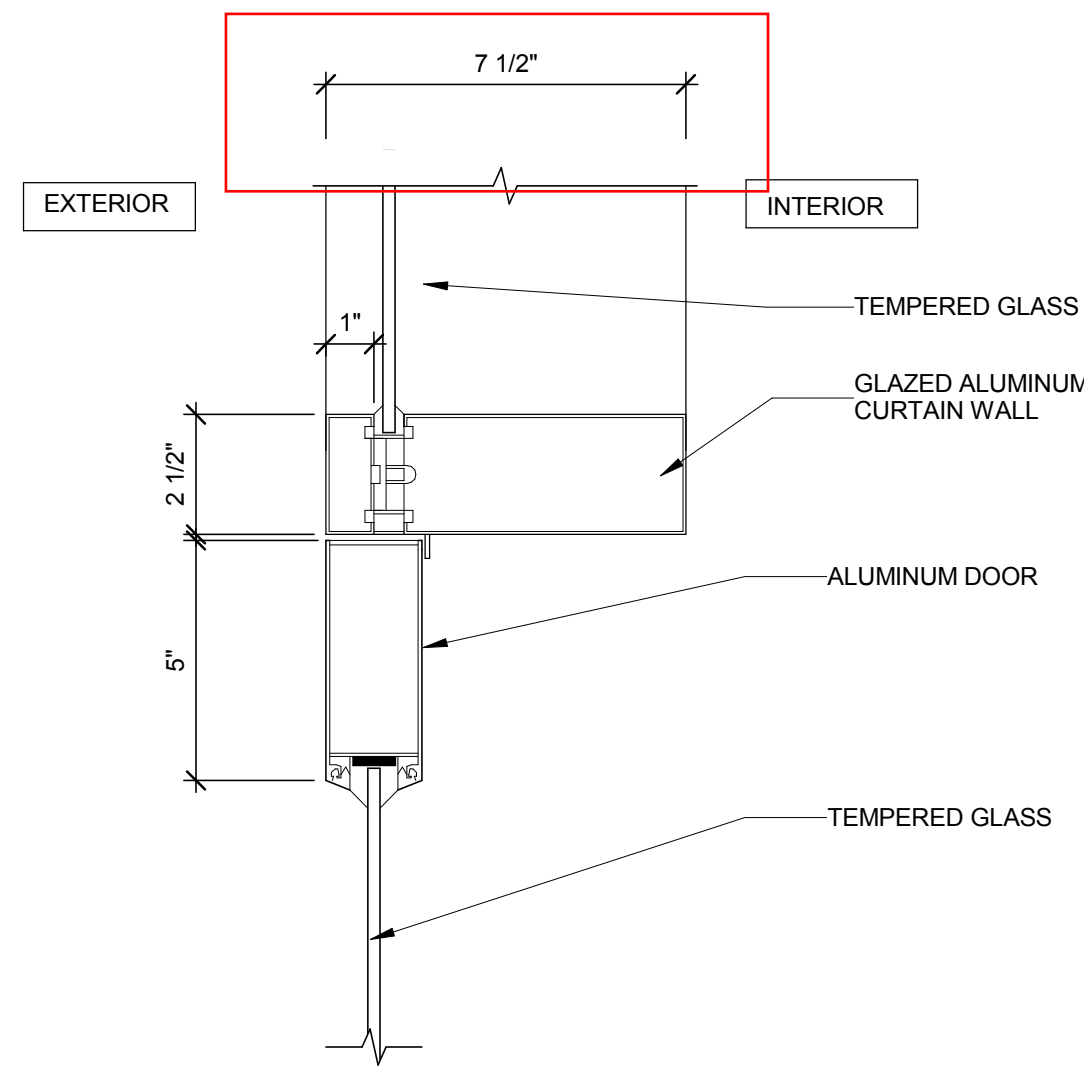
Respondents are to acknowledge this addendum within their proposal. Failure to do so may subject a respondent to disqualification.

Continue below for the attached drawings: Dimensions at Curtain Wall  
Materials & Products Presentation

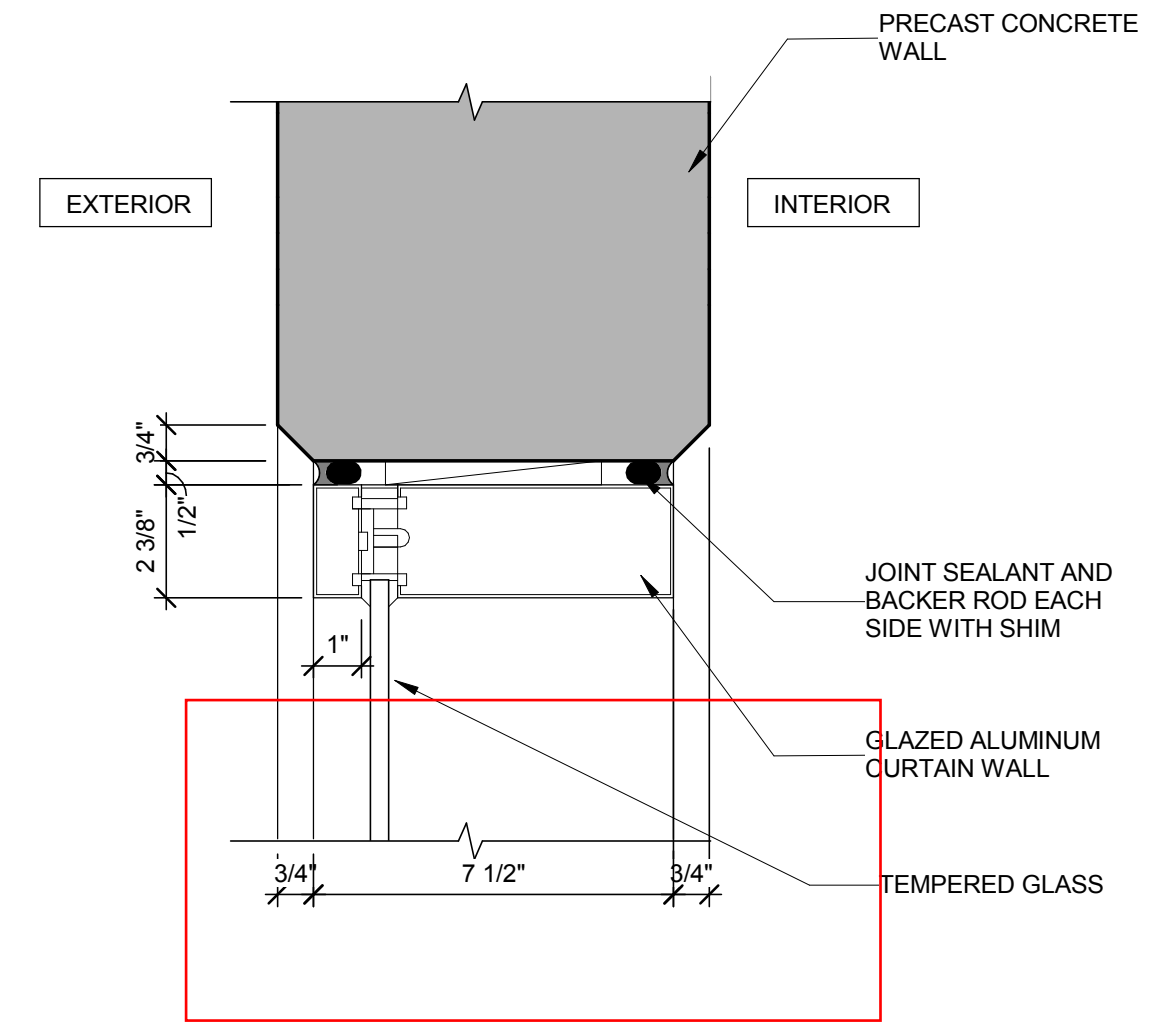
End of Addendum 3



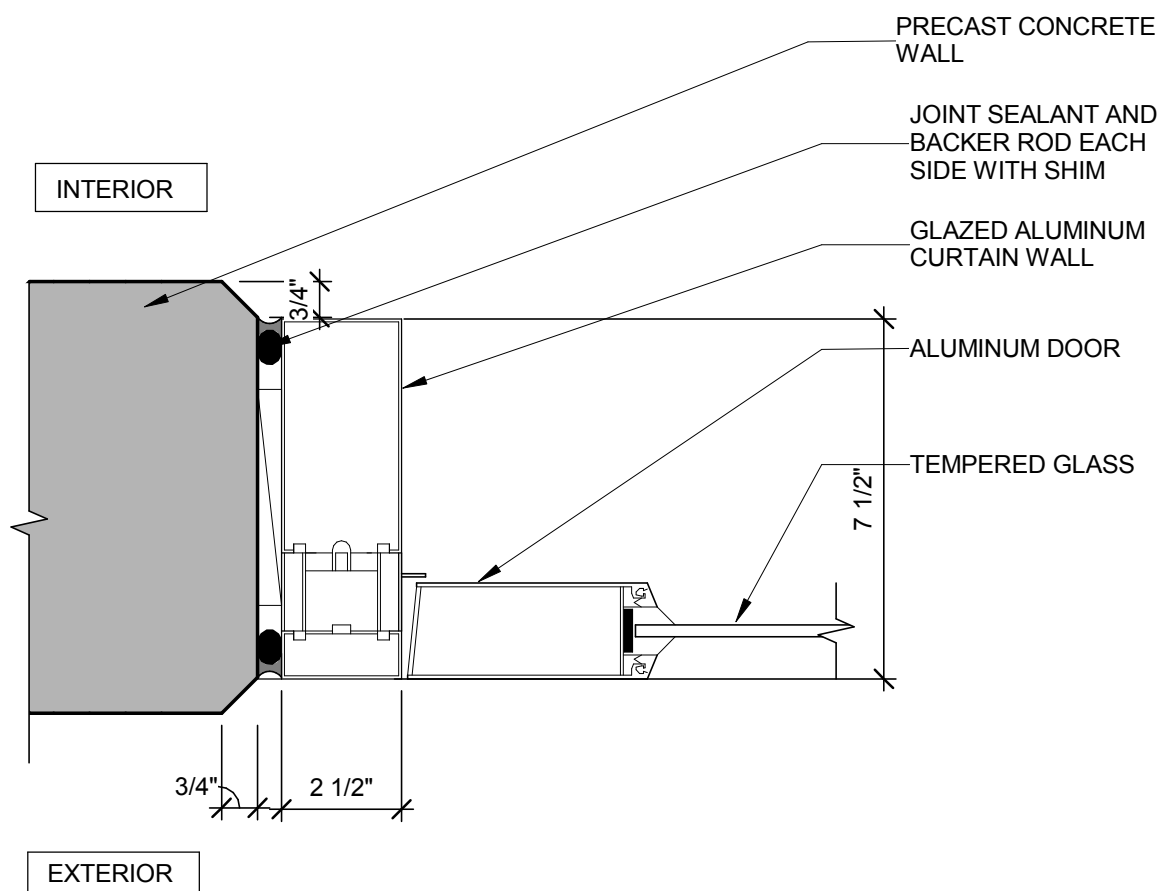
**9** DOOR SILL  
3" = 1'-0"



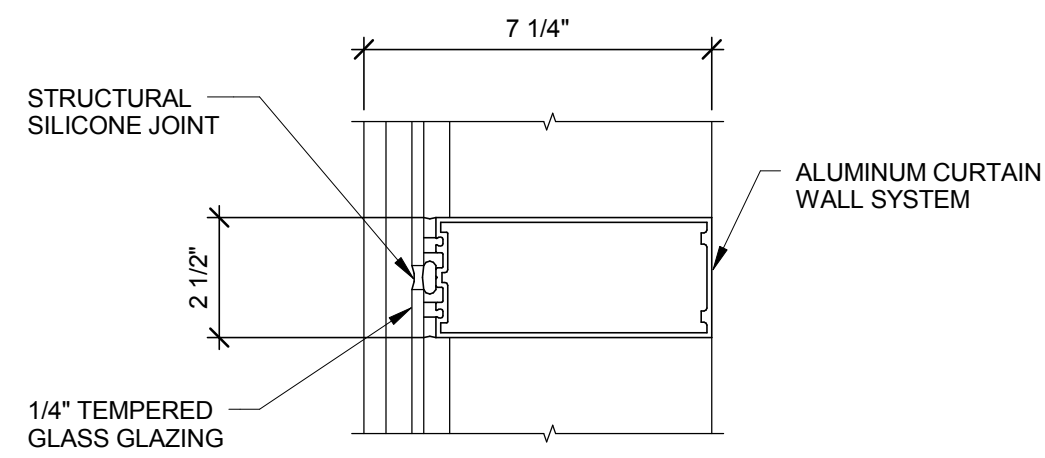
**6** DOOR HEAD AT MULLION  
3" = 1'-0"



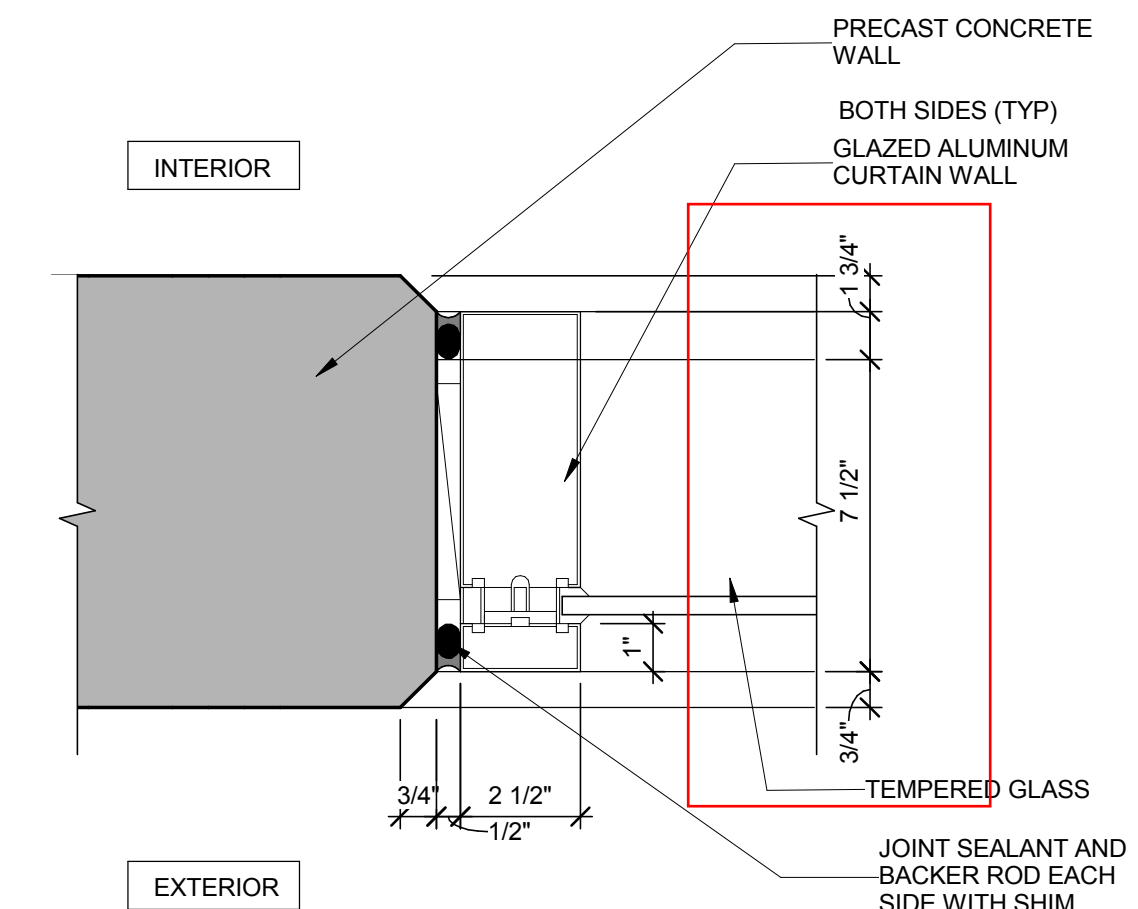
**3** HEAD AT WALL  
3" = 1'-0"



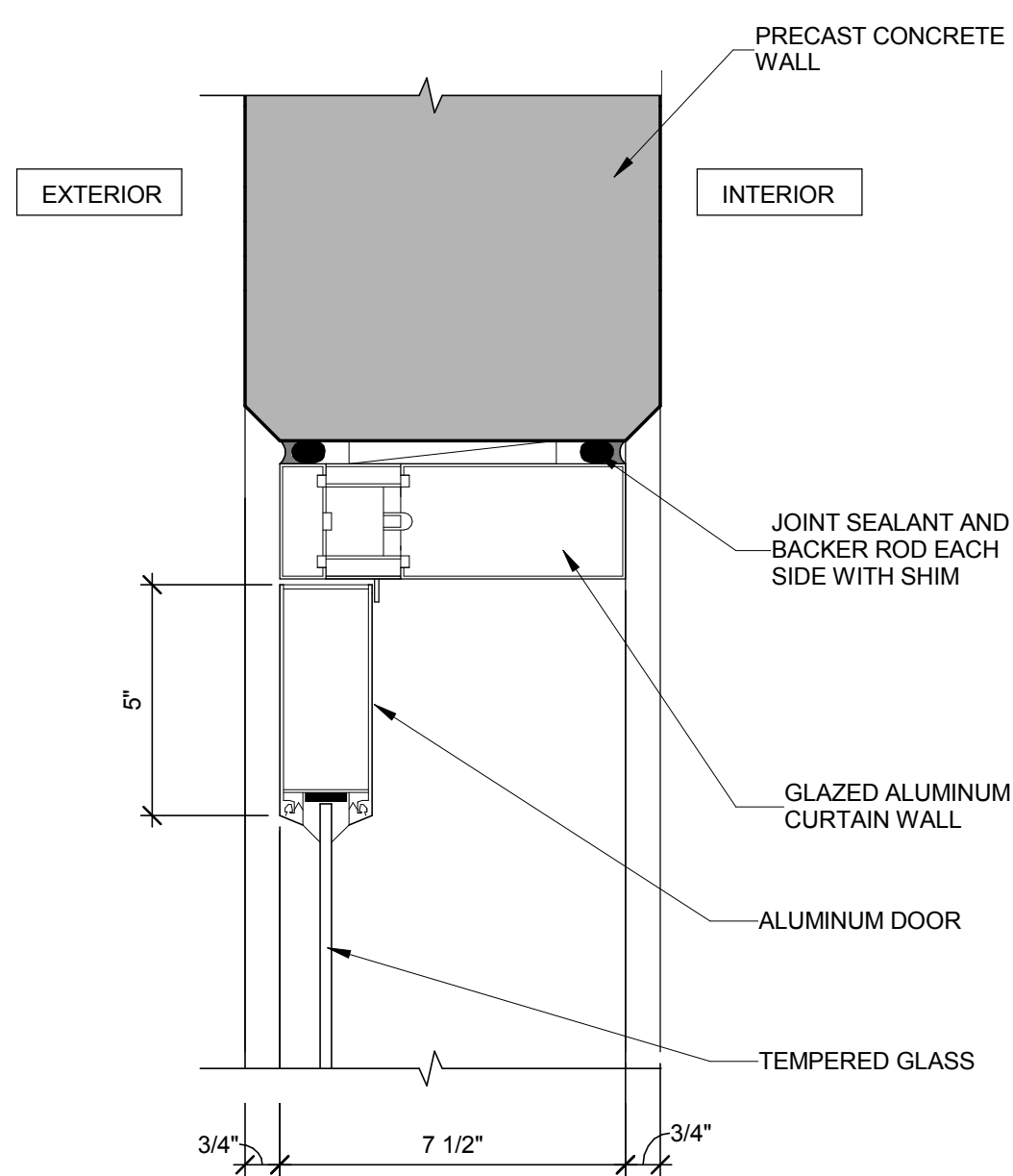
**8** DOOR JAMB AT WALL  
3" = 1'-0"



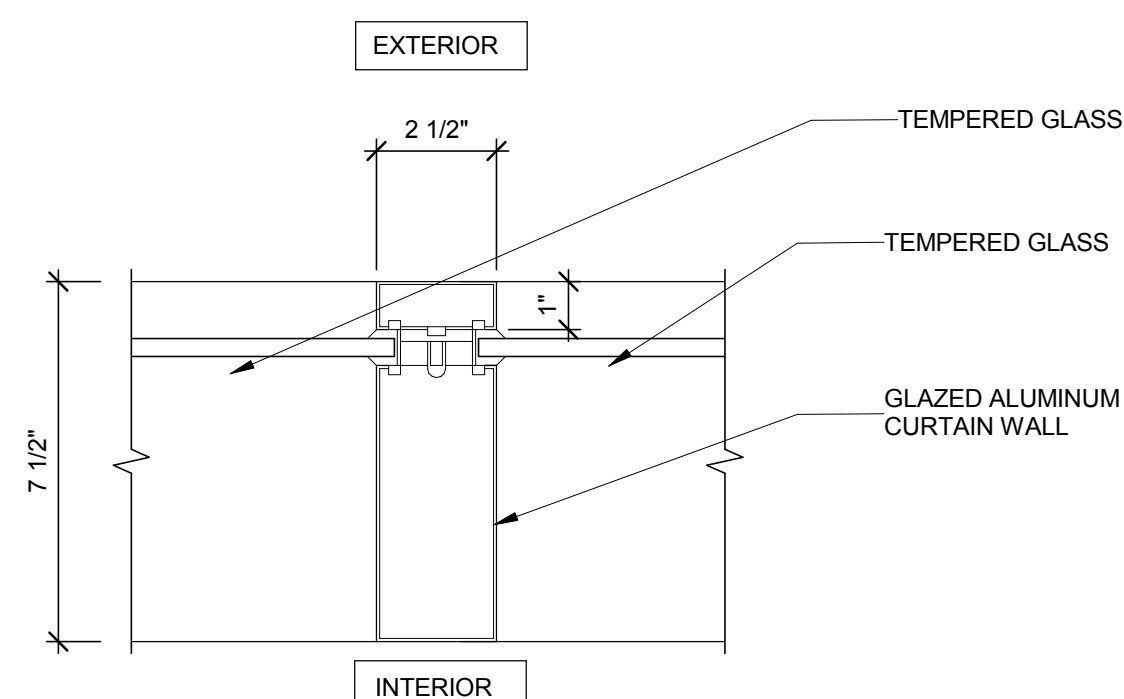
**5** STRUCTURAL SILICONE MULLION  
DETAIL  
3" = 1'-0"



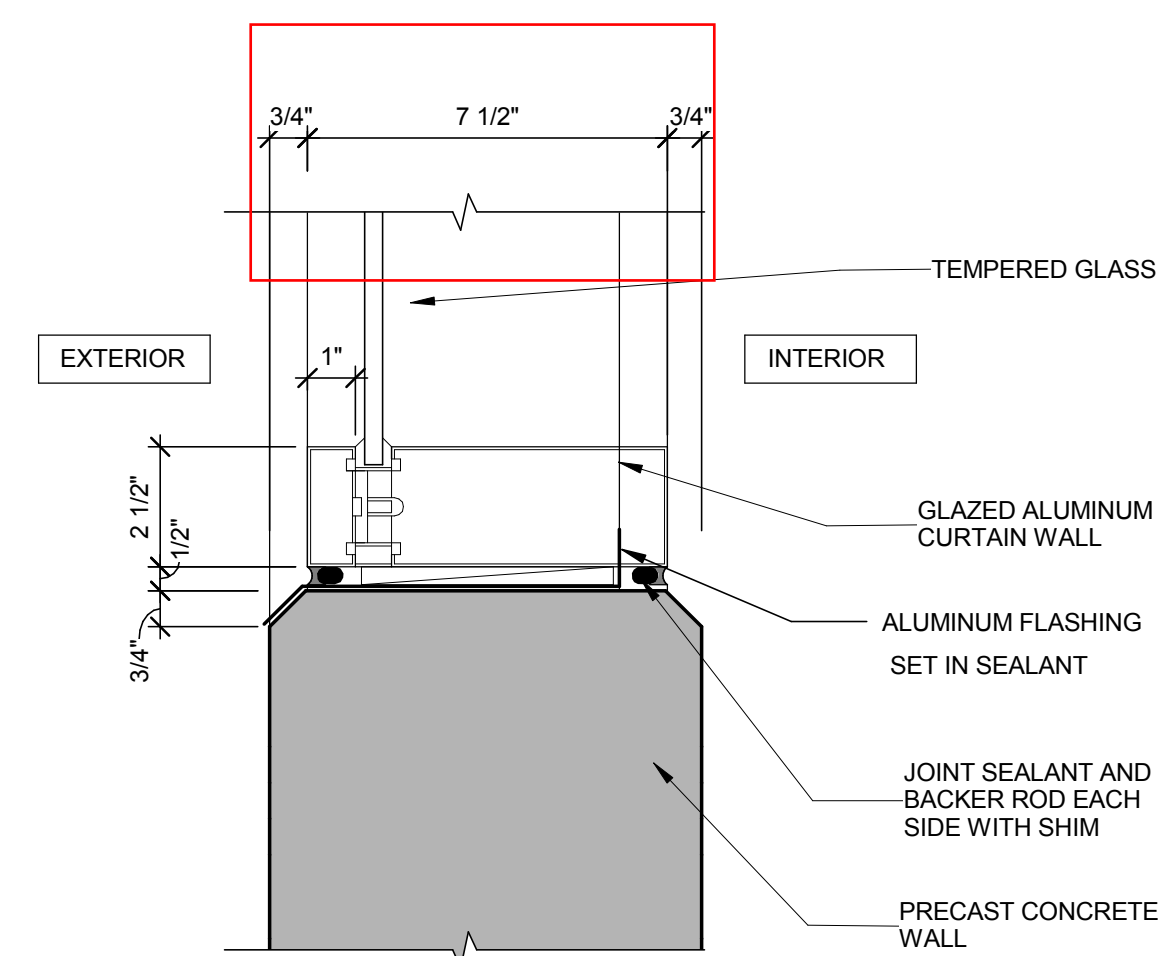
**2** JAMB AT WALL  
3" = 1'-0"



**7** DOOR HEAD AT WALL  
3" = 1'-0"



**4** INTERMEDIATE VERTICAL MULLION  
3" = 1'-0"



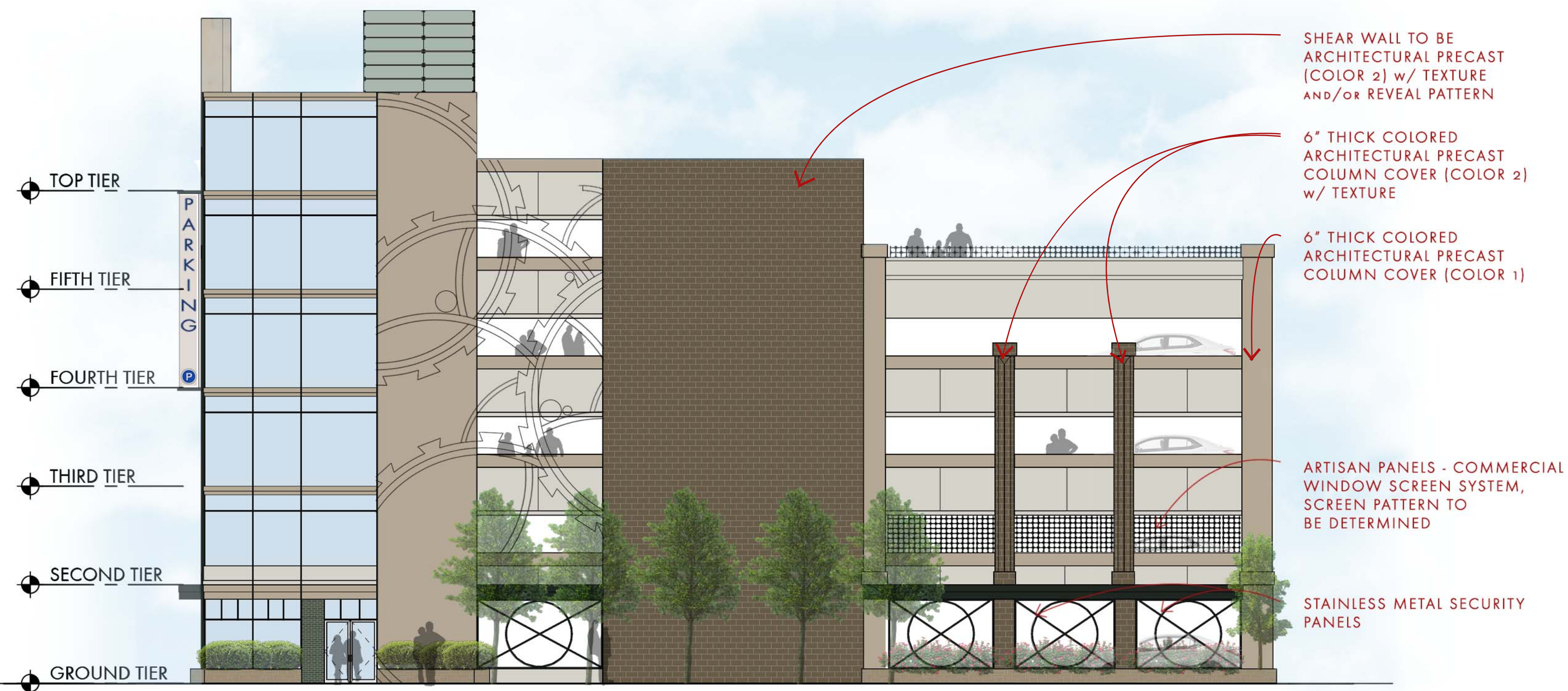
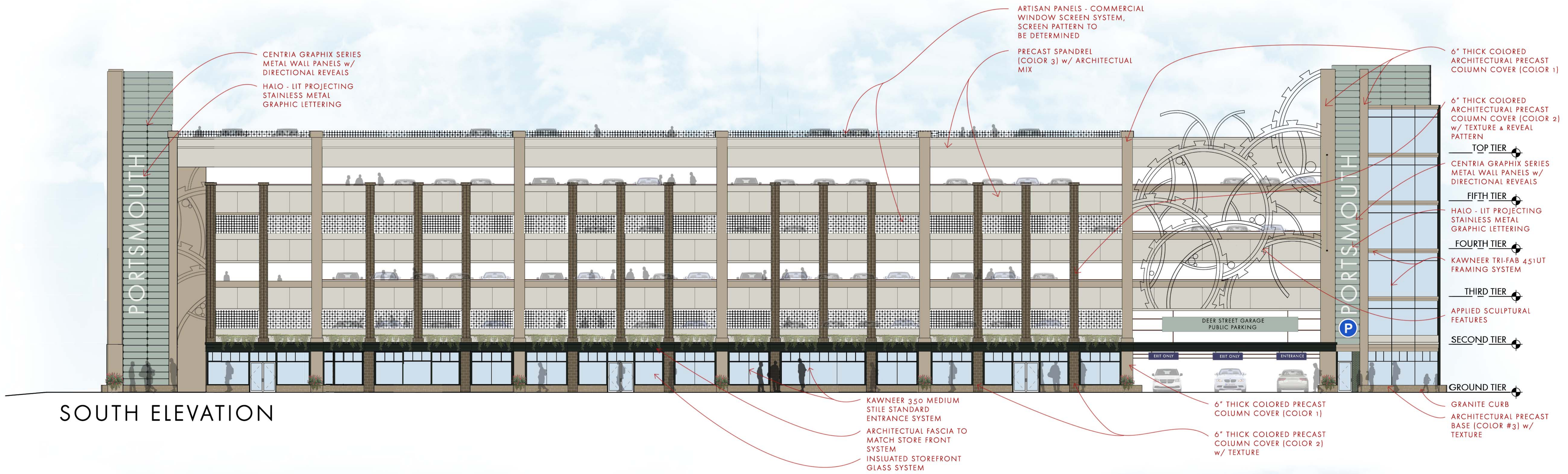
**1** SILL AT WALL  
3" = 1'-0"

MARK	DATE	DESCRIPTION	ISSUE
		07/28/2017 CONSTRUCTION DOCUMENTS	

PROJECT NO: 16-2683.01  
DRAWN BY: LEL  
CHECKED BY: SMM

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SHEET TITLE:  
CURTAINWALL DETAILS



CITY OF PORTSMOUTH  
DEER STREET PARKING GARAGE

HALEY  
ALDRICH

RDK  
ENGINEERS

Tighe & Bond  
Engineers | Environmental Specialists

D|A  
DeStefano ARCHITECTS



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DESIGN DEVELOPMENT - PROGRESS JANUARY 10, 2017