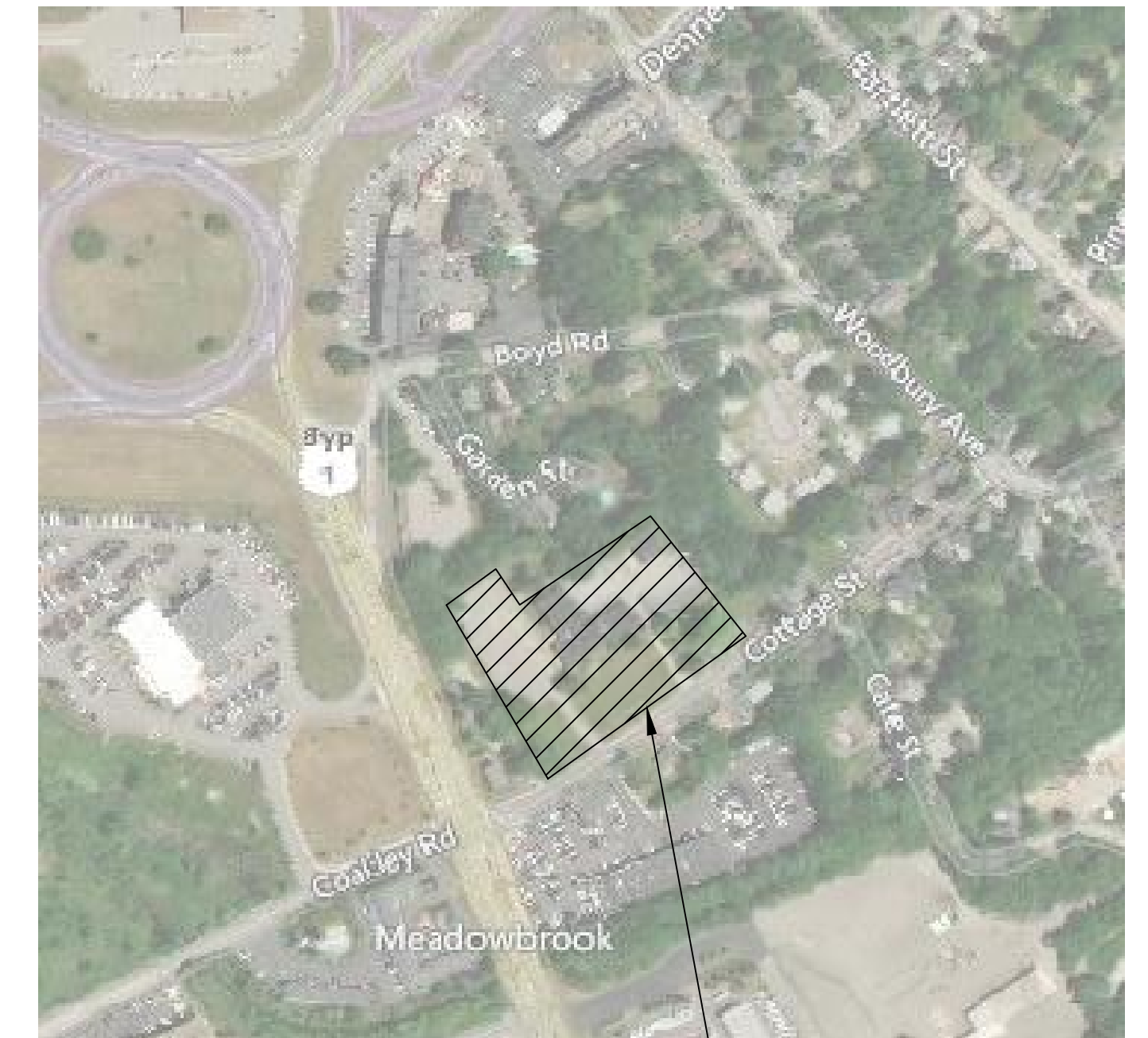
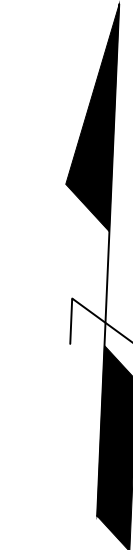


PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE STREET

PORTSMOUTH, NH

DATE ISSUED: 02/20/2019



LIST OF DRAWINGS

SHEET NO.	SHEET TITLE	PAGE NO.	SHEET NO.	SHEET TITLE	PAGE NO.
CIVIL SET			ELECTRICAL DRAWINGS		
1 OF 1	PLAN OF LAND	1 OF 16	E-1.0	ELECTRICAL GENERAL NOTES	1 OF 18
1 OF 1	TOPOGRAPHIC PLAN	2 OF 16	E-2.0	EXISTING ELECTRICAL DIAGRAM	2 OF 18
C-1.0	GENERAL NOTES AND EROSION CONTROL NOTES	3 OF 16	E-2.1	EXISTING MAIN DISTRIBUTION PANELBOARD DIAGRAM	3 OF 18
C-2.0	SITE DEMOLITION PLAN	4 OF 16	E-2.2	EXISTING RM2 PANELBOARD DIAGRAM	4 OF 18
C-3.0	SITE PLAN	5 OF 16	E-2.3	EXISTING BOILER RM AND KITCHEN PANELBOARD DIAGRAM	5 OF 18
C-4.0	PAVEMENT DEMOLITION & CONSTRUCTION PLAN	6 OF 16	E-2.4	EXISTING CORRIDOR / ASSEMBLY PANELBOARD DIRAGRAM	6 OF 18
C-5.0	SITE UTILITIES PLAN	7 OF 16	E-2.5	ELECTRICAL DEMOLITION PLAN	7 OF 18
C-6.0	SITE GRADING PLAN	8 OF 16	E-2.6	MDP AND SERVICE FEEDER DEMOLITION	8 OF 18
C-6.1	SITE GRADING PLAN	9 OF 16	E-3.0	BRANCH WIRING NEW WORK PLAN	9 OF 18
C-7.0	STORMWATER PLAN	10 OF 16	E-3.1	NEW MAIN DISTRIBUTION PANELBOARD DIAGRAM	10 OF 18
C-8.0	LANDSCAPING PLAN	11 OF 16	E-3.2	NEW ELECTRICAL SYSTEM DIAGRAM	11 OF 18
C-9.0	LIGHTING PLAN	12 OF 16	E-3.3	MDP AND SERVICE FEEDER NEW WORK	12 OF 18
C-10.0	DETAILS SHEET	13 OF 16	E-4.0	LIGHTING PLAN	13 OF 18
C-11.0	DETAILS SHEET	14 OF 16	E-5.0	EMERGENCY LIGHTING / EXIT SIGN NEW WORK PLAN	14 OF 18
C-12.0	DETAILS SHEET	15 OF 16	E-5.1	STANDBY GENERATOR NEW WORK	15 OF 18
C-13.0	DETAILS SHEET	16 OF 16	E-6.0	FIRE ALARM SYSTEM NEW WORK	16 OF 18
ARCHITECTURAL SET			E-6.1	FIRE ALARM SYSTEM SCHEDULE	17 OF 18
A100	NOTES & SYMBOLS	1 OF 15	E-7.0	SECURITY SYSTEM CONCEPT PLAN	18 OF 18
D101	DEMOLITION PLAN	2 OF 15	MECHANICAL DRAWINGS		
A201	FLOOR PLAN	3 OF 15	M-1.0	GENERAL NOTES	1 OF 18
A301	REFLECTED CEILING PLAN	4 OF 15	M-2.0	MECHANICAL DEMOLITION PLAN	2 OF 18
A401	EXTERIOR ELEVATIONS	5 OF 15	M-3.0	HVAC DUCTING PLAN-MAIN WEST	3 OF 18
A601	ADDITION - ENLARGED PLANS	6 OF 15	M-3.1	HVAC DUCTING PLAN-MAIN EAST	4 OF 18
A602	ADDITION - SECTIONS AND DETAILS	7 OF 15	M-3.2	HVAC DUCTING PLAN-ASSEMBLY HALL	5 OF 18
A701	INTERIOR ELEVATIONS	8 OF 15	M-4.0	HVAC/DUCT ELEVATIONS	6 OF 18
A702	INTERIOR ELEVATIONS	9 OF 15	M-4.1	HVAC/DUCT ELEVATIONS	7 OF 18
A703	BATH INTERIOR ELEVATIONS	10 OF 15	M-4.2	HVAC/DUCT ELEVATIONS	8 OF 18
A801	DOOR & WINDOW SCHEDULE	11 OF 15	M-5.0	HYDRONIC DISTRIBUTION PLAN-MAIN WEST	9 OF 18
A802	DOOR & WINDOW DETAILS	12 OF 15	M-5.1	HYDRONIC DISTRIBUTION PLAN-MAIN EAST	10 OF 18
A803	PARTITION TYPES & DETAILS	13 OF 15	M-6.0	VRF SYSTEMS	11 OF 18
A901	FINISH PLAN & SCHEDULE	14 OF 15	M-7.0	VRF CONTROL SYSTEMS	12 OF 18
A902	INTERIOR DETAILS	15 OF 15	M-7.1	SEQUENCE OF OPERATIONS	13 OF 18
STRUCTURAL DRAWINGS			M-8.0	DETAILS	14 OF 18
S1.0A	GENERAL NOTES	1 OF 11	M-8.1	DETAILS	15 OF 18
S1.0B	GENERAL NOTES	2 OF 11	M-9.0	SCHEDULES	16 OF 18
S1.1	VESTIBULE FOUNDATION PLAN	3 OF 11	M-9.1	SCHEDULES	17 OF 18
S1.2	EXISTING ROOF/VESTIBULE ROOF FRAMING PLAN	4 OF 11	M-10.0	CONCEPTUAL FIRE SPRINKLER PLAN	18 OF 18
S1.3	CANOPY ROOF FRAMING PLAN	5 OF 11	PLUMBING DRAWINGS		
S2.1	TYPICAL FOUNDATION DETAILS	6 OF 11	P-1.0	GENERAL NOTES	1 OF 5
S2.2	FOUNDATION SECTIONS AND DETAILS	7 OF 11	P-2.0	PLUMBING DEMOLITION PLAN	2 OF 5
S2.3	FOUNDATION SECTIONS AND DETAILS	8 OF 11	P-3.0	NEW SANITARY DRAIN PLUMBING PLAN	3 OF 5
S3.1	TYPICAL FRAMING DETAILS	9 OF 11	P-3.1	NEW DOMESTIC SUPPLY PLUMBING PLAN	4 OF 5
S3.2	FRAMING SECTIONS AND DETAILS	10 OF 11	P-4.0	DETAILS	5 OF 5
S3.3	FRAMING SECTIONS AND DETAILS	11 OF 11			

PORTSMOUTH SENIOR ACTIVITY CENTER
125 COTTAGE STREET | PORTSMOUTH, NH



OWNER

CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
JOE ALMEIDA | 603-431-2000



ENGINEER

AECm ARCHITECTS-ENGINEERS
13 WATER STREET
NEWMARKET, NH 03857
TIM NICHOLS | 603-217-2805

MANYPENNY | MURPHY ARCHITECTURE ARCHITECT

MANYPENNY-MURPHY ARCHITECTURE
96 PENHALLOW STREET
PORTSMOUTH, NH 03801
ALYSSA MURPHY | 603-319-8199



STRUCTURAL

BECKER STRUCTURAL ENGINEERS
75 YORK STREET
PORTLAND, ME 04101
PAUL BECKER | 207-879-1838

NOTES:

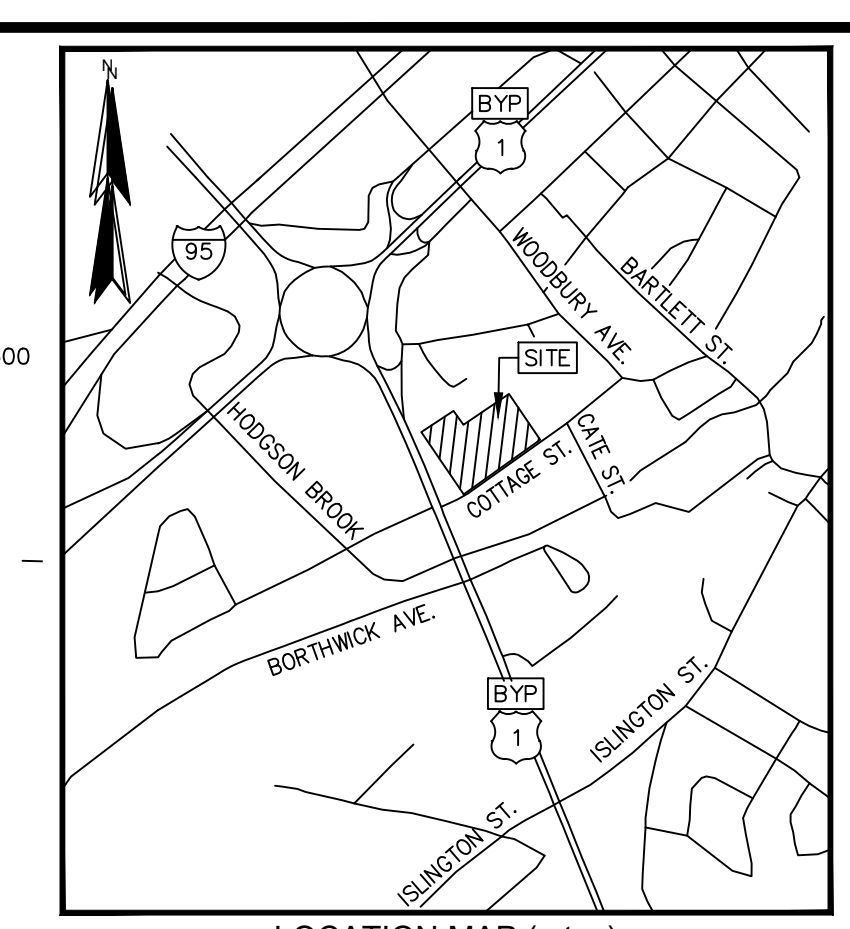
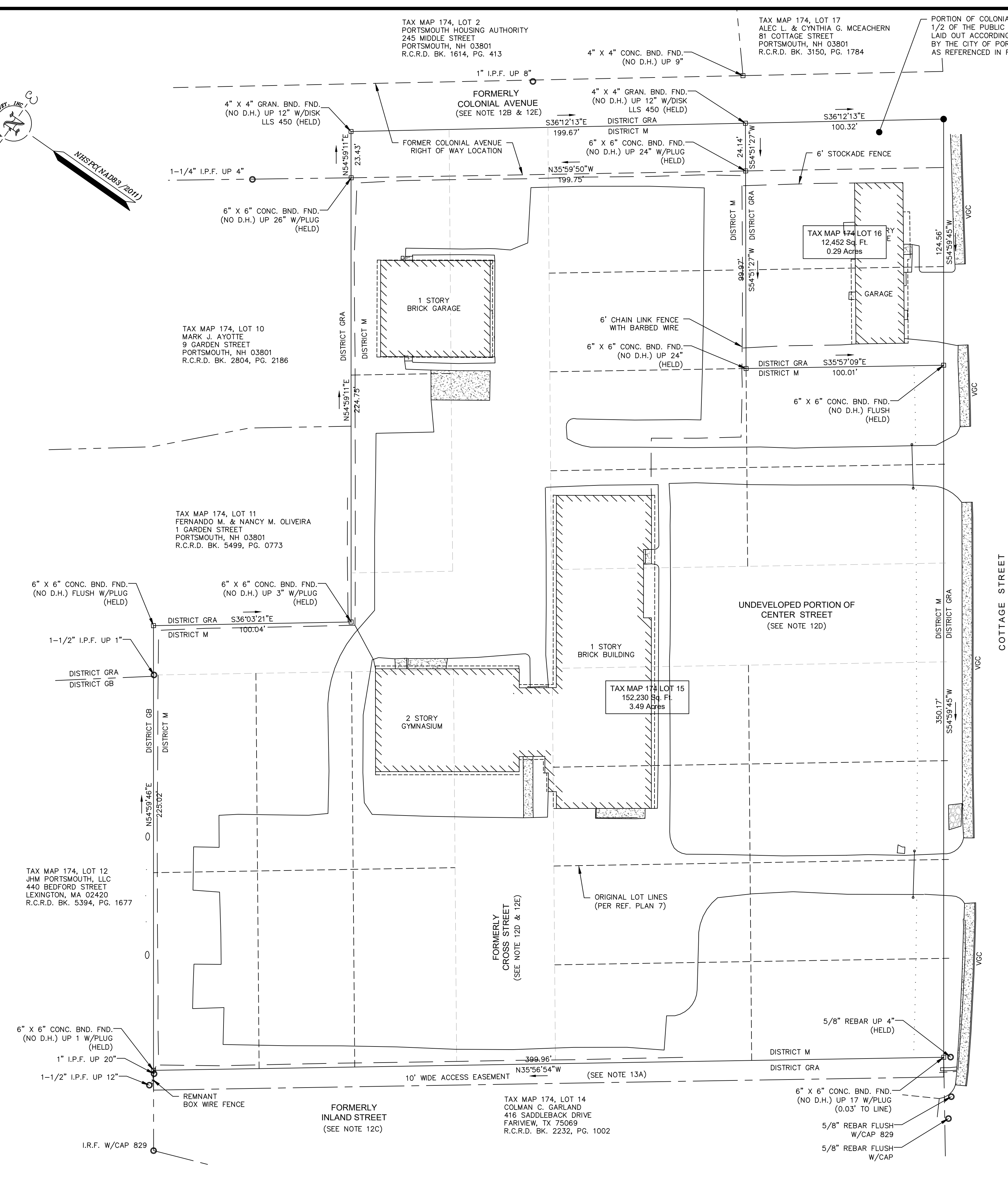
- REFERENCE: TAX MAP 174, LOTS 15 & 16
- PARCEL AREA: TAX MAP 174, LOT 15 152,230 SQ. FT. OR 3.49 AC.
TAX MAP 174, LOT 16 12,452 SQ. FT. OR 0.29 AC.
- OWNER OF RECORD:
TAX MAP 174, LOT 15
UNITED STATES OF AMERICA
125 COTTAGE STREET
1600 PENNSYLVANIA AVENUE
WASHINGTON, DC 20004
R.C.R.D. BK. 1434, PG. 51
R.C.R.D. BK. 1434, PG. 52
R.C.R.D. BK. 1419, PG. 77
R.C.R.D. BK. 1407, PG. 13
R.C.R.D. BK. 1407, PG. 14
TAX MAP 174, LOT 16
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
R.C.R.D. BK. 5594, PG. 20
- DISTRICT, LOT 15 - M. MUNICIPAL LOT 16 - GRA, GENERAL RESIDENCE A DIMENSIONAL REQUIREMENTS:
PER SECTION 10.560 OF THE CITY OF PORTSMOUTH ZONING ORDINANCE: LOTS AND BUILDINGS IN THE MUNICIPAL DISTRICT ARE EXEMPT FROM ALL DIMENSIONAL AND INTENSITY REGULATIONS.
GRA
MIN. LOT AREA 7,500 sq.ft.
MIN. FRONTAGE 100 ft.
MIN. DEPTH 70 ft.
MIN. FRONT SETBACK 15 ft.
MIN. SIDE SETBACK 10 ft.
MIN. REAR SETBACK 20 ft.
MAX. BUILDING HEIGHT 35 ft. (SLOPED ROOF)
30 ft. (FLAT ROOF)
MAX. BUILDING COVERAGE 25 %
ZONING INFORMATION LISTED HEREON IS BASED ON THE CITY OF PORTSMOUTH ZONING ORDINANCE AS AMENDED JANUARY 9, 2017 AS AVAILABLE ON THE CITY WEBSITE ON MARCH 28, 2017. ADDITIONAL REGULATIONS APPLY, AND REFERENCE IS HEREBY MADE TO THE EFFECTIVE ZONING ORDINANCE. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
- FIELD SURVEY PERFORMED BY E.J.S. & S.J.H. DURING MARCH 2017 USING A TRIMBLE S6 TOTAL STATION WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
- HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- VERTICAL DATUM IS BASED ON NGVD29 PER DISK V 28 1942 ELEV. 25.59.
- FLOOD HAZARD ZONE: "X", PER FIRM MAP 330150259E, DATED 05/17/05.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF (THE ROAD(S)) AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE "MONUMENTATION LOCATION PLAN" TO BE RECORDED OR CONTACT DOUCET SURVEY, INC. FOR CLARIFICATION OF MONUMENTS SET. (A RECORDED PLAN WILL BE PRODUCED AT THE DISCRETION OF DOUCET SURVEY, INC.).
- RIGHT OF WAYS
A. COTTAGE STREET IS A 50' WIDE RIGHT OF WAY PER R.C.R.D. PLAN #223.
B. COLONIAL AVENUE IS AN 50' WIDE UNDEVELOPED RIGHT OF WAY. THE EASTERLY BOUNDARY LINE OF THE SUBJECT PARCELS EXTENDS TO THE CENTER LINE OF THE UNDEVELOPED ROAD. CROSSING AND UNWRITTEN RIGHTS MAY STILL EXIST.
C. TITLE TO LAND THAT WAS FORMERLY KNOWN AS INLAND STREET WAS OBTAINED BY JANE GARLAND PER SUPERIOR COURT DECREE DESCRIBED IN R.C.R.D. BOOK 2232, PAGE 1002.
D. CROSS STREET AND A PORTION OF CENTER STREET ARE UNDEVELOPED STREETS THAT RUN THROUGH THE SUBJECT PARCEL. CROSSING AND UNWRITTEN RIGHTS MAY EXIST.
E. A SEARCH OF THE CITY OF PORTSMOUTH ROAD INDEX TURNED UP NO EVIDENCE THAT COLONIAL AVENUE OR CROSS STREET ARE CITY ROADS AND THAT THERE WAS EVER ANY INDICATION THAT EITHER WAS AN ACCEPTED CITY ROAD/STREET.
- THE SUBJECT PARCEL IS SUBJECT TO OR IN BENEFIT OF THE FOLLOWING EASEMENTS:
A. 10' WIDE ACCESS EASEMENT IN FAVOR OF TAX MAP 174, LOT 15, PER R.C.R.D. BOOK 2232, PAGE 1640.

- REFERENCE PLANS:
- "BOUNDARY SURVEY USARC 99TH RSC EAST PREPARED FOR UNITED STATES OF AMERICA", BY YORK LAND SERVICES, LLC, DATED AUGUST 27, 2009, R.C.R.D. PLAN D-36061.
 - "LOT LINE ADJUSTMENT, 1 & 9 GARDEN STREET PORTSMOUTH, NH, MARK J. AYOTTE & CAROL A. BURNS", BY JAMES VERRA AND ASSOCIATES, INC., DATED OCTOBER 28, 2002, R.C.R.D. PLAN D-30687.
 - "ALTA/ACSM LAND TITLE SURVEY IN PORTSMOUTH, NH FOR JHM PORTSMOUTH, LLC", BY ROBER SURVEY, R.C.R.D. PLAN D-38205.
 - "STANDARD PROPERTY SURVEY AND PROPOSED SIDEWALK EASEMENT FOR THE CITY OF PORTSMOUTH, FOR PROPERTY AT 185 COTTAGE STREET OWNED BY COLMAN C. GARLAND", BY EASTERLY SURVEYING, INC., DATED NOVEMBER 30, 2012, R.C.R.D. PLAN D-38017.
 - "STANDARD BOUNDARY SURVEY AND SUBDIVISION PLAN OF LAND, LOT 8, TAX MAP 173, 160 COTTAGE STREET PORTSMOUTH, NH", BY CIVILWORKS ENGINEERS & SURVEYORS, R.C.R.D. PLAN D-28981.
 - "SPADEA LOTS GARDEN STREET & CENTRE STREET", BY JOHN W. DURGIN CIVIL ENGINEERS, DATED NOVEMBER 1950, R.C.R.D. PLAN #01676.
 - "PLAN OF A LOT OF LAND BELONGING TO FRANK JONES", DATED JULY 1901, R.C.R.D. PLAN 223.

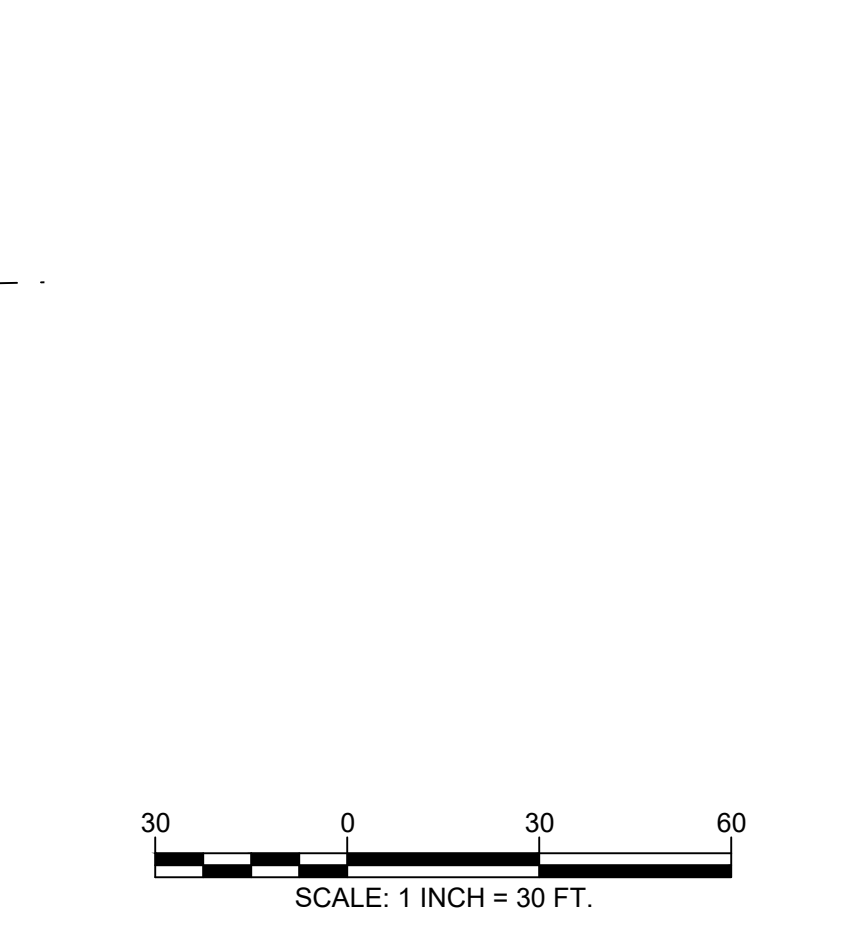
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE (NH RSA TITLE LXIV) AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

_____. L.L.S. #989
_____. DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



- LEGEND
- LOT LINE
 - RIGHT OF WAY LINE
 - EXISTING EASEMENT LINE
 - APPROXIMATE ABUTTERS LOT LINE
 - STONE WALL
 - REMNANT STONE WALL
 - STOCKADE FENCE
 - CHAIN LINK FENCE
 - CONCRETE
 - VERTICAL GRANITE CURB
 - BOUND FOUND
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - 5/8" REBAR W/D CAP TO BE SET
 - BOUND FOUND
 - DRILL HOLE
 - I.P.F.
 - IRON PIPE FOUND
 - IRON ROD FOUND
 - CONCRETE
 - GRANITE



PLAN OF LAND
FOR
AECm, LLC
OF
TAX MAP 174, LOTS 15 & 16
COTTAGE STREET
PORTSMOUTH, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY: M.T.L.	DATE: MARCH 2017
CHECKED BY: M.W.F.	DRAWING NO.: 4836A
JOB NO.: 4836	SHEET 1 OF 1

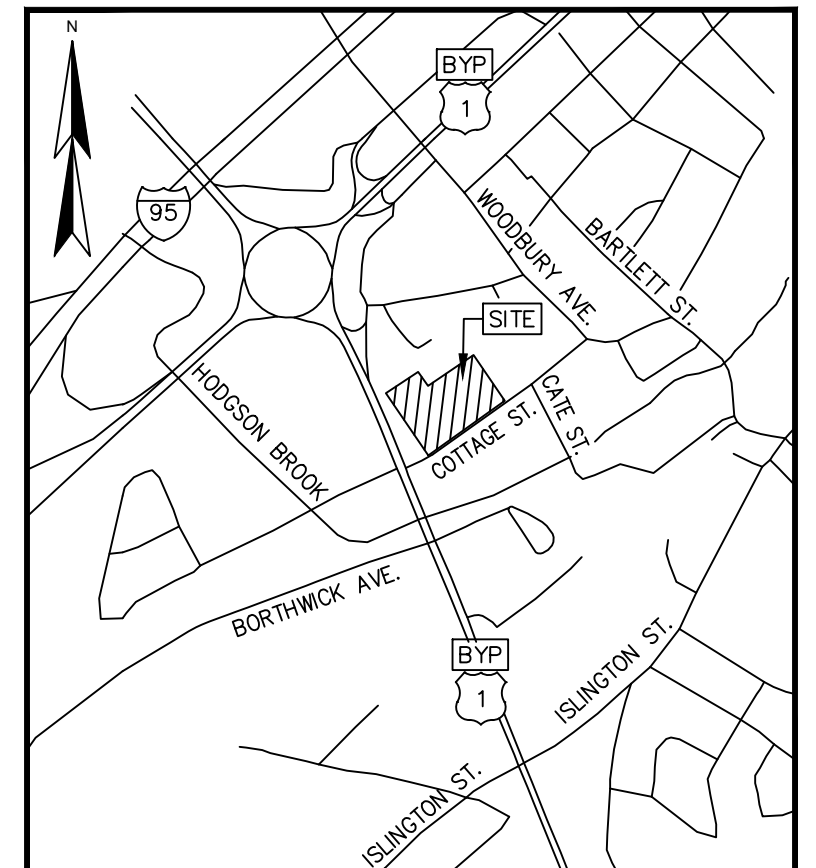
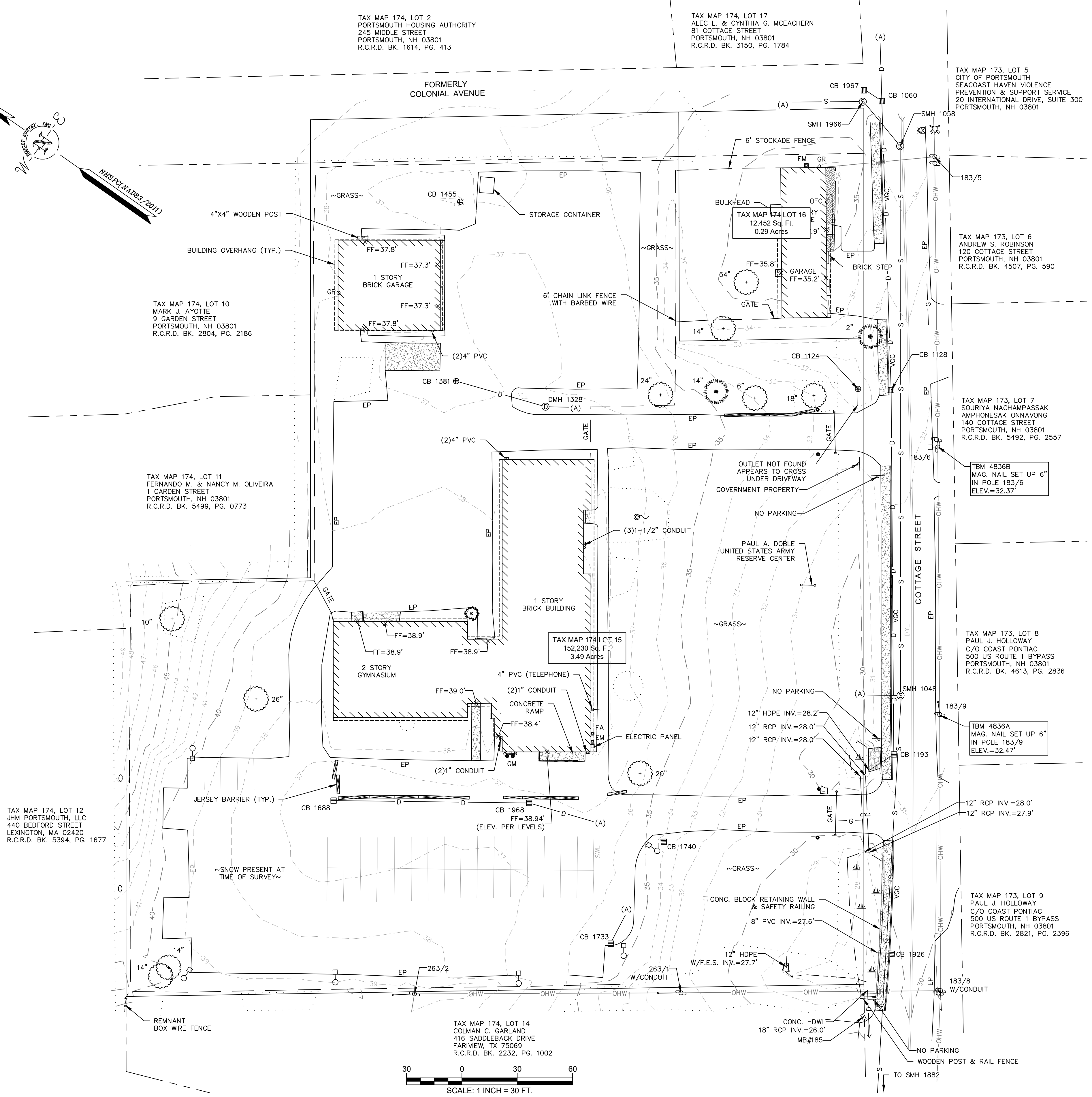
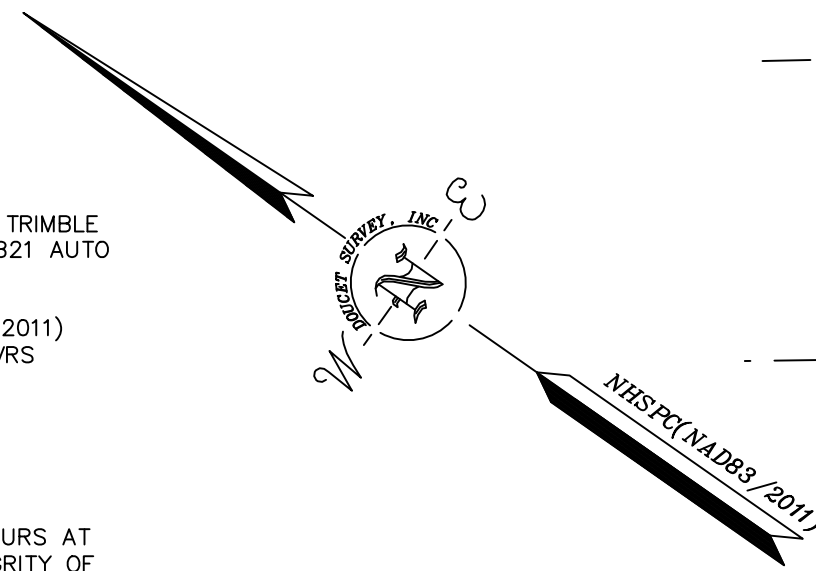
DOUCET SURVEY
 Serving Your Professional Surveying & Mapping Needs
 102 Kent Place, Newmarket, NH 03857 (603) 659-6560
 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
 10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>

FILE NAME: C:\Users\jw\Documents\Survey\174\174_15_16_17.dwg PLOT DATE: 03/28/2017 10:00:00 AM PLOT BY: JWS

NOTES:

- REFERENCE: TAX MAP 174, LOTS 15 & 16
- OWNER OF RECORD:
TAX MAP 174, LOT 15
UNITED STATES OF AMERICA
125 COTTAGE STREET
1600 PENNSYLVANIA AVENUE
WASHINGTON, DC 20004
R.C.R.D. BK. 1434, PG. 51
R.C.R.D. BK. 1434, PG. 52
R.C.R.D. BK. 1419, PG. 77
R.C.R.D. BK. 1407, PG. 13
R.C.R.D. BK. 1407, PG. 14
- FIELD SURVEY PERFORMED BY E.J.S. & S.J.H. DURING MARCH 2017 USING A TRIMBLE S6 TOTAL STATION WITH A TRIMBLE TS03 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
- HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- VERTICAL DATUM IS BASED ON NGVD29 PER DISK V 28 1942 ELEV. 25.59.
- FLOOD HAZARD ZONE: "X", PER FIRM MAP 330150259E, DATED 05/17/05.
- PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 1' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY, INC. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
- THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING; THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
- ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
- WETLANDS WERE NOT DELINEATED ON THIS SITE. OBSERVED EDGE OF WATER SHOWN IS BASED ON AN APPROXIMATE LOCATION BY DOUCET SURVEY.
- THIS SURVEY WAS PERFORMED IN WINTER CONDITIONS WITH SNOW COVER ON THE GROUND. A SITE CHECK IS RECOMMENDED IN THE SPRING IN ORDER TO ENSURE THE COMPLETENESS/ACCURACY OF THE INFORMATION SHOWN HEREON.

STRUCTURE TABLE	
DRAINAGE	CB 1740
CB 1060	RIM ELEV.=33.5'
RIM ELEV.=34.8'	(WATER) ELEV.=28'
(1128) 12" HDPE INV.=30.8'	(SILT) ELEV.=24.9'
(1967) 8" HDPE INV.=30.7'	NO PIPES VISIBLE
(A) 12" HDPE INV.=30.7'	
	CB 1926
CB 1124	RIM ELEV.=29.7'
RIM ELEV.=31.0'	(A) 8" PVC INV.=27.9'
(A) 12" RCP INV.=28.1'	
	CB 1967
CB 1128	RIM ELEV.=34.2'
RIM ELEV.=32.4'	(1060) 8" HDPE INV.=31.9'
(1060) 12" HDPE INV.=29.0'	
(1193) 12" HDPE INV.=28.9'	CB 1968
	RIM ELEV.=36.6'
CB 1193	(1688) 12" PVC INV.=31.0'
RIM ELEV.=31.2'	(A) 12" PVC INV.=N/A HOODED
(1128) 12" HDPE INV.=28.5'	(WATER) ELEV.=31.0'
(1974) 12" HDPE INV.=28.4'	(SILT) ELEV.=28.1'
	SEWER
DMH 1328	SMH 1048
RIM ELEV.=37.3'	RIM ELEV.=31.6'
(1381) 12" RCP INV.=30.7'	(1058) 8" CLAY INV.=24.7'
(A) 15" RCP INV.=30.4'	(A) 8" CLAY INV.=25.3'
	(1882) 8" CLAY INV.=24.8'
CB 1381	
RIM ELEV.=36'	SMH 1058
RUSTED SHUT	RIM ELEV.=34.6'
(1328) 12" RCP INV.=N/A	(1966) 8" CLAY INV.=28.0'
(SUMP) ELEV.=31.2'	(1048) 8" ASB INV.=27.7'
	SMH 1882
CB 1455	RIM ELEV.=35.5'
RIM ELEV.=35.5'	RIM ELEV.=29.8'
RUSTED SHUT	(1048) 8" CLAY INV.=21.1' (DROP INLET)
(WATER) ELEV.=31.8'	
(SILT) ELEV.=31.7'	SMH 1966
	RIM ELEV.=34.5'
CB 1688	(1058) 8" ASB INV.=28.2'
RIM ELEV.=36.2'	(A) 8" ASB INV.=28.1'
(1968) 12" PVC INV.=N/A HOODED	
(WATER) ELEV.=32.5'	
(SILT) ELEV.=29.7'	
ONLY 1 PIPE VISIBLE	
	CB 1733
CB 1733	RIM ELEV.=35.2'
RIM ELEV.=35.2'	(A) 12" PVC INV.=31.5'
(WATER) ELEV.=31.5'	
(SILT) ELEV.=29.4'	



LEGEND

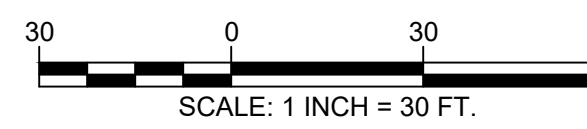
- LOT LINE
- RIGHT OF WAY LINE
- APPROXIMATE ABUTTERS LOT LINE
- STONE WALL
- REMNANT STONE WALL
- STOCKADE FENCE
- CHAIN LINK FENCE
- OVERHEAD WIRE
- SEWER LINE
- DRAIN LINE
- GAS LINE
- MAJOR CONTOUR LINE
- MINOR CONTOUR LINE
- TREE LINE
- SHRUB LINE
- OBSERVED EDGE OF WATER (SEE NOTE 11)
- STREAM
- CONCRETE
- LANDSCAPED AREA
- UTILITY POLE
- UTILITY POLE & GUY WIRE
- UTILITY POLE W/ LIGHT
- UTILITY POLE (ONE ARM)
- SIGN
- BOUND FOUND
- DRILL HOLE FOUND
- IRON PIPE/ROD FOUND
- BOLLARD
- FIRE HYDRANT
- WATER GATE VALVE
- GAS REGULATOR
- CATCH BASIN
- DRAIN MANHOLE
- FLARED END SECTION
- SEWER MANHOLE
- WETLAND AREA
- FLAG POLE
- CONIFEROUS TREE
- DECIDUOUS TREE
- TYP.
- D.H.F.
- I.P.F.
- CONC.
- FF
- TH
- EP
- VGL
- DYL
- SWL
- EM
- GM
- FA

TOPOGRAPHIC PLAN
FOR
AECm, LLC
OF
TAX MAP 174, LOTS 15 & 16
COTTAGE STREET
PORTSMOUTH, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	M.T.L.	DATE:	MARCH 2017
CHECKED BY:	M.W.F.	DRAWING NO.:	4836A
JOB NO.:	4836	SHEET	1 OF 1

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 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
 10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
 http://www.doucetsurvey.com



PROJECT NAME AND LOCATION

PORTSMOUTH SENIOR ACTIVITY CENTER 43° 4'15.94"N
125 COTTAGE ST. 70°46'40.85"W
PORTSMOUTH, NH 03801

DESCRIPTION

THE PROJECT CONSISTS OF THE ADAPTIVE REUSE OF THE FORMER DOBLE ARMORY. THE PROJECT ENTAILS UPGRADES OF ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE CIVIL SYSTEMS.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 25,260 SQ. FT.

SOIL CHARACTERISTICS

BASED ON THE NRCS SOIL SURVEY FOR ROCKINGHAM COUNTY THE SOILS CONSISTS OF 'URBAN LAND-CANTON COMPLEX'.

NAME OF RECEIVING WATER

THE STORM WATER RUNOFF WILL FLOW VIA A CLOSED DRAINAGE SYSTEM TO ONE OF TWO EXISTING OUTFALLS NORTH MILL POND.

SEQUENCE

- CUT AND CLEAR TREES.
- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
 - NEW CONSTRUCTION.
 - DISPOSAL OF SEDIMENT SPOIL, STUMP AND OTHER SOLID WASTE.
 - CONTROL OF DUST.
 - CONSTRUCTION ACCESS.
 - PROXIMITY OF CONSTRUCTION SITE TO RECEIVING WATERS.
 - CONSTRUCTION DURING LATE WINTER AND EARLY SPRING.
- ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION, PERCOLATION, AND SEDIMENTATION BASINS TO BE STABILIZED USING VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
- CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREAS SHALL BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION.
- BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER CONSTRUCTION.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

NOTE: THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

EROSION CONTROL NOTES

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE 'NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION' PREPARED BY THE NHDES.
- BEFORE ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALE, SILT FENCES, SILT SACKS AND SILT SOCKS, AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
- SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, HAY BALE BARRIERS, AND/OR SILT SOCKS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT BEING TREATED SHALL RECEIVE 6" LOAM, SEED, AND FERTILIZER.
- INSPECT ALL SILT PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

- THIS PROJECT DOES NOT EXCEED ONE (1) ACRE OF DISTURBANCE AND DOES NOT REQUIRE A SWPPP.
 - THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT.
 - 1.1.1. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE SHALL BE MADE AT LEAST ONCE A WEEK OR WITH 24 HOURS OF STORM 0.25 INCHES OR GREATER.
 - 1.1.2. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR.
 - 1.1.3. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES.
 - IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

STABILIZATION

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- WINTER STABILIZATION PRACTICES:
 - ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHOR NETTING, ELSEWHERE.
 - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
 - AFTER NOVEMBER 15TH, INCOMPLETE GRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED ROAD PERR NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21)

CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING.
- MULCHING.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THESE AREAS, SILT FENCES AND HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION, RUN OFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUN OFF FROM THE SITE WILL BE FILTERED THROUGH HAY BALE BARRIERS AND SILT FENCES OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15TH.

DUST CONTROL

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST THROUGHOUT THE CONSTRUCTION PERIOD.
- DUST CONTROL METHODS SHALL INCLUDE BUT ARE NOT LIMITED TO, SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
- DUST CONTROL MEASURES SHALL BE UTILIZED TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJACENT AREAS.

STOCK PILES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.
- CONTRACTOR SHALL NOT TRANSPORT ANY LOAM OR OTHER SOILS FROM THE SITE WITHOUT OWNER AUTHORIZATION.

VEGETATION

- VEGETATIVE GRASS COVER:
 - SEEDBED PREPARATION: APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10, APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE.
 - SEEDING:
 - UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE.
 - WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
 - APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.
 - MAINTENANCE: TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED, AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE, AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMMS, ETC.).
- VEGETATIVE PRACTICE:
 - FOR PERMANENT MEASURES AND PLANTINGS.
 - LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
 - FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO OF THE SURFACE. FERTILIZE APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
 - SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH.
 - SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN, IMMEDIATELY BEFORE SEEDING. THE SOIL SHALL BE LIGHTLY RAKED: ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE.
 - THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT ERODING THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RE-SEEDED, AND ALL NOXIOUS WEEDS REMOVED.
 - THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED BY THE OWNER.
 - A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

SEEDING RATE	
CREeping RED FESCUE	20 LBS/ACRE
TALL FESCUE	20 LBS/ACRE
REdTOP	2 LBS/ACRE

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15TH. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
 - DORMANT SEEDING (SEPTEMBER 1TH TO FIRST SNOWFALL): FOLLOW PERMANENT MEASURES FOR SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE INCORPORATING WINTER RYE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE.
 - THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY.
 - IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER.
 - CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS.
 - INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES

- DISCHARGES FROM FIRE-FIGHTING ACTIVITIES.
- FIRE HYDRANT FLUSHING.
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED.
- WATER USED TO CONTROL DUST.
- POTABLE WATER INC. UNCONTAMINATED WATER LINE FLUSHING.
- ROUTINE EXTERNAL BUILDING WASH DOWN - NO DETERGENTS.
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATE.

- FOUNDATION OR FOOTING DRAINS - NOT CONTAMINATED.
- UNCONTAMINATED EXCAVATION DEWATERING.
- LANDSCAPE IRRIGATION.

WASTE DISPOSAL

- WASTE MATERIALS:
 - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER.
 - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE.
 - ALL PERSONNEL SHALL BE INSTRUCED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE:
 - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.
 - SITE PERSONNEL SHALL BE INSTRUCED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE:
 - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

- CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
- THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
 - GOOD HOUSEKEEPING. THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
 - ONLY SUFFICIENT AMOUNTS OF PRODUCTS REQUIRED SHALL BE STORED ON SITE.
 - ALL MATERIALS STORED ON SITE SHALL BE IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER CLOSURE.
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
 - SUBSTANCES SHALL NOT BE MIXED UNLESS RECOMMENDED BY THE MANUFACTURER.
 - CONTAINERS SHALL BE EMPTY PRIOR TO DISPOSAL.
 - HAZARDOUS PRODUCTS: THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
 - SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURERS RECOMMENDED METHODS OF DISPOSAL.
 - PRODUCT SPECIFICATION PRACTICES: THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
 - PETROLEUM PRODUCTS:
 - ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE.
 - PETROLEUM PRODUCTS SHALL BE STORED IN ORIGINAL MANUFACTURER LABELED CONTAINERS AND SEALED ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
 - FERTILIZERS:
 - FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS.
 - ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER.
 - STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
 - PAINTS:
 - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.
 - EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM.
 - EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURERS INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
 - SPILL CONTROL PRACTICES: IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
 - ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED.
 - THE SITE SUPERINTENDENT SHALL BE RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
 - VEHICLE FUELING AND MAINTENANCE PRACTICE:
 - CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY.
 - CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY.
 - IF POSSIBLE, THE CONTRACTOR SHALL KEEP AREA COVERED.
 - CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA.
 - THE CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA.
 - VEHICLES SHALL BE INSPECTED REGULARLY FOR LEAKS AND DAMAGE.
 - CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

ADA COMPLIANCE

- PARKING:
 - PARALLEL PARKING SPOTS SHALL BE NO LESS THAN 8.5 FEET IN WIDTH AND 20 FEET IN DEPTH. MINIMUM WIDTH OF A CORRESPONDING 1-WAY TRAFFIC AND 2-WAY TRAFFIC SHALL BE 14 FEET AND 24 FEET RESPECTIVELY.
 - 45° PARKING SPOTS SHALL BE NO LESS THAN 8.5 FEET IN WIDTH AND 19 FEET IN DEPTH. MINIMUM WIDTH OF A CORRESPONDING 1-WAY TRAFFIC AND 2-WAY TRAFFIC SHALL BE 16 FEET AND 24 FEET RESPECTIVELY.
 - 90° PARKING SPOTS SHALL BE NO LESS THAN 8.5 FEET IN WIDTH AND 19 FEET IN DEPTH. MINIMUM WIDTH OF A CORRESPONDING 1-WAY TRAFFIC AND 2-WAY TRAFFIC SHALL BE 24 FEET.
- PEDESTRIAN CIRCULATION:

- A MINIMUM 5-FOOT WIDE PEDESTRIAN PATH SHALL BE PROVIDED.
- SIDEWALKS AND PEDESTRIAN PATHWAYS LONGER THAN 500 FEET SHALL PROVIDE AREAS FOR STANDING AND SITTING AND MAY INCLUDE PEDESTRIAN AMENITIES SUCH AS BENCHES, TABLES, SHADE TREES OR GRASSY AREAS.
- SUCH PEDESTRIAN AREAS SHALL BE A MINIMUM OF 100 SQUARE FEET IN AREA AND SHALL BE PROVIDED AT REGULAR INTERVALS OF 300 FEET ALONG THE SIDEWALK OR PEDESTRIAN PATHWAY.

GENERAL NOTES

- STANDARD CONSTRUCTION WORK PERIOD IS MONDAY THROUGH FRIDAY FROM 0700 TO 1800. CONTRACTOR SHALL REQUEST AUTHORIZATION FROM CITY FOR WORK OUTSIDE OF THIS PERIOD AT LEAST 72 HOURS IN ADVANCE.
- PLANS HAVE BEEN COMPILED FROM EXISTING RECORD PLANS, ON-SITE FIELD SURVEY AND OBSERVATION.
- UNLESS OTHERWISE NOTED, ALL EXISTING FEATURES DESIGNATED ON THE PLANS TO REMAIN INCLUDING, BUT NOT LIMITED TO, TREES, SIGNS, SIGN POSTS, CURBS, SIDEWALKS AND BACK OF SIDEWALK FEATURES WILL BE VERIFIED, LOCATED, AND PROTECTED DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH CITY OF PORTSMOUTH STANDARDS.
- NEW WHEEL CHAIR RAMPS AND ACCESSIBLE FEATURES WILL BE PROVIDED WHERE REQUIRED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION OF THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS AND ALL ADDENDA ISSUED THERE AFTER.
- SURVEY CONTROL BOUNDS AND STREET LINE MONUMENTATION SHALL NOT BE DISTURBED DURING THE COURSE OF WORK AND SHALL BE PROTECTED. SHOULD ANY AND BE DISTURBED, THE CONTRACTOR WILL BE REQUIRED TO HIRE, AT HIS OWN EXPENSE, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEW HAMPSHIRE TO REPLACE AND/OR RESET THE BOUND TO ITS ORIGINAL POSITION.
- SALVAGED ITEMS AS NOTED ARE TO BECOME THE PROPERTY OF THE CITY OF PORTSMOUTH.
- FEATURES MAY BE SHOWN WITHIN THE LIMIT OF WORK THAT ARE NOT EXPLICITLY CALLED OUT FOR REMOVAL OR DEMOLITION. DEMOLISH ALL FEATURES WITHIN THE LIMIT OF WORK REQUIRED TO COMPLETE THE WORK OF THE PROJECT.
- PREVENT ANY DISTURBANCE OR DAMAGE TO ADJACENT PROPERTIES.
- CONTRACTOR SHALL REPORT ALL SPILLS AND LEAKS OF OIL OR OTHER HAZARDOUS SUBSTANCES (IE OIL, ANTIFREEZE, CHEMICALS, ETC.) OCCURRING DURING THE PERFORMANCE OF THIS CONTRACT IMMEDIATELY UPON DISCOVERY, REGARDLESS OF THE QUANTITY. CALL THE FIRE DEPARTMENT TO REPORT THE SPILL. THE CITY OF PORTSMOUTH RESERVES THE RIGHT TO CLEAN UP, PACKAGE AND DISPOSE OF CONTRACTOR SPILLS OCCURRING ON THE SITE, AND BILL SUCH COSTS TO THE CONTRACTOR.
- IF ADDITIONAL MATERIAL, NOT INDICATED, THAT MAY BE HAZARDOUS TO HUMAN HEALTH UPON DISTURBANCE DURING CONSTRUCTION OPERATIONS IS ENCOUNTERED, STOP THAT PORTION OF WORK AND NOTIFY THE CITY OF PORTSMOUTH AND DPW IMMEDIATELY.

AS BUILT NOTES

- CHANGES FROM THE CONTRACT PLANS WHICH ARE MADE IN THE WORK OR ADDITIONAL INFORMATION WHICH MIGHT BE UNCOVERED IN THE COURSE OF CONSTRUCTION MUST BE ACCURATELY AND NEATLY RECORDED AS THEY OCCUR BY MEANS OF DETAILS AND NOTES. THE CONTRACTOR SHALL PREPARE AND PROVIDE TO THE CITY OF PORTSMOUTH WORKING RECORD AS SPECIFIED HEREIN. THE CITY OF PORTSMOUTH MAY DEDUCT FROM THE MONTHLY PROGRESS PAYMENT AN AMOUNT REPRESENTING THE ESTIMATED COST OF MAINTAINING THE RECORD DRAWINGS. THIS MONTHLY DEDUCTION WILL CONTINUE UNTIL AN AGREEMENT CAN BE REACHED BETWEEN THE CITY OF PORTSMOUTH AND THE CONTRACTOR REGARDING THE ACCURACY AND COMPLETENESS OF UPDATED DRAWINGS. THE CONTRACTOR SHALL SHOW ON THE WORKING AND FINAL RECORD DRAWINGS, BUT NOT LIMITED TO, THE FOLLOWING INFORMATION:
 - THE ACTUAL LOCATION (ELEVATION AND HORIZONTAL COORDINATES), MATERIALS AND SIZES OF ALL SUB-SURFACE UTILITY LINES. IN ORDER THAT THE LOCATION OF THESE LINES AND APPURTENANCES MAY BE DETERMINED IN THE EVENT THE SURFACE OPENINGS OR INDICATORS BECOME COVERED OVER OR OBSCURED, SHOW BY OFFSET DIMENSIONS TO TWO PERMANENTLY FIXED SURFACE FEATURES THE END OF EACH RUN INCLUDING EACH CHANGE IN DIRECTION ON THE RECORD DRAWINGS OR HORIZONTAL COORDINATES BASED ON THE SHIPYARD DATUM. LOCATE VALVES, FITTINGS, SPLICE BOXES AND SIMILAR APPURTENANCES BY DIMENSIONING ALONG THE UTILITY RUN FROM A REFERENCE POINT. ALSO, RECORD THE DEPTH BELOW THE SURFACE OF EACH RUN OF PIPE, FITTINGS, VALVES, ETC.
 - THE LOCATION AND DIMENSIONS OF ANY CHANGES WITHIN THE BUILDING STRUCTURE.
 - CORRECT GRADE, ELEVATIONS, CROSS SECTION, OR ALIGNMENT OF ROADS, EARTHWORK, STRUCTURES OR EXISTING AND NEW UTILITIES IF ANY CHANGES WERE MADE FROM CONTRACT PLANS.
 - CHANGES IN DETAILS OF DESIGN OR ADDITIONAL INFORMATION OBTAINED FROM WORKING DRAWINGS SPECIFIED TO BE PROVIDED TO AND/OR FURNISHED BY THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO FABRICATION, ERECTION, INSTALLATION PLANS AND PLACING DETAILS, PIPE SIZES, INSULATION MATERIAL, DIMENSIONS OF EQUIPMENT FOUNDATIONS, ETC.
 - THE TOPOGRAPHY, INVERT ELEVATIONS AND GRADES OF DRAINAGE INSTALLED OR AFFECTED AS PART OF THE PROJECT CONSTRUCTION.
 - CHANGES OR MODIFICATIONS WHICH RESULT FROM THE FINAL INSPECTION.
 - WHERE CONTRACT DRAWINGS OR SPECIFICATIONS PRESENT OPTIONS, SHOW ONLY THE OPTION SELECTED FOR CONSTRUCTION ON THE FINAL AS-BUILT PRINTS.
 - SYSTEMS DESIGNED OR ENHANCED BY THE CONTRACTOR, SUCH AS HVAC CONTROLS, FIRE ALARM, FIRE SPRINKLER, AND IRRIGATION SYSTEMS.
 - WHERE UTILITY LOCATIONS DIFFER FROM THOSE IDENTIFIED ON THE PLANS.

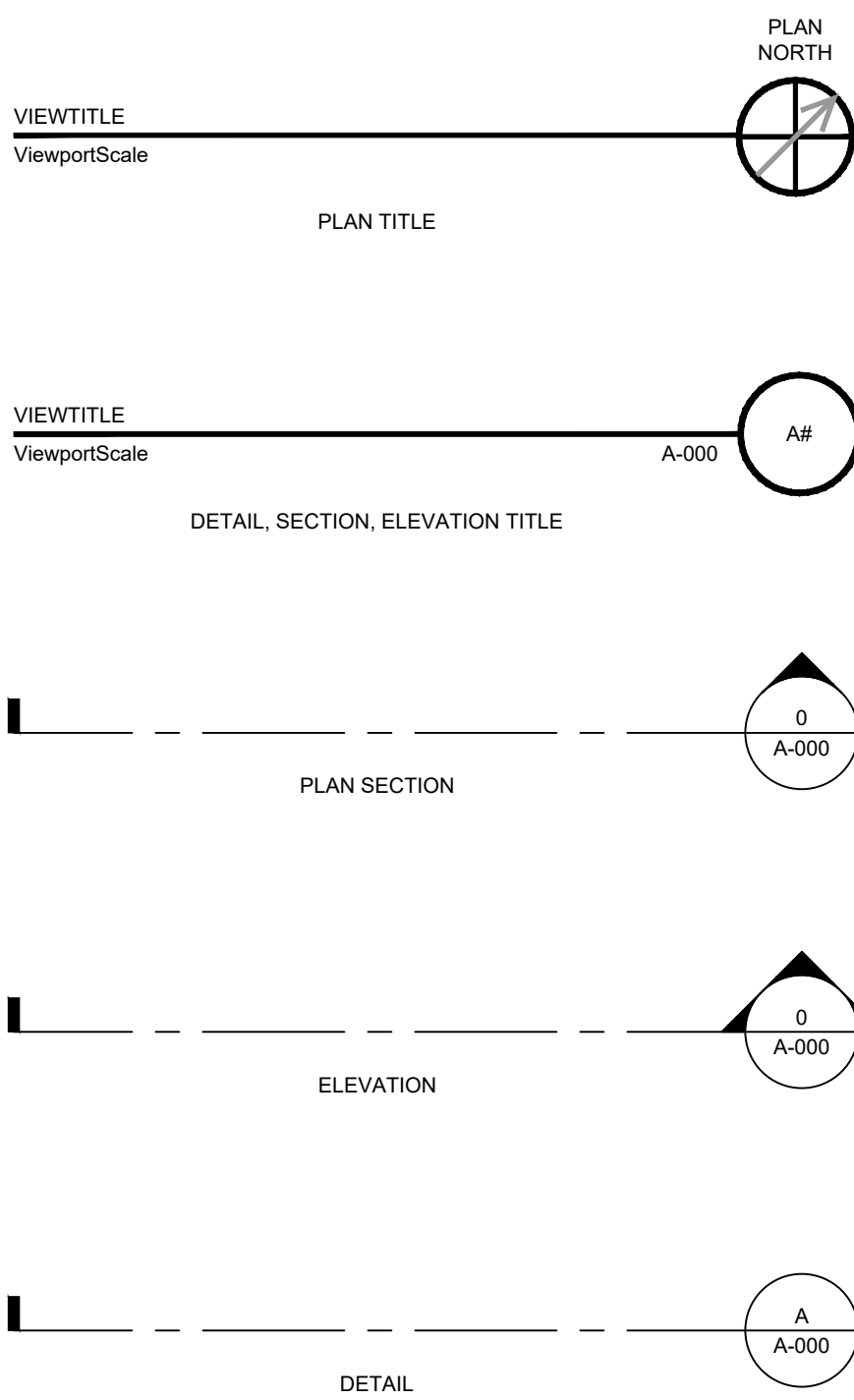
CONSTRUCTION NOTES

- THE CONTRACTOR SHALL COORDINATE MATERIAL STORAGE AND LAYDOWN AREAS WITH THE CITY OF PORTSMOUTH DPW.
- ALL CONSTRUCTION MATERIALS SHALL BE TRANSPORTED TO AND FROM THE SITE IN COVERED VEHICLES. THE CONTRACTOR SHALL MAINTAIN AND SWEEP PAVEMENT AREAS AND ADJACENT STREETS AS NECESSARY TO KEEP ALL AREAS CLEAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE CITY OF PORTSMOUTH DURING THE PROCESS OF THE WORK.
- THE CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SEQUENCING PLAN FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SECURITY AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE O.S.H.A. REGULATIONS AND SAFETY REQUIREMENTS. MA
- ALL CONSTRUCTION SIGNS SHALL BE DESIGNED TO WITHSTAND 50MPH WINDS VELOCITY WINDS AND BE PREPARED BY A PROFESSIONAL SIGN COMPANY WITH A MINIMUM OF THREE (3) YEARS EXPERIENCE.
- WHERE CONTRACTOR REMOVES EXISTING SITE FEATURES THAT ARE TO REMAIN, TO FACILITATE INSTALLATION OF NEW WORK FOR THE PROJECT, CONTRACTOR SHALL REPLACE THE EXISTING SITE FEATURES AT CONTRACTORS EXPENSE.
- THE CONSTRUCTION LIMIT LINE SHOWN ON DRAWING IS AN APPROXIMATION OF THE CONSTRUCTION LIMITS. THE CITY OF PORTSMOUTH MAY MODIFY THIS LINE TO ACCOMMODATE THE EFFICIENCY OF CONSTRUCTION PROJECT.

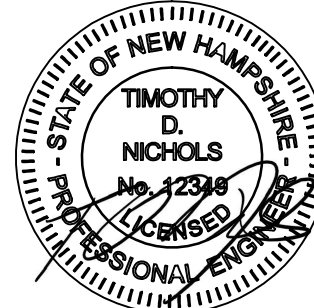
TREE PLANTING NOTES

- ALL PLANTING HOLES SHALL BE DUG BY HAND. **NO MACHINES**. THE ONLY EXCEPTIONS ARE **NEW CONSTRUCTION** WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS, PLANTING DEPTH NEEDS TO BE RAISED. THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMed WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.
- ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL **AND** PLANTING HOLE.
- THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GIRDLING ROOTS ARE PRESENT.
- THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHED DEPTH.
- ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
- ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS. **NO EXCEPTIONS**.
- AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.
- 2'-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
- AT THE TIME THE PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS, BACKFILL MATERIAL AND MULCH LAYER.
- STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUY MATERIAL SHALL BE NON-DAMAGING TO THE TREE.
- ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS, AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/REJECT ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE *ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING* AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.
- CONTRACTOR TO HAVE CERTIFIED ARBORIST EVALUATE ALL TREES (ON PROPERTY AND EXTENDING OVER THE PROPERTY BOUNDARY). ARBORIST SHALL PRUNE ALL LIMBS TO IMPROVE TREE HEALTH AND TO PREVENT DAMAGE TO FENCING, STRUCTURES, AND LIGHT POLES. ARBORIST SHALL REMOVE ANY DISEASED OR DYING TREES AND SHRUBS

LIST OF SYMBOLS



13 WATER ST | NEWMARKET, NH
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02/20/2019

CITY OF PORTSMOUTH
1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE STREET
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
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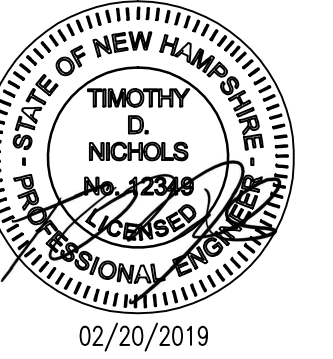
GENERAL NOTES & EROSION CONTROL NOTES

PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
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REVIEWED BY: TDN

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PROJECT PHASE:
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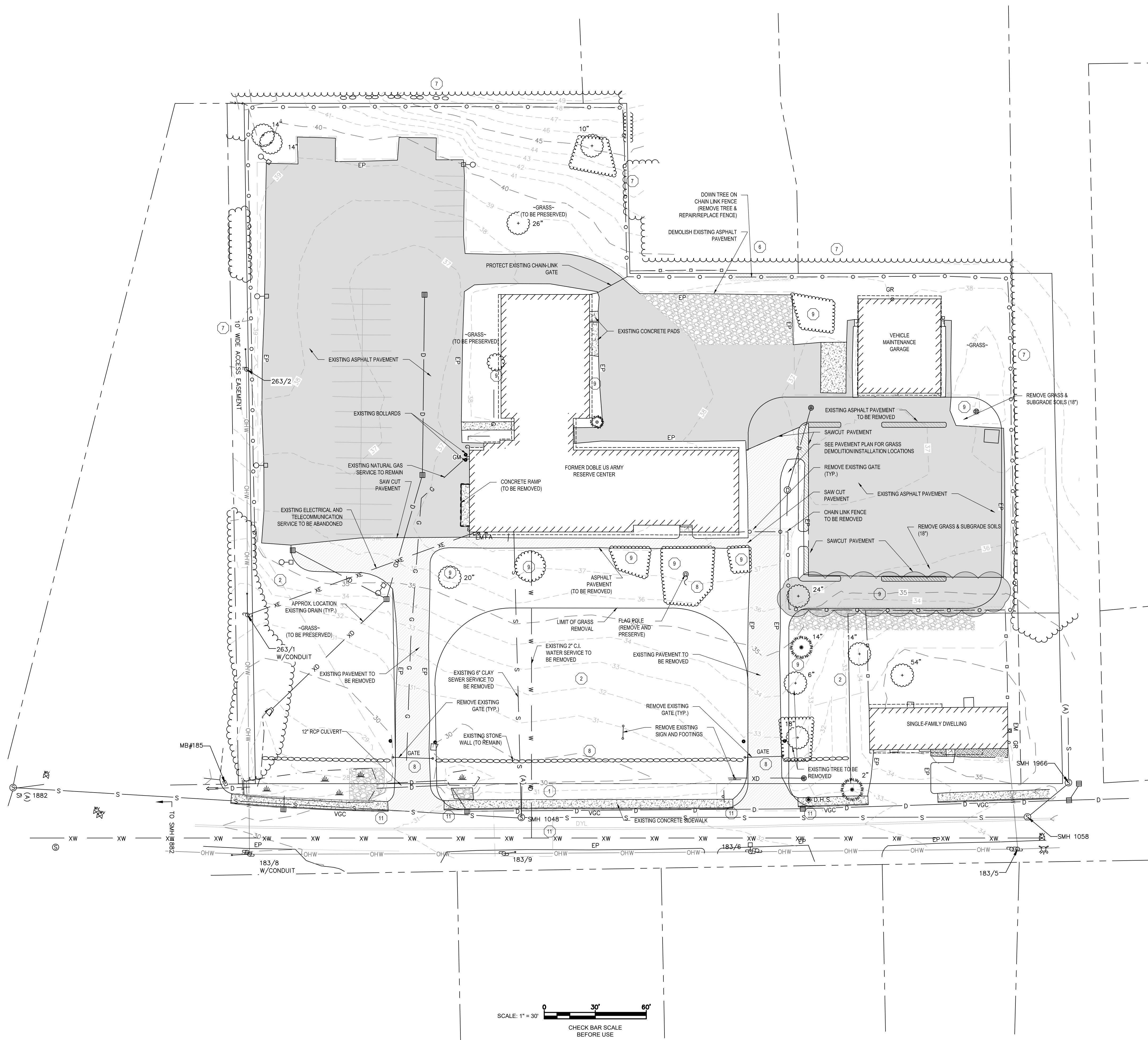


SITE DEMOLITION PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	AS SHOWN
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REVIEWED BY:	TDN

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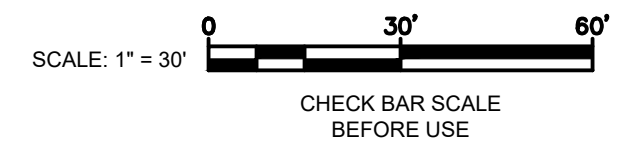
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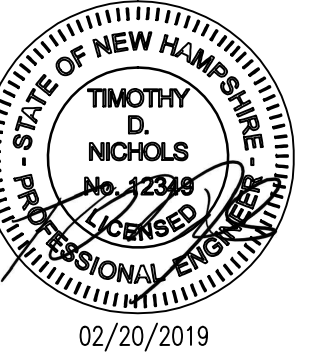
- SITE DEMOLITION NOTES**
- CONTRACTOR SHALL COMPLETE SUBSURFACE UTILITY LOCATING AND MARKING (DIGSAFE) PRIOR TO COMMENCING INTRUSIVE WORK.
 - ALL EROSION AND SEDIMENT PREVENTION CONTROLS SHALL BE ERRECTED PRIOR TO COMMENCING WORK. CONTROLS SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE COURSE OF WORK.
 - CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO EXISTING ADJACENT STRUCTURES, PROPERTY, OR FEATURES THROUGHOUT THE COURSE OF WORK. ALL DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION.
 - UNLESS DIRECTED OTHERWISE BY THE CITY'S AGENT, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL, TRANSPORTATION, AND DISPOSAL OF ALL IDENTIFIED DEMOLITION ITEMS.
 - VERIFY DISPOSITION OF ALL SITE DEMOLITION ITEMS WITH THE CITY'S AGENT. IF THE CITY DOES NOT TAKE POSSESSION OF THE ITEMS, CONTRACTOR SHALL REMOVE FROM THE SITE AND PROPERLY DISPOSE OF SUCH. SITE ITEMS INCLUDE BUT ARE NOT LIMITED TO:
 - FLAG POLE
 - METAL DRIVEWAY GATES
 - SIGNAGE AND PLACARDS
 - REPAIR DAMAGED SECTIONS OF CHAIN-LINK FENCING.
 - REMOVE ALL BARBED WIRE STRANDS AND SUPPORT ARMS FROM CHAIN-LINK FENCING.
 - REMOVE ALL BELOW-GRADE STRUCTURES ASSOCIATED WITH DEMOLITION ITEMS INCLUDING BUT NOT LIMITED TO FOOTINGS, SLABS, VAULTS, PIPING, CONDUIT, AND WIRING.
 - REMOVE ALL GRASS, TREES, AND SHRUBS AS INDICATED ON THIS PLAN. ALL LIMBS AND CHIPS SHALL BE REMOVED FROM THE SITE. STUMPS SHALL BE REMOVED.
 - REMOVE VEGETATION FROM CRACKS IN EXISTING ASPHALT PAVED AREAS IDENTIFIED FOR REPAIRS.
 - ALL SECTIONS OF ASPHALT PAVEMENT REMOVAL SHALL BE SAWCUT. CUTS SHALL BE NEAT AND LINEAR AND EXPOSED EDGES OF PAVEMENT SHALL BE PROTECTED.
 - REMOVE EXISTING GRASS & SUBBASE SOILS TO ACCOMMODATE 12" OF NEW AGGREGATE SUBBASE.

LEGEND

	-VEGETATION TO BE REMOVED
	-EXISTING ASPHALT PAVEMENT
	-ASPHALT PAVEMENT TO BE REMOVED
	-CHAIN LINK FENCE TO BE REPAIRED OR REPLACED
	-SILT SOCK
	-EXISTING CHAIN LINK FENCE WITH BARBED WIRE
	-CHAIN LINK FENCE TO BE REMOVED
	-LIMIT OF WORK
	-EXISTING STONE WALL
	-EXISTING DRAIN (APPROX.)
	-EXISTING ELECTRICAL SERVICE



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CITY OF PORTSMOUTH
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**PORTSMOUTH
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125 COTTAGE STREET
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SITE PLAN

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PROJECT PHASE:
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EAST PARKING SCHEDULE

PARKING TYPE	QUANTITY
VAN ACCESSIBLE	2
ACCESSIBLE	2
PARALLEL	4
STANDARD	28
TOTAL	34

WEST PARKING SCHEDULE

PARKING TYPE	QUANTITY
VAN ACCESSIBLE	0
ACCESSIBLE	4
PARALLEL	0
STANDARD	68
TOTAL	72

NOTES

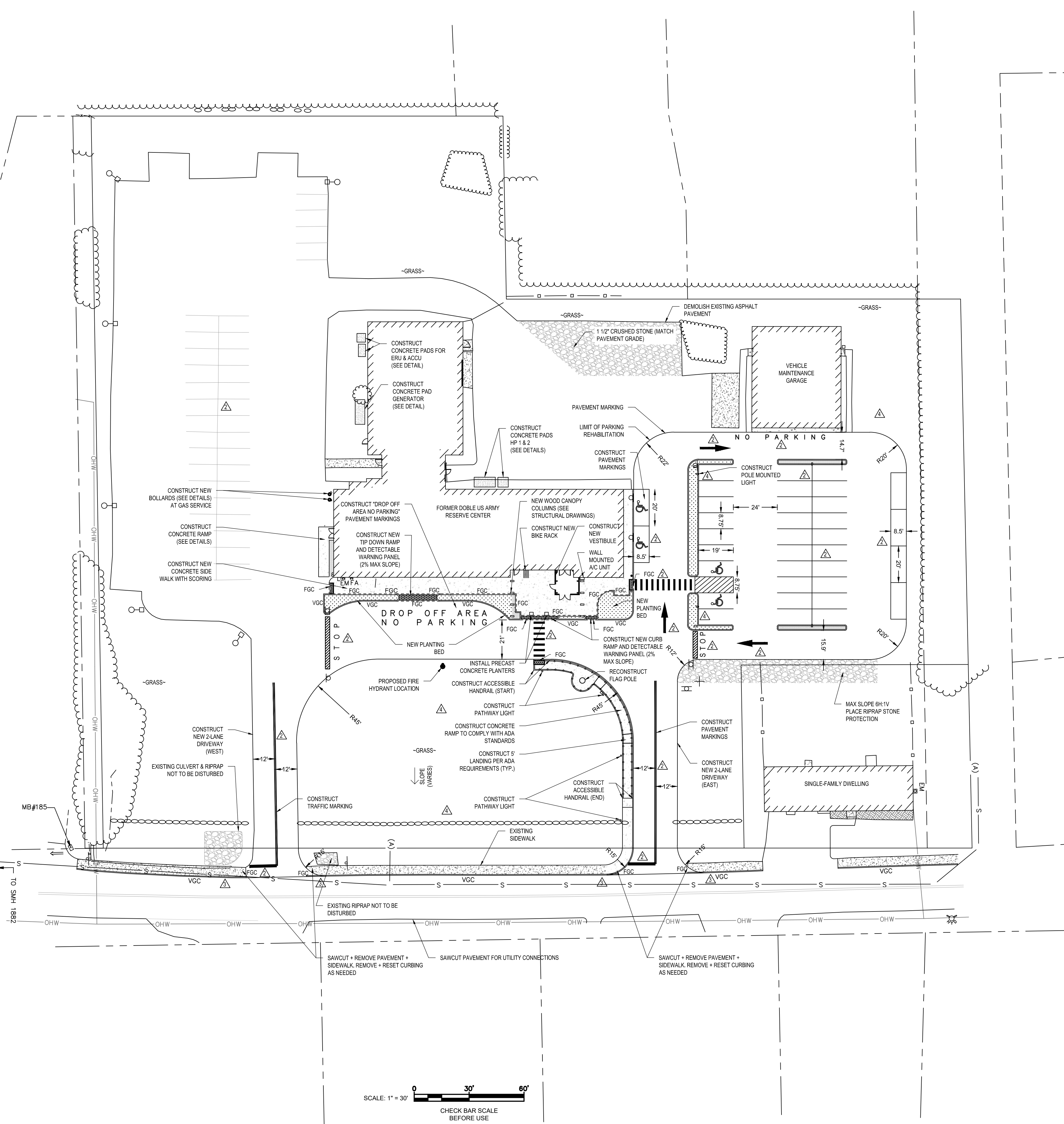
- △ REFER TO SHEET C-10.1 FOR PAVEMENT CONSTRUCTION
- △ CONSTRUCT NEW PAVEMENT MARKING (PER NHDOT SECTION 623)
- △ REPAIR EXISTING CONCRETE SIDEWALK AND CURBING
- △ REFER TO LIGHTING PLAN FOR FIXTURE SPECIFICATIONS
- △ THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS
- △ ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

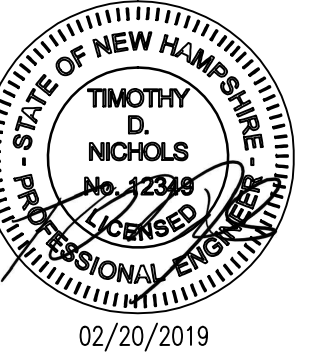
LEGEND

- - - - - PROPOSED BRUSHED CONCRETE
- - - - - PROPOSED LANDSCAPING BED
- ▨ NEW ISLAND PAVEMENT MARKINGS
- - - - - NEW ELECTRICAL CONDUCTOR
- - - - - EXISTING CHAIN LINK FENCE
- ▭ CONCRETE TO BE CONSTRUCTED
- - - - - VERTICAL GRANITE CURB
- - - - - LIMIT OF WORK
- NEW POLE MOUNTED LIGHT
- - - - - FLUSH GRANITE CURB
- ▨ DETECTABLE WARNING STRIP
- ▨ UTILITY TRENCH DISTURBANCE
- SIGNPOST (SEE SHEET C-9.1)
- NEW PATHWAY LIGHT
- - - - - EXISTING STONE WALL
- EXISTING POLE-MOUNTED LIGHT



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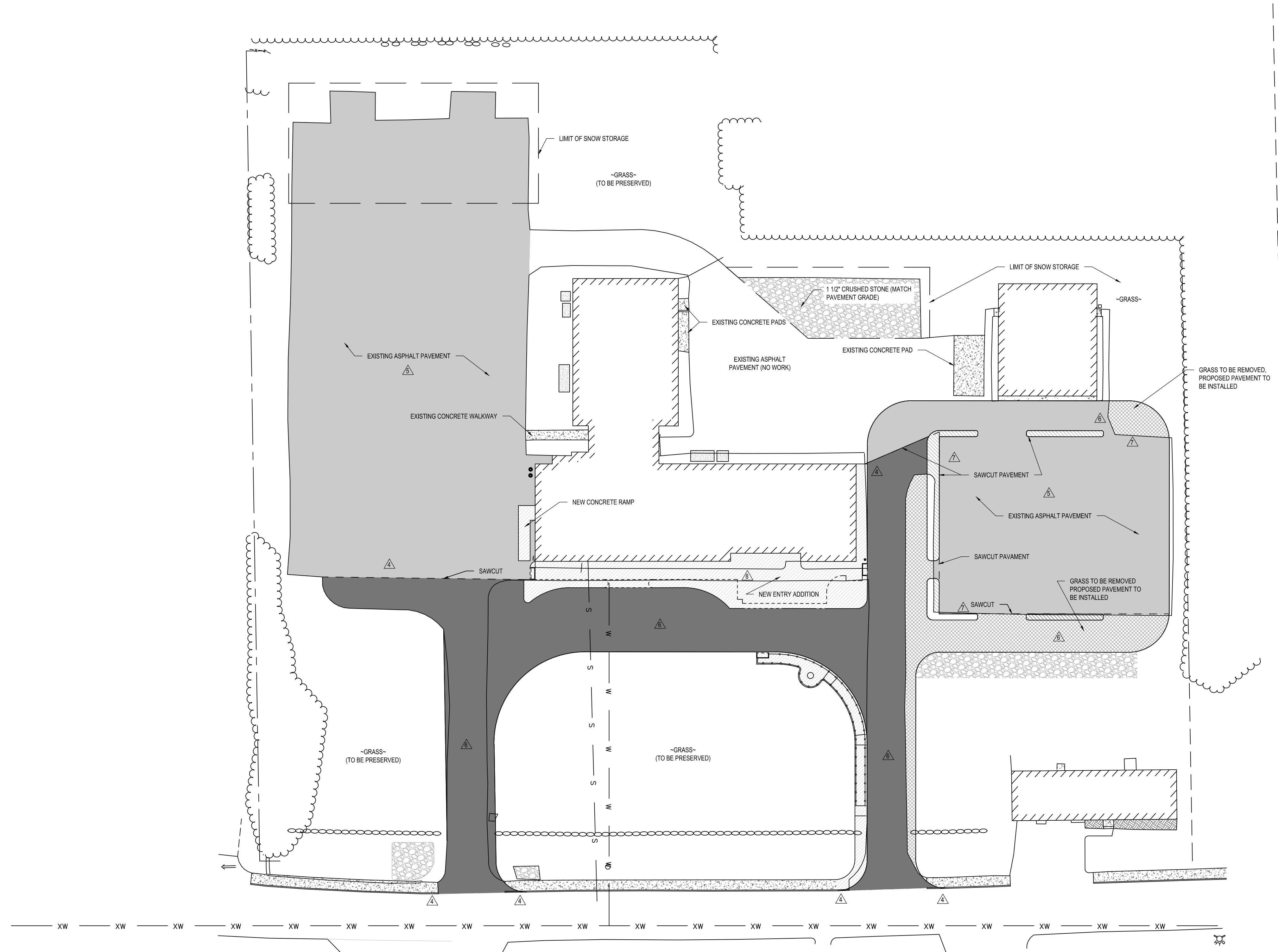


**PAVEMENT DEMOLITION &
CONSTRUCTION PLAN**

PROJECT NO.:	17002
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SCALE:	AS SHOWN
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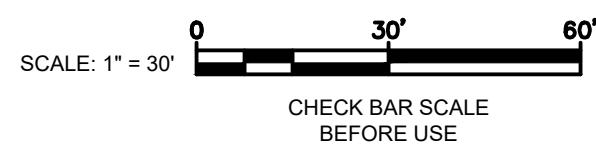


NEW CONSTRUCTION NOTES

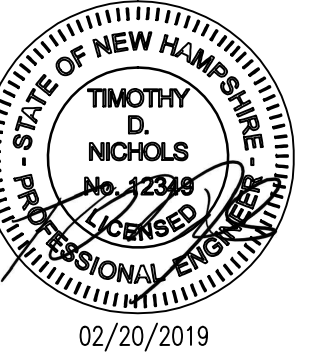
- △ ALL EROSION AND SEDIMENT PREVENTION CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCING WORK. CONTROLS SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE COURSE OF WORK.
- △ CONTRACTOR SHALL COMPLETE SUBSURFACE UTILITY LOCATING AND MARKING (DISSAFE) PRIOR TO COMMENCING INTRUSIVE WORK.
- △ CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO EXISTING ADJACENT STRUCTURES, PROPERTY, OR FEATURES THROUGHOUT THE COURSE OF WORK. ALL DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION.
- △ ALL SECTIONS OF ASPHALT PAVEMENT REMOVAL SHALL BE SAWCUT. CUTS SHALL BE NEAT AND LINEAR AND EXPOSED EDGES OF PAVEMENT SHALL BE PROTECTED.
- △ REPAIR EXISTING ASPHALT PAVEMENT:
 - 5.1. REMOVE VEGETATION & CLEAN/PREP CRACKS.
 - 5.2. FILL EXISTING CRACKS
 - 5.3. APPLY ASPHALT SEAL COAT
- △ CONSTRUCT NEW ASPHALT PAVEMENT:
 - 6.1. DEMOLISH EXISTING PAVEMENT, OR, REMOVE VEGETATION.
 - 6.2. REPLACE 10\"/>
- △ SAWCUT EXISTING ASPHALT PAVEMENT EDGE TO MATCH NEW PAVEMENT.
- △ REMOVE ASPHALT SIDEWALK, CONCRETE SLABS, VEGETATION, AND SUBGRADE SOILS. PLACE NEW COMPACTED BASE AND CONCRETE WALKWAYS AND PLANTING BEDS.

LEGEND

- EXISTING VEGETATION AREA TO BE REPLACED W/ FULL DEPTH ASPHALT PAVEMENT
- EXISTING ASPHALT PAVEMENT TO BE RECONDITIONED/REPAIRED
- NEW FULL DEPTH ASPHALT PAVEMENT
- LIMIT OF PAVEMENT SAWCUT
- EXISTING ASPHALT PAVEMENT TO BE REMOVED
- NEW CONCRETE WALKWAYS AND PLANTING BEDS



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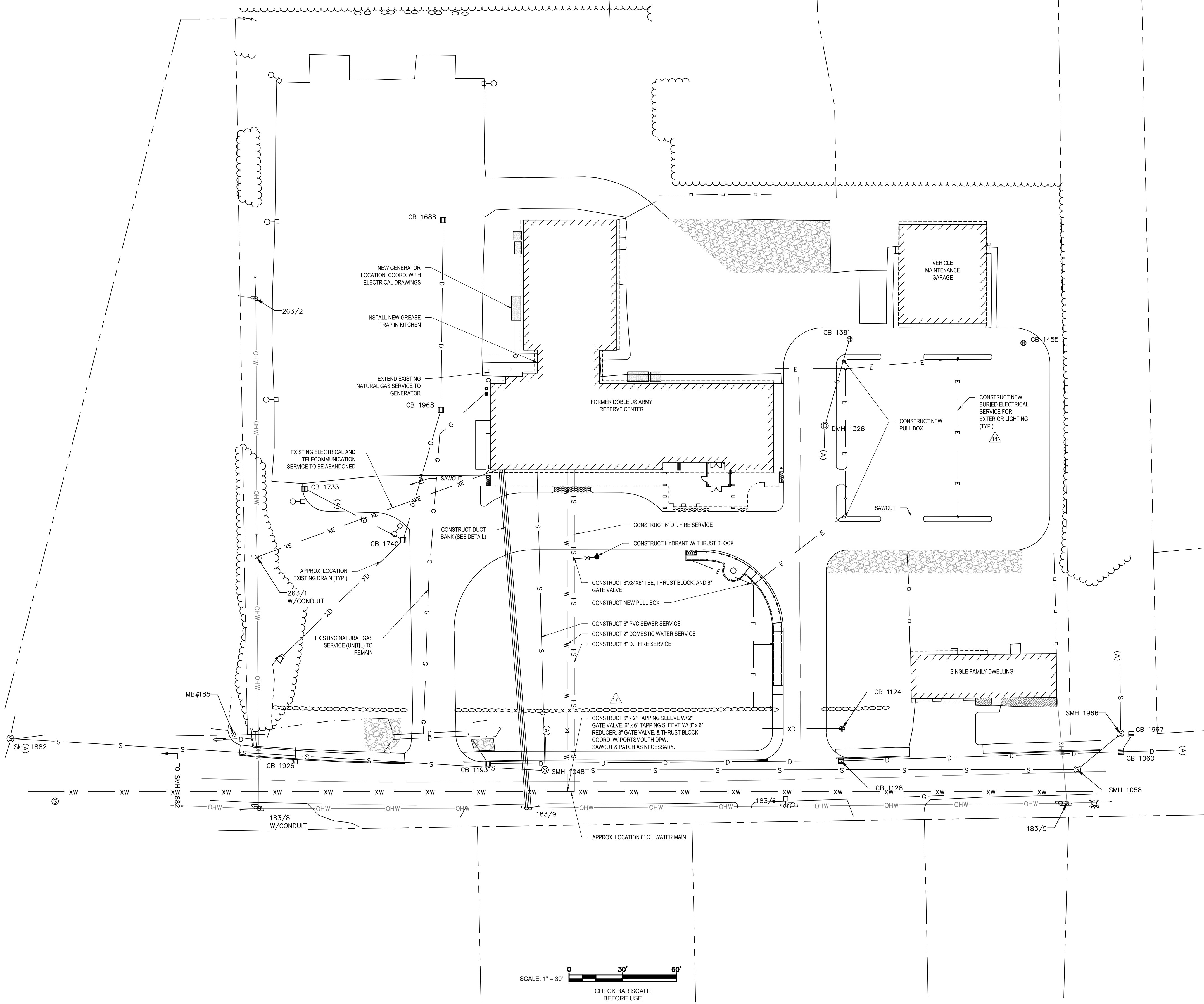


SITE UTILITIES PLAN

PROJECT NO.:	17002
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SCALE:	AS SHOWN
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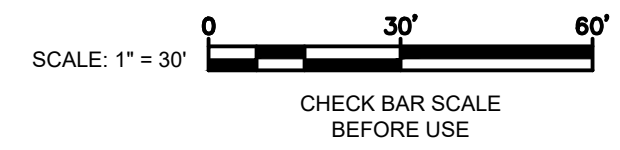


NEW CONSTRUCTION NOTES

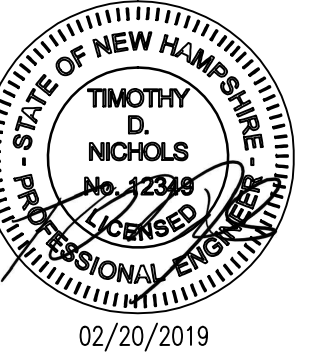
- 1. ALL EROSION AND SEDIMENT PREVENTION CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCING WORK. CONTROLS SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE COURSE OF WORK.
- 2. CONTRACTOR SHALL COMPLETE SUBSURFACE UTILITY LOCATING AND MARKING (DIGSAFE) PRIOR TO COMMENCING INTRUSIVE WORK. THE LOCATION OF UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE EXCAVATION OR GROUND PENETRATING WORK SHALL BE LOCATED PRIOR TO COMMENCING ANY EXCAVATION OR GROUND PENETRATING WORK. THE STATE OF NEW HAMPSHIRE 'DIG SAFE' LAW (TITLE XXXIV, CHAPTER 374) WILL BE FULLY COMPLIED WITH.
- 3. UTILITIES NOT SHOWN ON THESE PLANS MAY EXIST. THE LOCATION, ELEVATION, SIZE AND MATERIAL OF ALL UTILITIES WILL BE VERIFIED BEFORE PROCEEDING WITH CONSTRUCTION. ALL UTILITY LINES AND ASSOCIATE STRUCTURES, NOT AFFECTED BY THIS PROJECT WILL BE PROTECTED THROUGHOUT ALL PHASES OF WORK.
- 4. CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO EXISTING ADJACENT STRUCTURES, PROPERTY, OR FEATURES THROUGHOUT THE COURSE OF WORK. ALL DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION. THE CONTRACTOR SHALL MAINTAIN THE UTILITY MARKINGS THROUGHOUT THE CONTRACT PERIOD. IF ADDITIONAL MARKINGS ARE REQUIRED, THE CONTRACTOR SHALL RE-NOTIFY DIG SAFE. THE CITY OF PORTSMOUTH REPRESENTATIVE, AND THE DPW NH DIG SAFE COORDINATOR.
- 5. CONTRACTOR SHALL COORDINATE ALL DISRUPTIONS TO EXISTING SERVICES WITH THE CITY INCLUDING THE OWNER'S AGENT, DPW, AND THE FIRE DEPARTMENT. DISRUPTION PERIODS SHALL BE MINIMIZED AND CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY SERVICES INCLUDING BUILDING HEATING, LIGHTING, FIRE ALARMS, AND SECURITY.
- 6. COORDINATE ALL NEW UTILITY CONNECTIONS WITH UTILITY OWNERS:
 - 6.1. ELECTRIC: EVERSOURCE ELECTRIC
 - 6.2. DOMESTIC WATER: CITY OF PORTSMOUTH, DPW
 - 6.3. TELEPHONE/CATV: COMCAST / XFINITY
 - 6.4. SANITARY: CITY OF PORTSMOUTH
 - 6.5. NATURAL GAS: UNILIT
- 7. ALL NEW WORK SHALL BE COMPLETED IN ACCORDANCE WITH UTILITY CONSTRUCTION CODES AND SPECIFICATIONS. NOTIFY ENGINEER IF A CONFLICT EXISTS WITH THE DESIGN AND/OR SPECIFICATIONS.
- 8. ALL SECTIONS OF PAVEMENT REMOVAL SHALL BE SAWCUT. CUTS SHALL BE NEAT AND LINEAR AND EXPOSED EDGES OF PAVEMENT SHALL BE PROTECTED.
- 9. EVERSOURCE SHALL REMOVE EXISTING ELECTRICAL CONDUCTOR(S) AND INSTALL NEW CONDUCTOR(S) IN EXISTING CONDUIT.
- 10. CONTRACTOR IS RESPONSIBLE FOR ALL NOTIFICATIONS, TRAFFIC CONTROLS, AND POLICE DETAILS REQUIRED FOR WORK IN COTTAGE STREET.
- 11. RESTORE ALL DISTURBED VEGETATED AREAS PER GENERAL NOTES.
- 12. REPAIR ALL DISTURBED PAVEMENT (ASPHALT AND CONCRETE) TO MATCH EXISTING GRADES.
- 13. THE CONTRACTOR SHALL VERIFY UTILITY INFORMATION AND TIE IN LOCATIONS NEEDED TO COMPLETE THE DESIGN OF NEW UTILITY SYSTEMS AND SITE IMPROVEMENTS. VERIFICATION METHODS SHALL INCLUDE BUT NOT BE LIMITED TO TESTS PITS AND CCTV TO VERIFY LOCATIONS, ELEVATION, SIZE, MATERIAL, AND ANY OTHER INFORMATION REQUIRED TO COMPLETE THE DESIGN.
- 14. EXCAVATION SHALL BE PERFORMED EMPLOYING REASONABLE PRECAUTIONS TO AVOID DAMAGE TO THE UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO ANY SUBSTANTIAL WEAKENING OF STRUCTURAL OR LATERAL SUPPORT OF THE UTILITY OR PENETRATION OR DESTRUCTION OF THE UTILITY OR THEIR PROTECTIVE COATINGS.
- 15. THE COST FOR THE ADJUSTMENT OR RELOCATION OF UTILITY PIPES, STRUCTURES AND CASTINGS, INCLUDING BUT NOT LIMITED TO GAS, CABLE TV, AND TELEPHONE, SHALL BE PAID BY THE CONTRACTOR. COMPLETION OF SUCH WORK MAY OR MAY NOT BE COMPLETED BY THE UTILITY OWNER. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE UTILITY COMPANIES.
- 16. WHERE ITEMS SUCH AS UTILITY STRUCTURES AND EARTHWORK MATERIALS ARE INDICATED BY TYPE, SEE THE NHOOT STANDARD SPECIFICATIONS.
- 17. CONTRACTOR TO DETERMINE WATER SERVICE CAPACITY & PIPE DIAMETER BASED ON FIRE SPRINKLER DESIGN PER NFPA 13. CONTRACTOR IS RESPONSIBLE FOR COMPLETING HYDRANT FLOW TESTS.
- 18. NH LICENSED ELECTRICIAN SHALL DETERMINE THE REQUIRED SERVICE & CONDUCTOR SIZE FOR EXTERIOR LIGHTING (BASED ON SUBMITTED LIGHT FIXTURES). SUBMIT SERVICE CALCULATIONS TO ENGINEER FOR REVIEW.

LEGEND

— S —	-SEWER DRAIN
— P —	-PROPOSED DATA CONDUIT
— X —	-EXISTING ELECTRICAL LINE CONDUIT (APPROX.)
— E —	-PROPOSED ELECTRICAL LINE CONDUIT
— W —	-PROPOSED DOMESTIC WATER LINE
— XW —	-EXISTING WATER MAIN (APPROX.)
— D —	-DRAIN PIPE (APPROX.)
— G —	-NATURAL GAS
— FS —	-FIRE SPRINKLER SYTEM
○ □	-NEW POLE MOUNTED LIGHT
○	-NEW PATHWAY LIGHT



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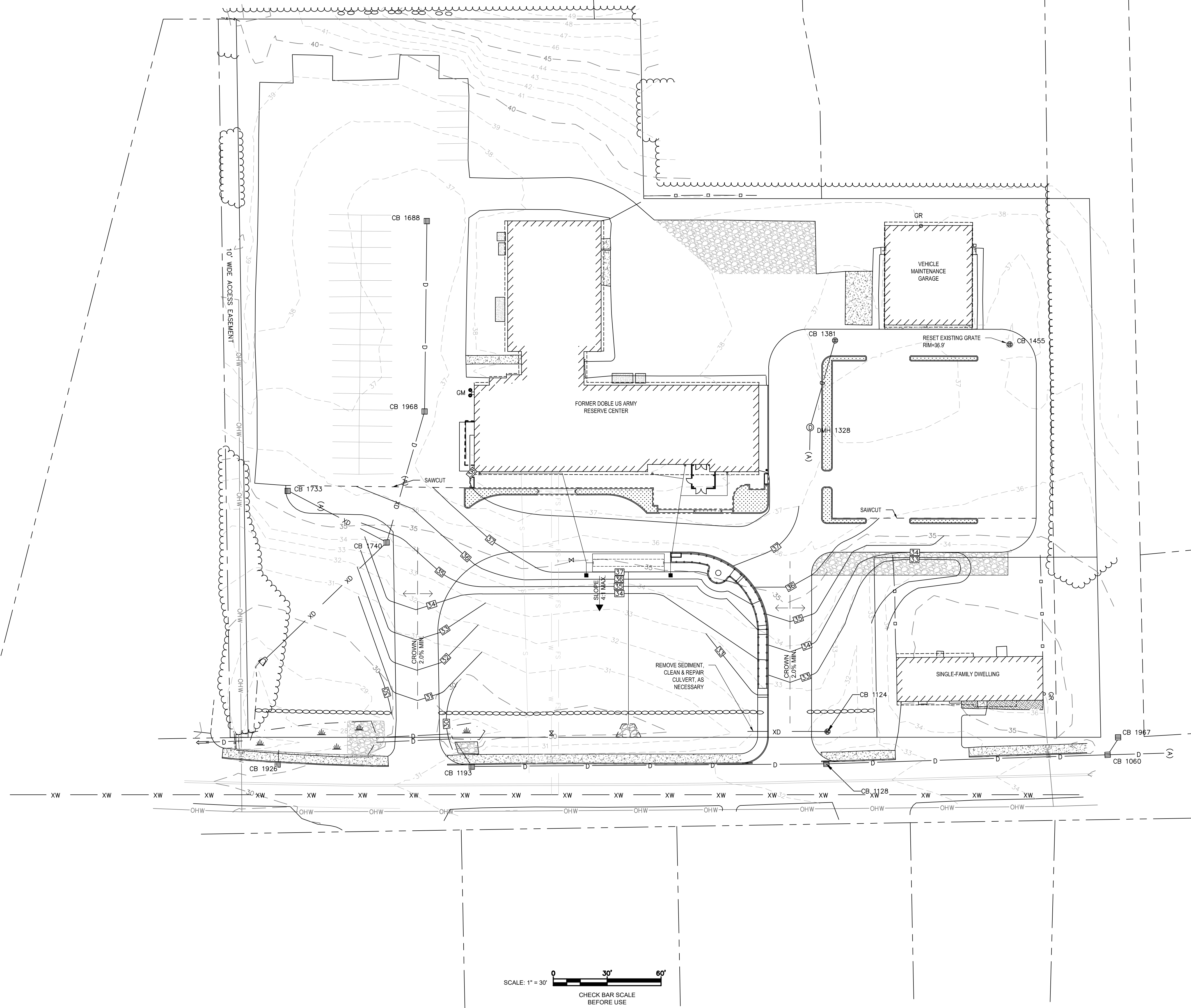


SITE GRADING PLAN

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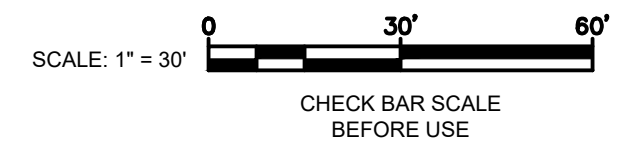
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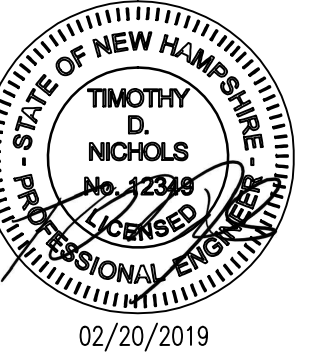


- NEW CONSTRUCTION NOTES**
- ▲ COMPACTION REQUIREMENTS:
 - 1.1. BELOW PAVED OR CONCRETE AREAS: 95%
 - 1.2. TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL: 95%
 - 1.3. BELOW LOAM AND SEED AREAS: 90%
 - *ALL PERCENTAGES OF COMPACTION SHALL BE MINIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
 - ▲ CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS, AND AREAS ADJACENT TO THE BUILDING.
 - ▲ ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
 - ▲ CONTRACTOR WILL PROVIDE SLOPE STABILIZATION TO ALL VEGETATED AREAS WITH A SLOPE GREATER THAN 1(H):2(V).
 - ▲ CONTRACTOR WILL ENSURE THAT THE PATIO AREA, WALKWAYS, AND PARKING AREAS MEET ADA REQUIREMENTS FOR ACCESSIBLE ROUTES. CROSS SLOPES ON WALKWAYS ADJACENT TO BUILDING NOT TO EXCEED 2%.
 - ▲ HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLAN (2800) NAD83 (2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
 - ▲ VERTICAL DATUM IS BASED ON NGVD29 PER DISK V 28 1942 ELEV. 25.59.
 - ▲ CONTRACTOR SHALL VERIFY EXISTING FINISH FLOOR ELEVATION (FFE) AND COORDINATE WITH PROPOSED GRADING AND ELEVATIONS.

- LEGEND**
- VERTICAL GRANITE CURB
 - - - - - FLUSH SLAB EDGE
 - PROPOSED MAJOR CONTOURS
 - PROPOSED MINOR CONTOURS
 - EXISTING CONTOURS
 - - - - - SAWCUT



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CITY OF PORTSMOUTH
1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE STREET
PORTSMOUTH, NH 03801

No.	REVISIONS DESCRIPTION	DATE
1	PER TAC COMMENTS	12/12/2018
2	PER COND. OF APPROVAL	01/10/2019
3	ISSUED FOR BID	02/20/2019

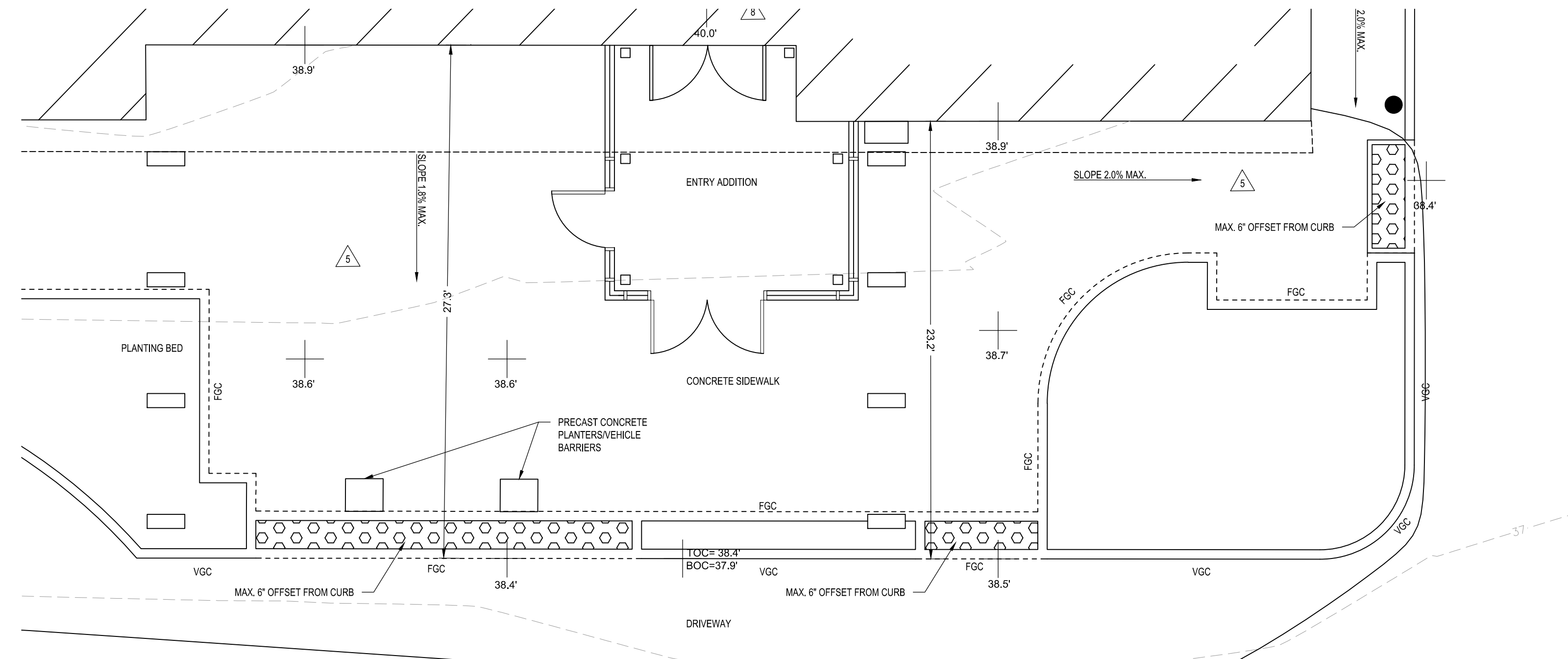
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SITE GRADING PLAN

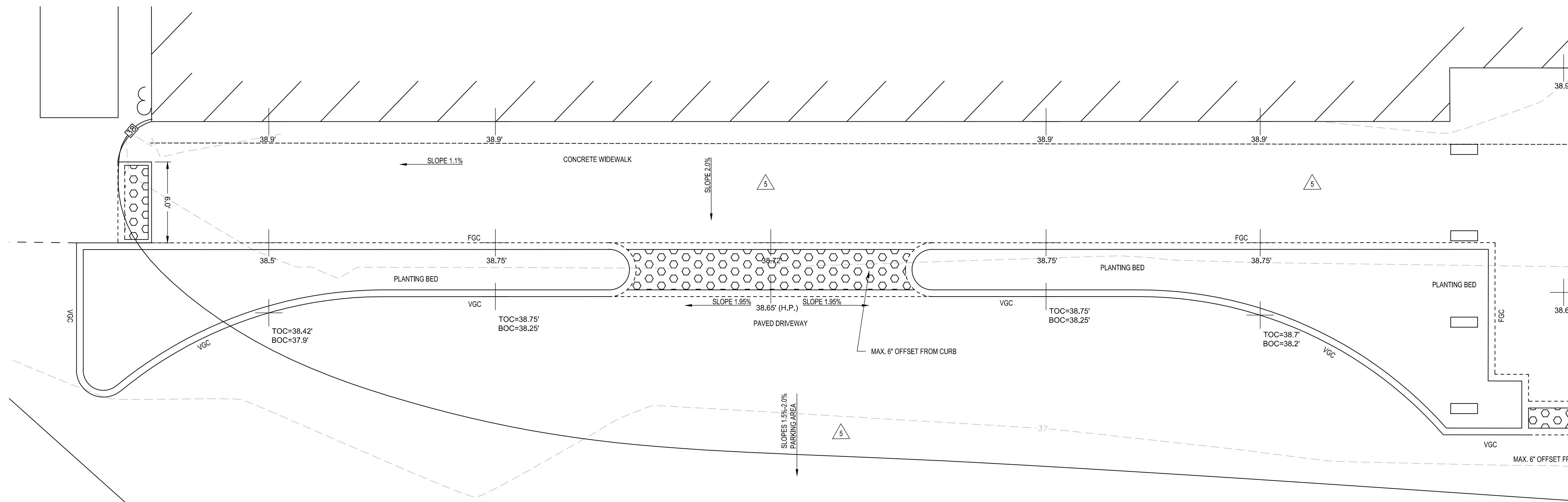
PROJECT NO.:	17002
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SCALE:	AS SHOWN
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REVIEWED BY:	TDN

C-6.1

PROJECT PHASE:
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PATIO/WALKWAY GRADING PLAN
SCALE: 1" = 5' C-6.1 A

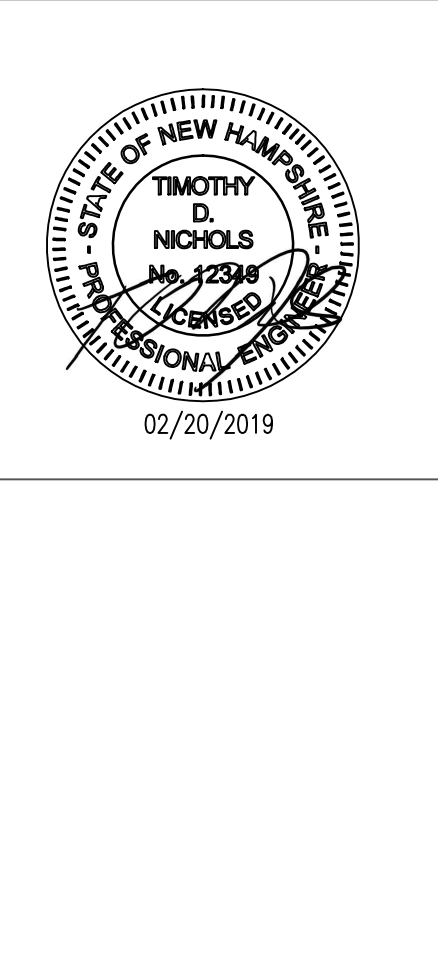


WALKWAY AND DRIVEWAY GRADING PLAN
SCALE: 1" = 5' C-6.1 B

- NEW CONSTRUCTION NOTES**
- 1.1. BELOW PAVED OR CONCRETE AREAS: 95%
 - 1.2. TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL: 95%
 - 1.3. BELOW LOAM AND SEED AREAS: 90%
- *ALL PERCENTAGES OF COMPACTION SHALL BE MINIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS, AND AREAS ADJACENT TO THE BUILDING.
 3. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
 4. CONTRACTOR WILL PROVIDE SLOPE STABILIZATION TO ALL VEGETATED AREAS WITH A SLOPE GREATER THAN 1(H):2(V).
 5. CONTRACTOR WILL ENSURE THAT THE PATIO AREA, WALKWAYS, AND PARKING AREAS MEET ADA REQUIREMENTS FOR ACCESSIBLE ROUTES. CROSS SLOPES ON WALKWAYS ADJACENT TO BUILDING NOT TO EXCEED 2%.
 6. HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLAN (2800) NAD83 (2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
 7. VERTICAL DATUM IS BASED ON NGVD29 PER DISK V 28 1942 ELEV. 25.59.
 8. CONTRACTOR SHALL VERIFY EXISTING FINISH FLOOR ELEVATION (FFE) AND COORDINATE WITH PROPOSED GRADING AND ELEVATIONS.
- LEGEND**
- VERTICAL GRANITE CURB
 - FLUSH SLAB EDGE
 - PROPOSED MAJOR CONTOURS
 - PROPOSED MINOR CONTOURS
 - EXISTING CONTOURS
 - DETECTABLE WARNING STRIP



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CITY OF PORTSMOUTH
1 JUNKINS AVE.

**PORTSMOUTH
SENIOR ACTIVITY
CENTER**

125 COTTAGE STREET
PORTSMOUTH, NH 03801

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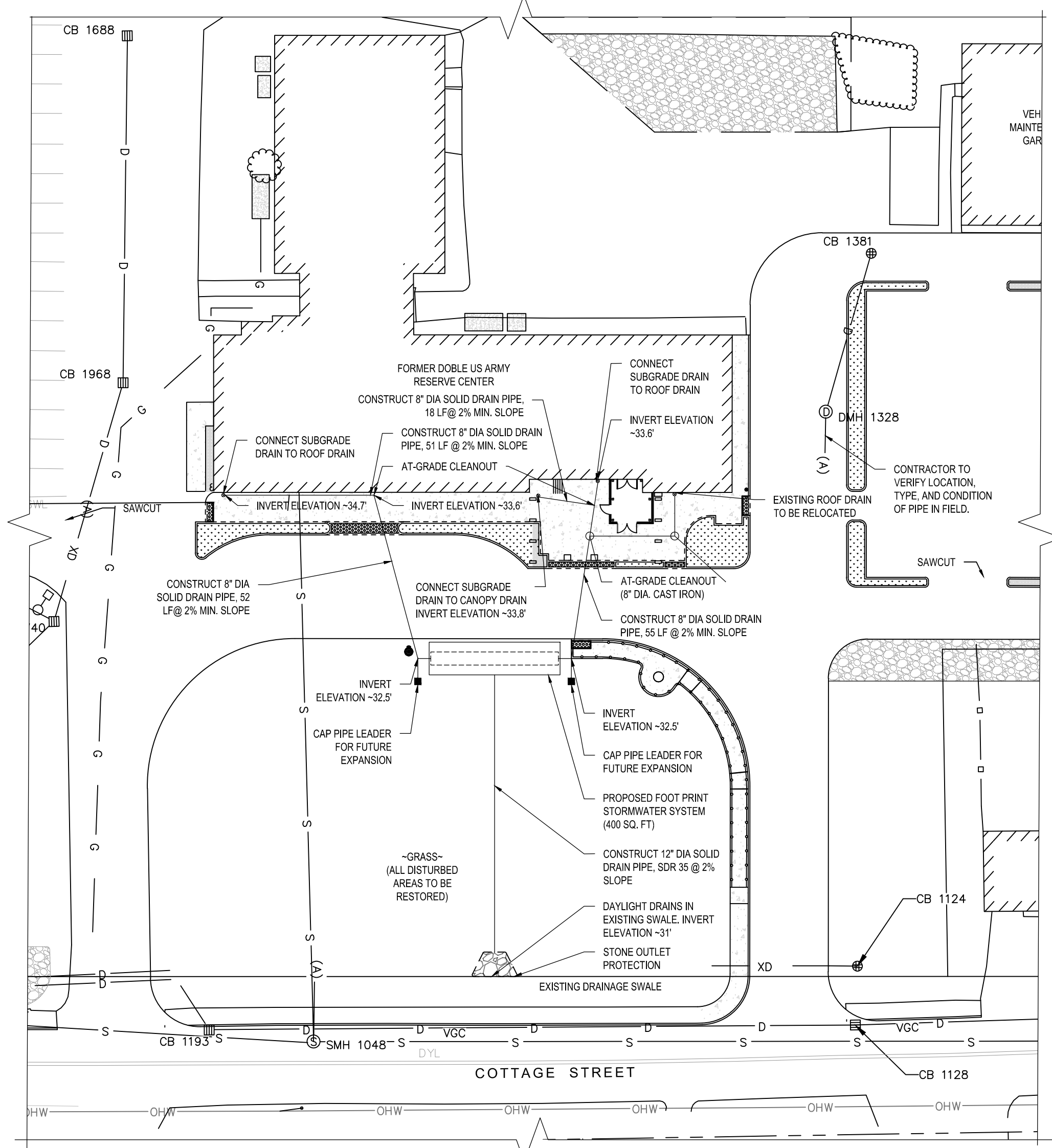


STORMWATER PLAN

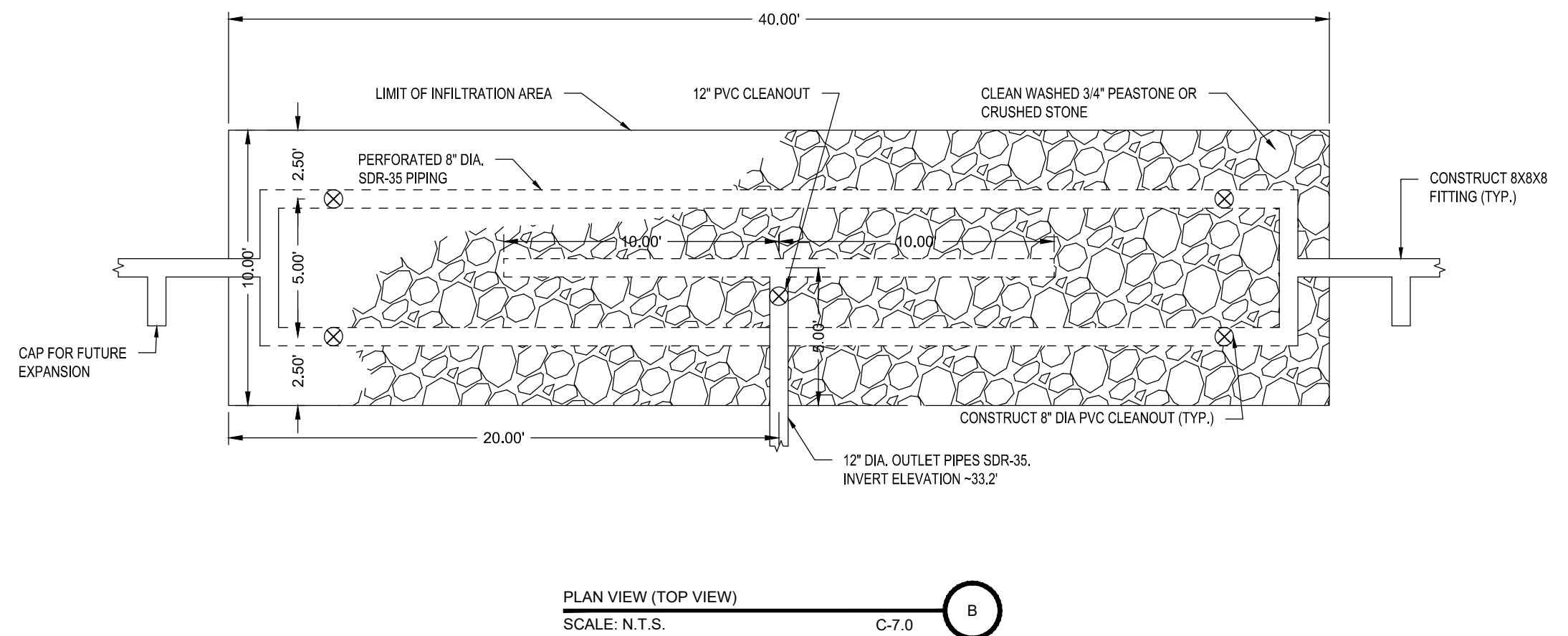
PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	AS SHOWN
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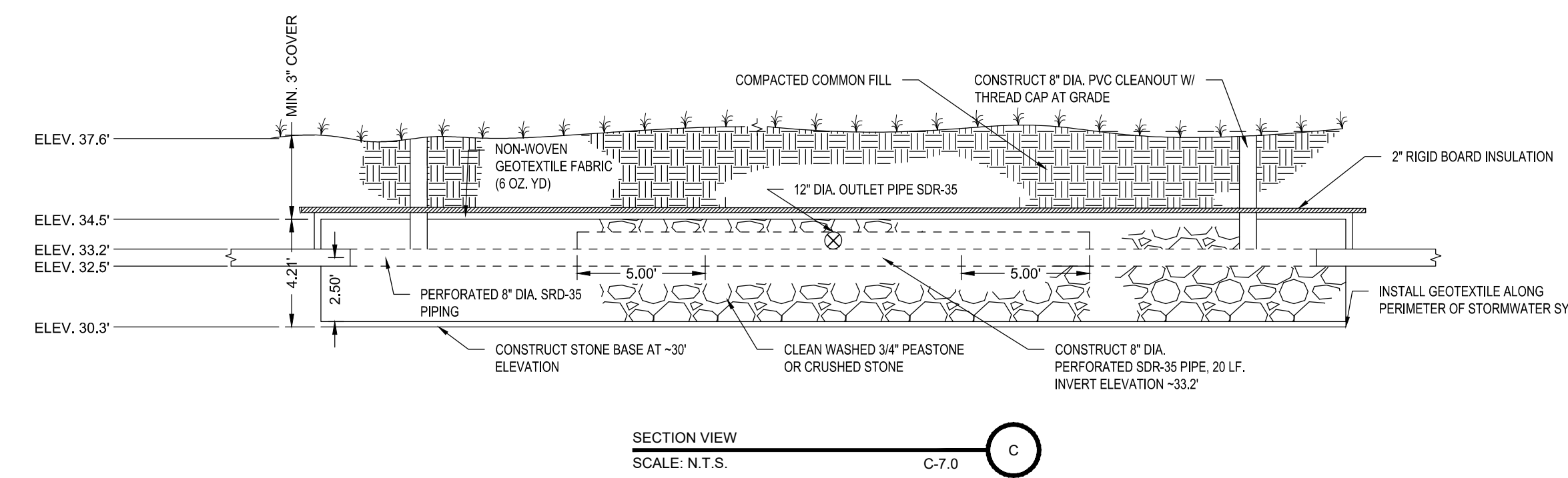
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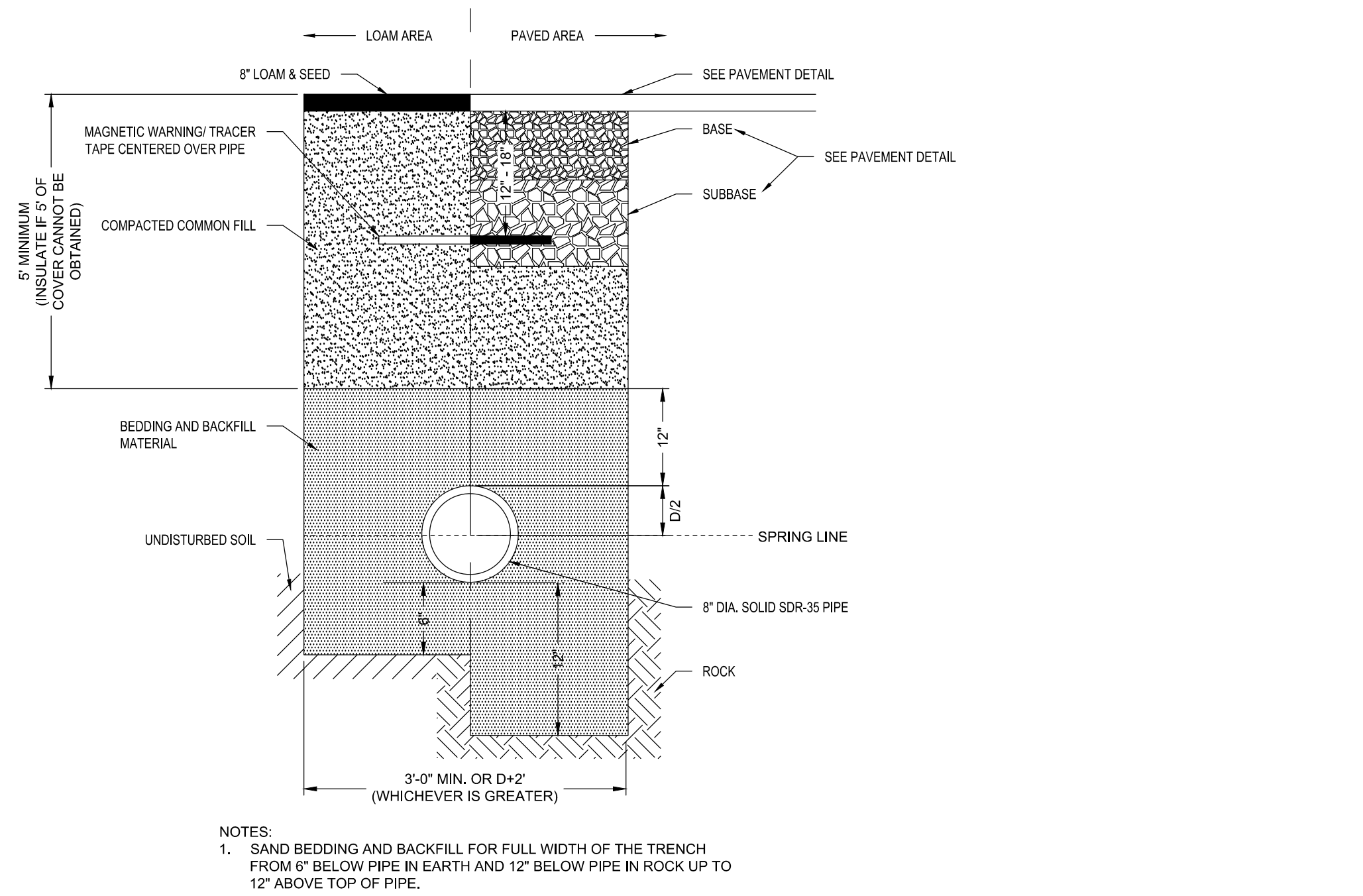
STORMWATER INFILTRATION SYSTEM
SCALE: 1" = 30' C-7.0 A



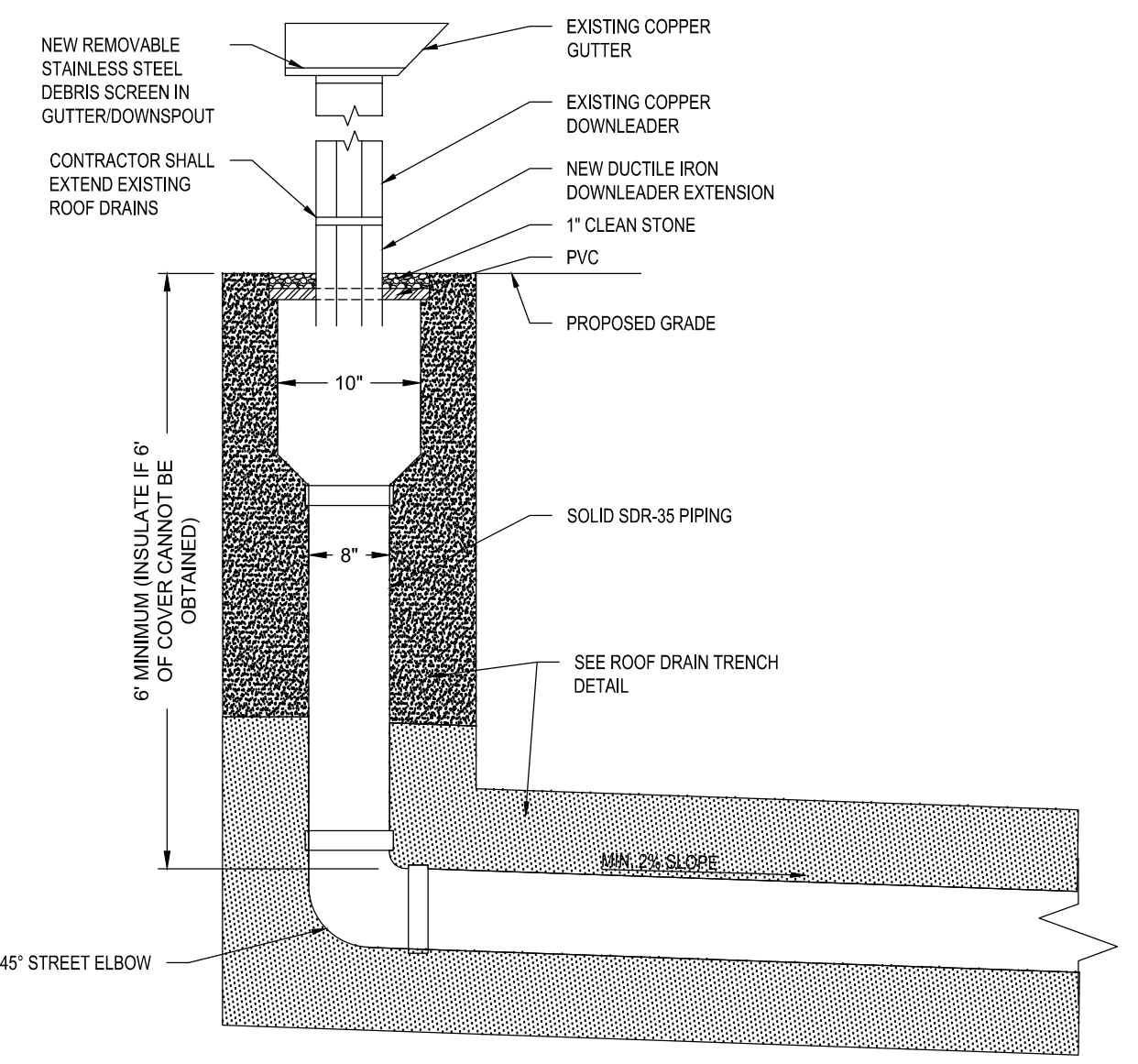
PLAN VIEW (TOP VIEW)
SCALE: N.T.S. C-7.0 B



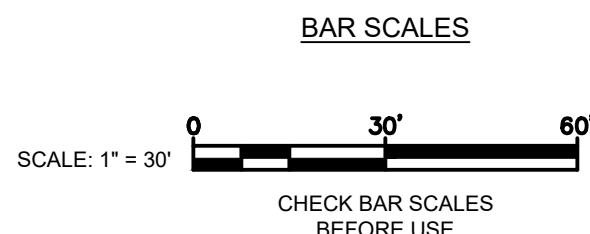
SECTION VIEW
SCALE: N.T.S. C-7.0 C



ROOF DRAIN TRENCH DETAIL
SCALE: N.T.S. C-7.0 F

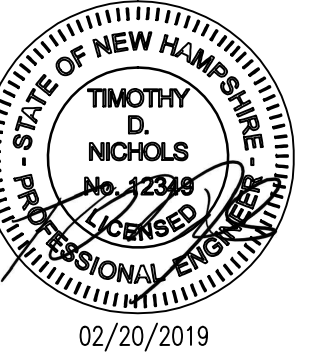


SUBGRADE ROOF DRAIN DETAIL
SCALE: N.T.S. C-7.0 E



- NEW CONSTRUCTION NOTES**
- ⚠ ALL EROSION AND SEDIMENT PREVENTION CONTROLS SHALL BE INSTALLED PRIOR TO COMMENCING WORK. CONTROLS SHALL BE INSPECTED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT THE COURSE OF WORK.
 - ⚠ CONTRACTOR SHALL COMPLETE SUBSURFACE UTILITY LOCATING AND MARKING (DIGSAFE) PRIOR TO COMMENCING INTRUSIVE WORK. THE LOCATION OF UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE EXCAVATION OR GROUND PENETRATING WORK SHALL BE LOCATED PRIOR TO COMMENCING ANY EXCAVATION OR GROUND PENETRATING WORK. THE STATE OF NEW HAMPSHIRE "DIG SAFE" LAW (TITLE XXXIV, CHAPTER 374) WILL BE FULLY COMPLIED WITH.
 - ⚠ CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO EXISTING ADJACENT STRUCTURES, PROPERTY, OR FEATURES THROUGHOUT THE COURSE OF WORK. ALL DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION. THE CONTRACTOR SHALL MAINTAIN THE UTILITY MARKINGS THROUGHOUT THE CONTRACT PERIOD. IF ADDITIONAL MARKINGS ARE REQUIRED, THE CONTRACTOR SHALL RE-NOTIFY DIG SAFE, THE CITY OF PORTSMOUTH REPRESENTATIVE, AND THE DPW NH DIG SAFE COORDINATOR.
 - ⚠ CONTRACTOR SHALL COORDINATE ALL DISRUPTIONS TO EXISTING SERVICES WITH THE CITY INCLUDING THE OWNER'S AGENT, DPW AND THE FIRE DEPARTMENT. DISRUPTION PERIODS SHALL BE MINIMIZED AND CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY SERVICES INCLUDING BUILDING HEATING, LIGHTING, FIRE ALARMS, AND SECURITY.
 - ⚠ CONTRACTOR WILL INSTALL SUBGRADE STORM WATER DRAINAGE WHERE SPECIFIED LEADING TO THE STORM WATER INFILTRATION SYSTEM.
 - ⚠ CONTRACTOR SHALL CONFIRM LOCATION OF SEWER PIPE. IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICTS WITH THE INSTALLATION OF NEW DRAINAGE PIPE.
 - ⚠ CONTRACTOR SHALL VERIFY ALL STORMWATER INVERT GRADES AND COORDINATE WITH SITE GRADES. MAINTAIN MINIMUM PIPE SLOPE AND COVER.

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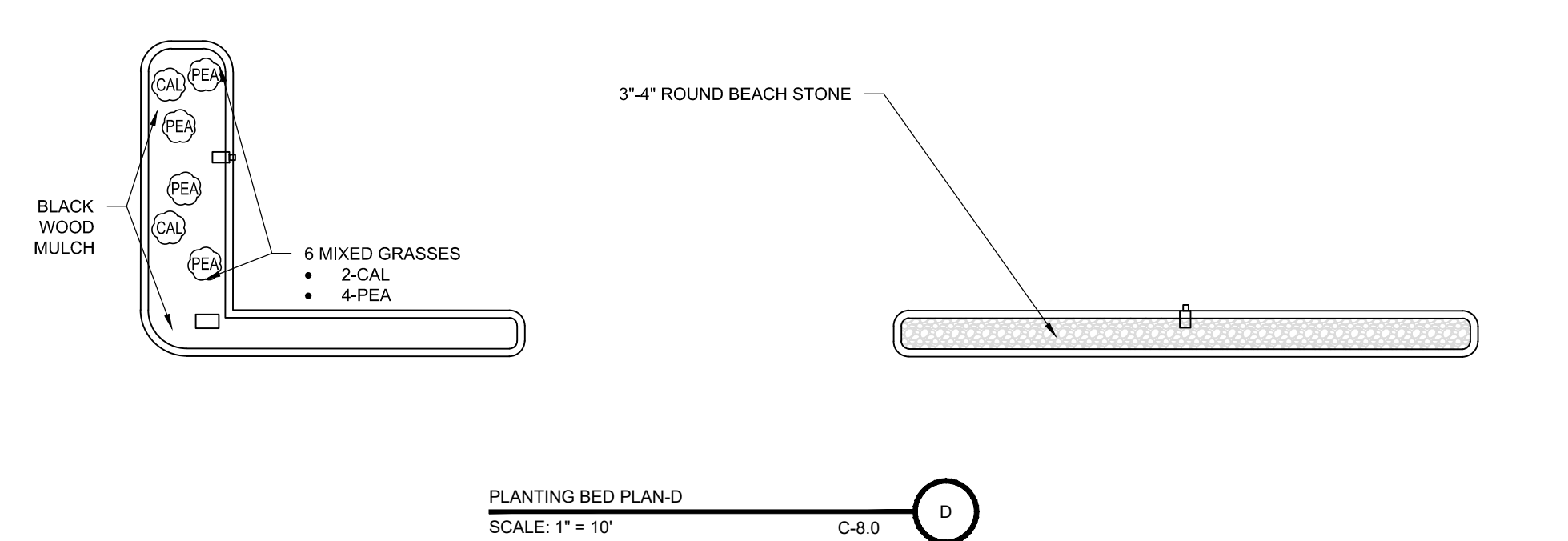
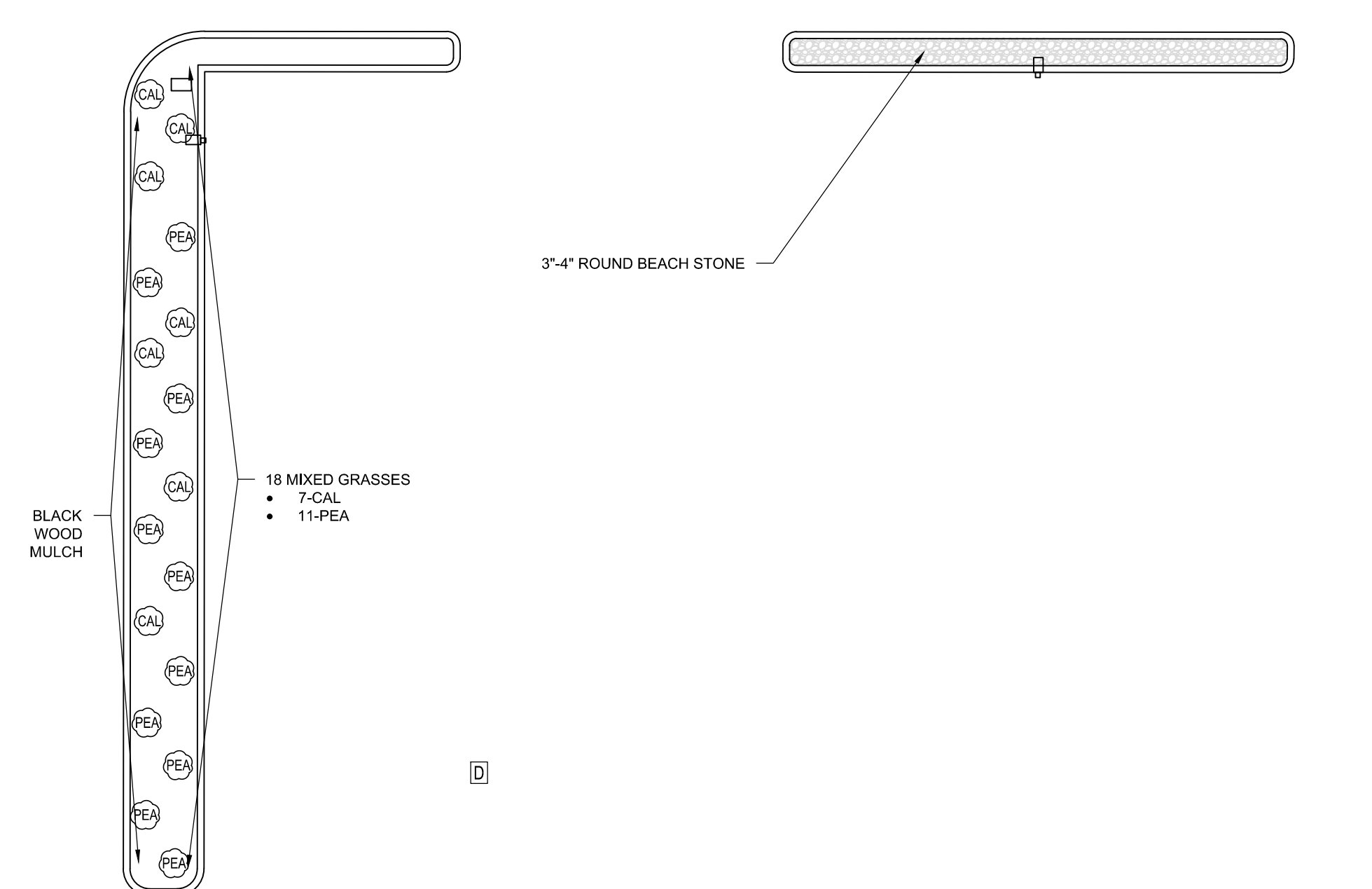
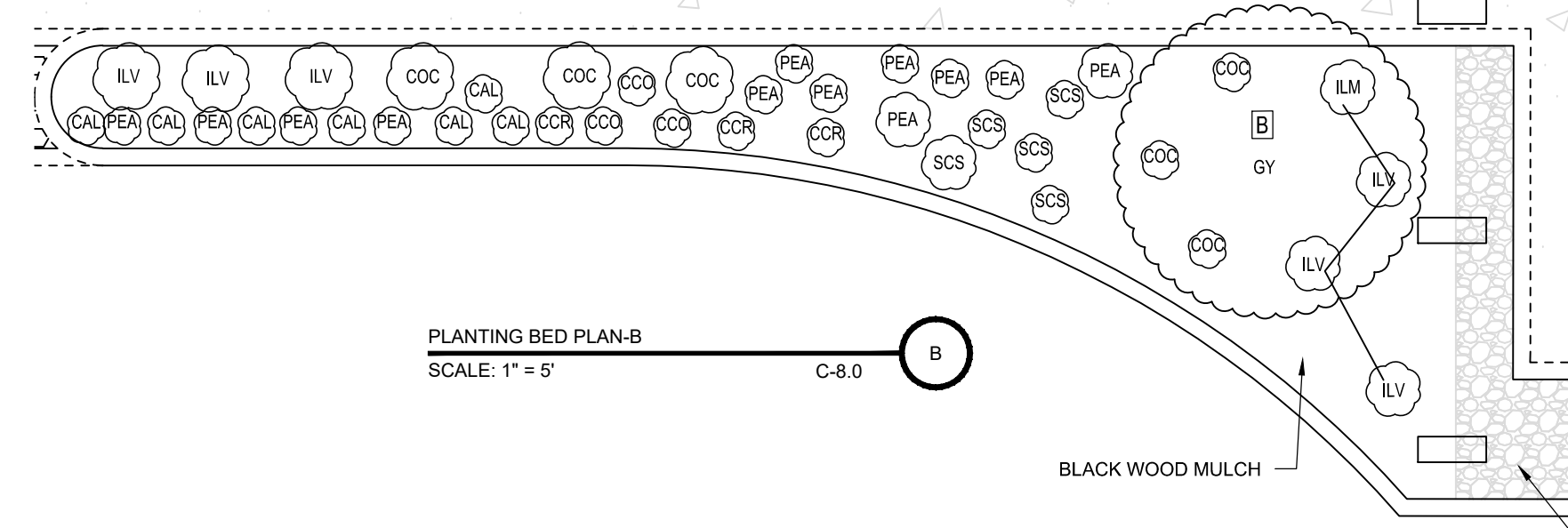
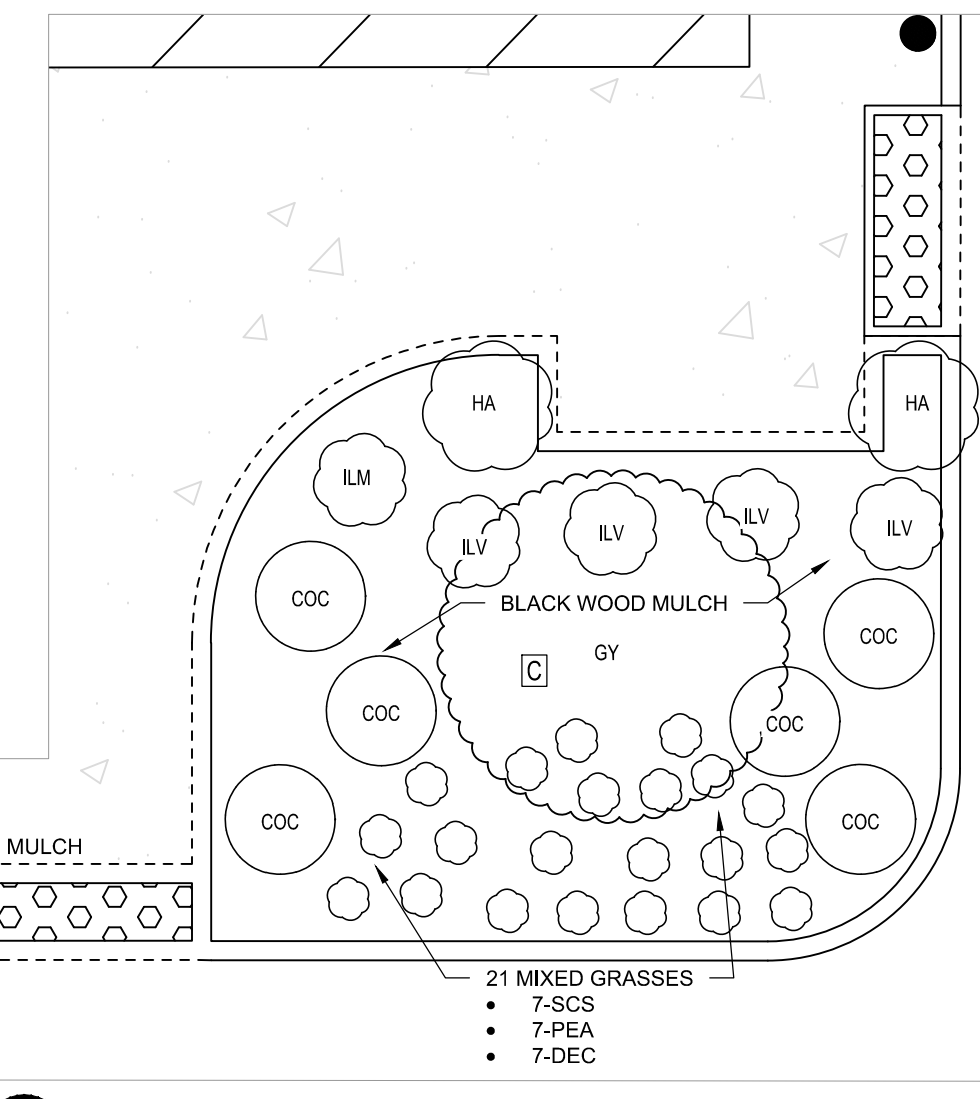
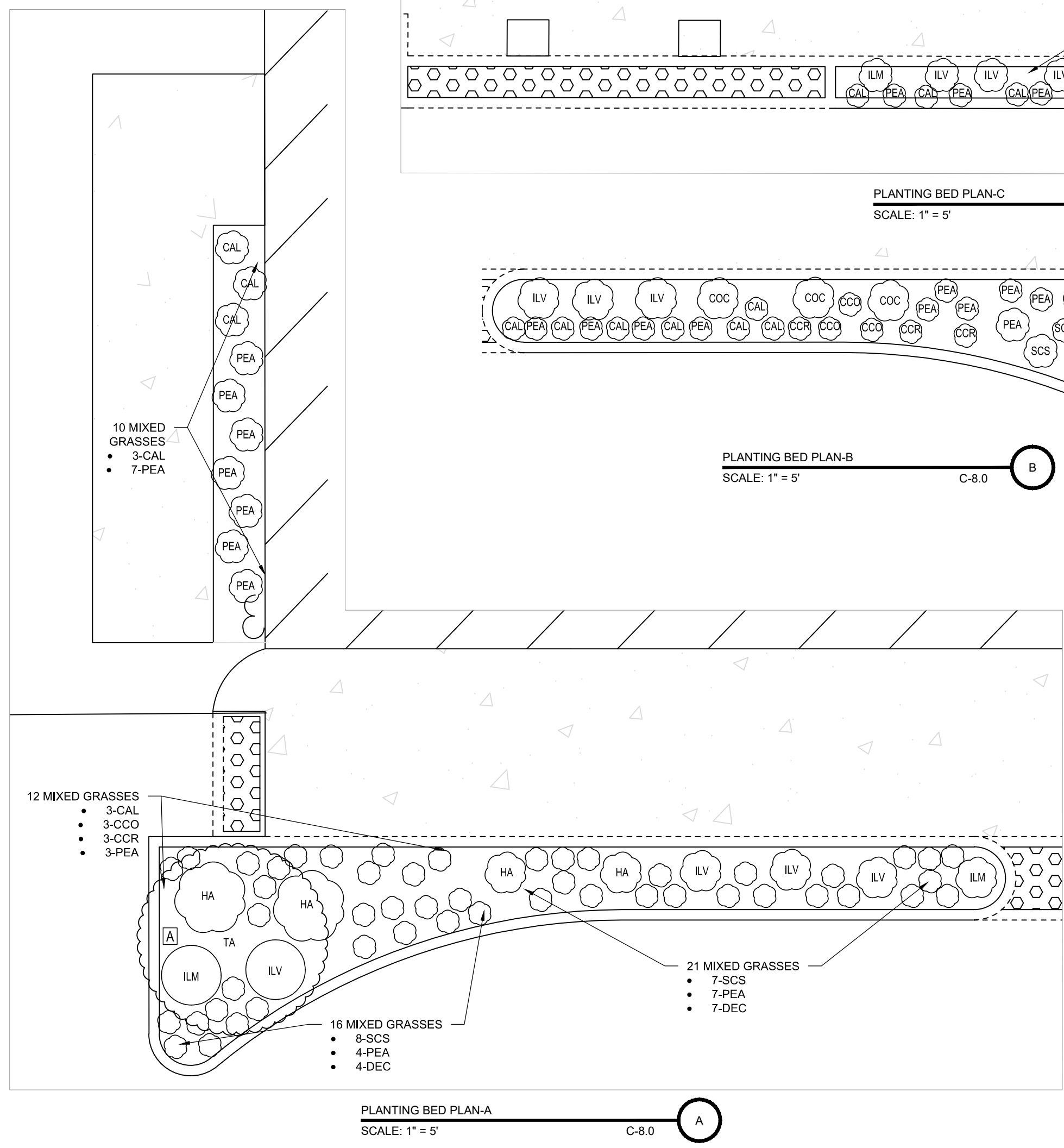
LANDSCAPING PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	AS SHOWN
DRAWN BY:	BCC
REVIEWED BY:	TDN

C-8.0

PROJECT PHASE:
ISSUED FOR BID

SENIOR ACTIVITY CENTER, PORTSMOUTH NH								
PLANTING SCHEDULE								
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	QUANTITIES	ZONE	HEIGHT	SPREAD
TREES								
TA	TAXODIUM distichum 'Shawnee Brave'	Shawnee Brave Bald Cypress	3-3.5' cal.	SEE PLAN	1	4	50-60'	15-20'
GY	GYMNOCLADUS dioicus 'Expresso'	Kentucky Coffee Tree	2-2.5' cal.	SEE PLAN	2	3	50'	35'
SHRUBS								
HA	HAMAMELIS x vernalis	Vernal Witchhazel	3-4' ht	SEE PLAN	SEE PLANS	4	6-10'	8-10'
COC	CORNUS sericea 'Cardinal'	Dogwood, Cardinal Red Osier	3-4' ht	SEE PLAN	SEE PLANS	3	8-10'	8-10'
ILV	ILEX verticillata 'Red Sprite' (female)	Winterberry 'Red Sprite'	3-4' ht	SEE PLAN	SEE PLANS	3	3-4'	3-4'
ILM	ILEX verticillata 'Jim Dandy' (male)	Winterberry	3-4' ht	SEE PLAN	SEE PLANS	3	4-5'	5-6'
ORNAMENTAL GRASSES								
CAL	CALAMAGROSTIS acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	18" o.c.	SEE PLANS	5	3-5'	1-2.5'
CCO	CAREX comosa	Long hair Sedge	1 gal.	18" o.c.	SEE PLANS	3	2-4'	2-
CCR	CAREX crinita	Fringed Sedge	1 gal.	18" o.c.	SEE PLANS	3	2-3'	1-2'
DEC	DESCHAMPISIA cespitosa 'Northern Lights'	Tufted Hair Grass	4" pot	12" o.c.	SEE PLANS	4	1'	1'
PEA	PENISETUM alopecuroides 'hameln'	Fountain Grass	4" pot	18" o.c.	SEE PLANS	3 to 9	1.5-2.5'	1.5-2.5'
SCS	SCHIZACHYRIUM scoparium	Little bluestem	1 gal.	18" o.c.	SEE PLANS	3	1-3'	1-3'



NEW CONSTRUCTION NOTES

- ALL PLANTINGS SHALL BE INSTALLED PER NURSERY INSTRUCTIONS.
- ALL PLANTINGS SHALL FOLLOW THE PLANTING SPECIFICATIONS SET FORTH BY THE CITY OF PORTSMOUTH PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL WARRANT ALL PLANTINGS FOR 1-YEAR FROM INSTALLATION DATE.
- CONTRACTOR SHALL SUBMIT GRASS SEED MIXTURE FOR ENGINEER APPROVAL.
- CONTRACTOR SHALL FOLLOW ALL STANDARDS IN CITY OF PORTSMOUTH PLANTING SPECIFICATIONS.
- REFER TO GENERAL NOTES FOR SHRUB & TREE PLANTING REQUIREMENTS (SHEET C-1.0)
- CONTRACTOR TO HAVE CERTIFIED ARBORIST EVALUATE ALL TREES (ON PROPERTY AND EXTENDING OVER THE PROPERTY BOUNDARY). ARBORIST SHALL PRUNE ALL LIMBS TO IMPROVE TREE HEALTH AND TO PREVENT DAMAGE TO FENCING, STRUCTURES, AND LIGHT POLES. ARBORIST SHALL REMOVE ANY DISEASED OR DYING TREES AND SHRUBS.
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OR REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

BAR SCALES

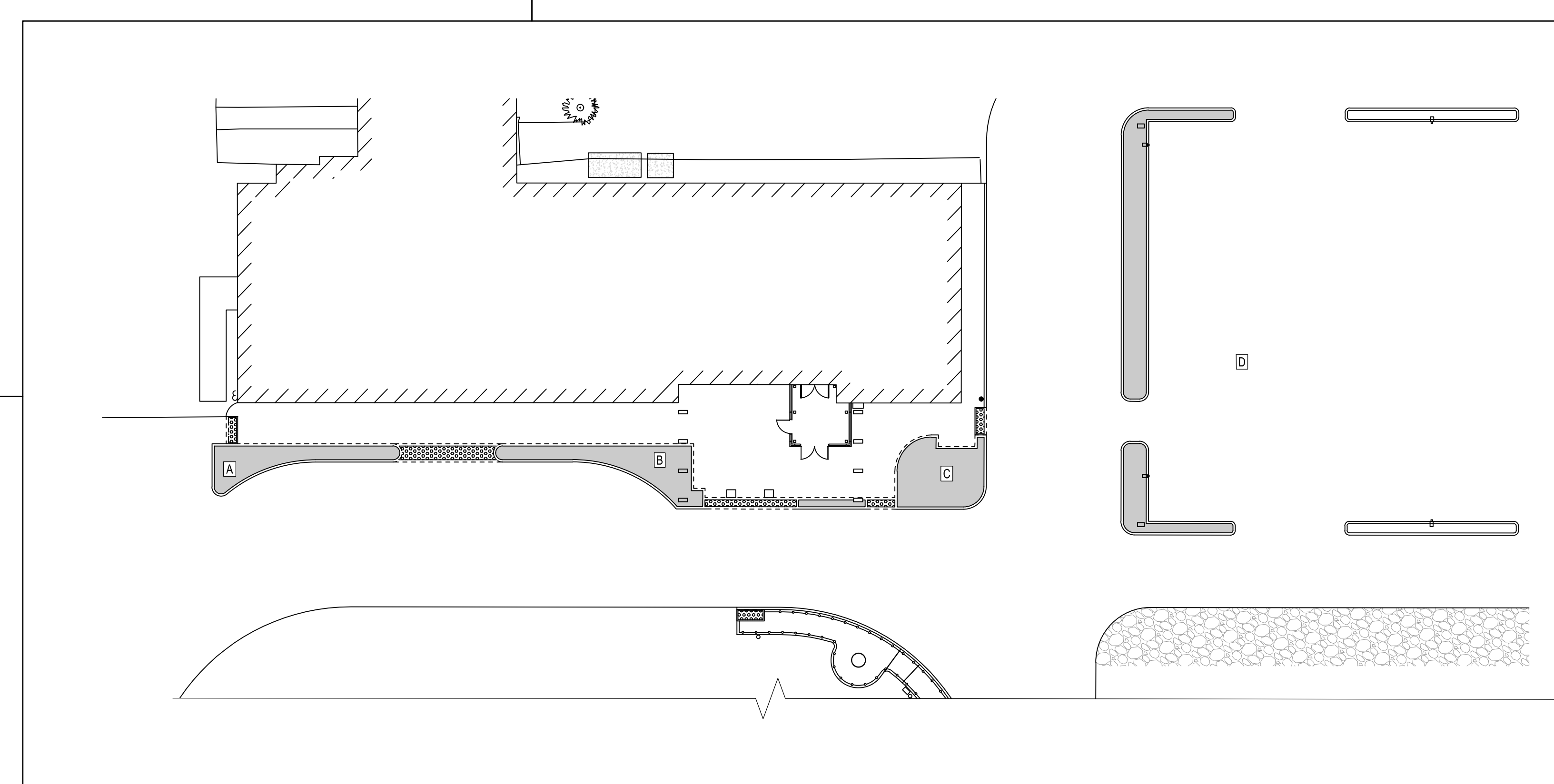
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SCALE: 1" = 10'

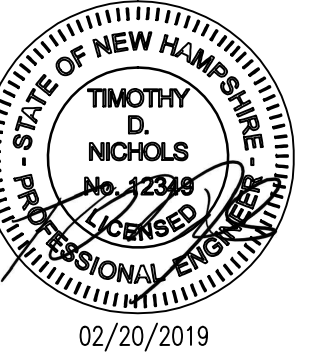
CHECK BAR SCALES BEFORE USE

LEGEND

- DETECTABLE WARNING STRIP
- PROPOSED BRUSHED FINISHED CONCRETE
- PROPOSED NEW PLANTER BED
- VERTICAL GRANITE CURB
- FLUSH SLAB EDGE
- NEW PLANTING



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02/20/2019

CITY OF PORTSMOUTH
1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE STREET
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LIGHTING PLAN

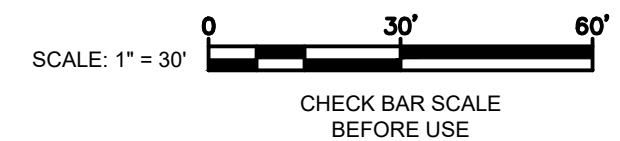
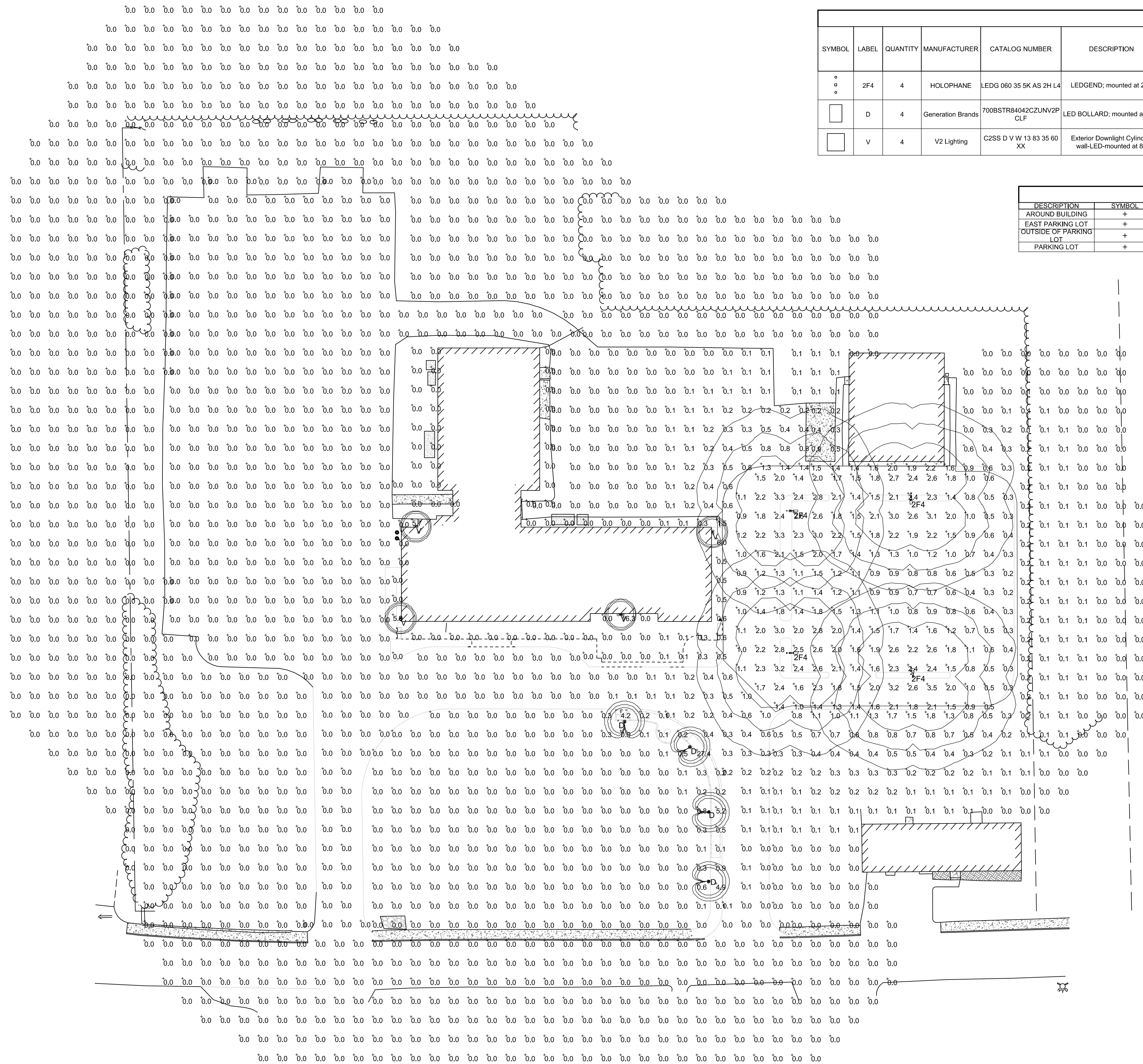
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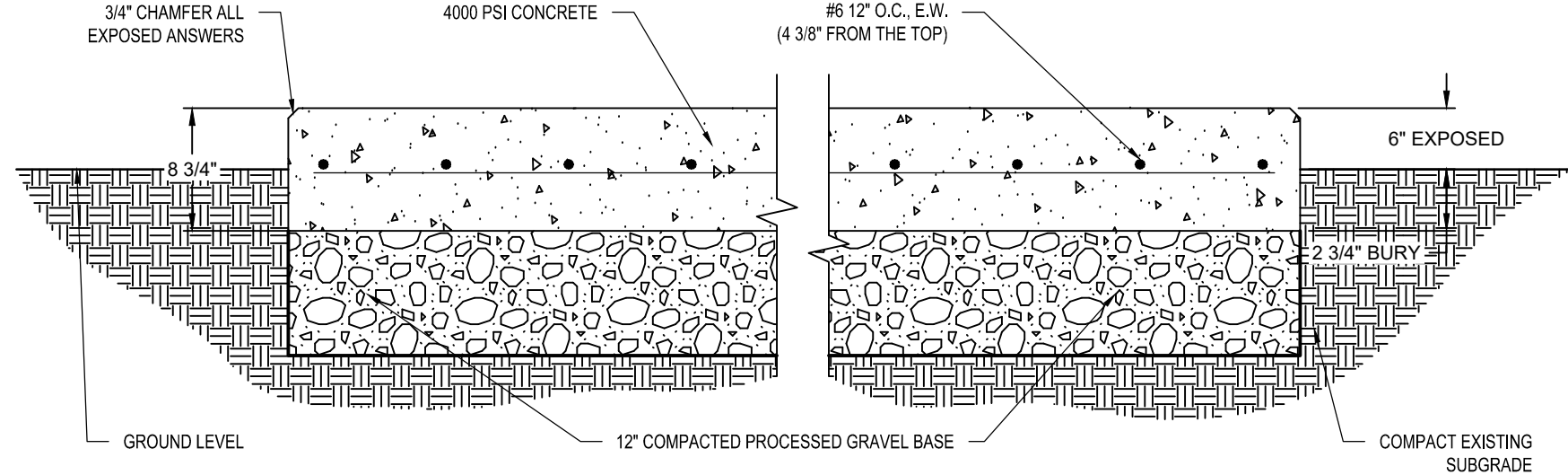
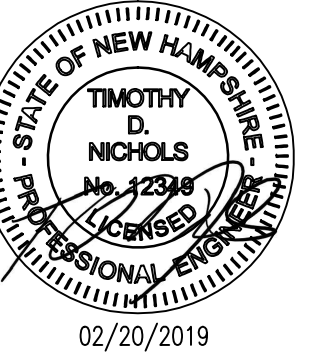
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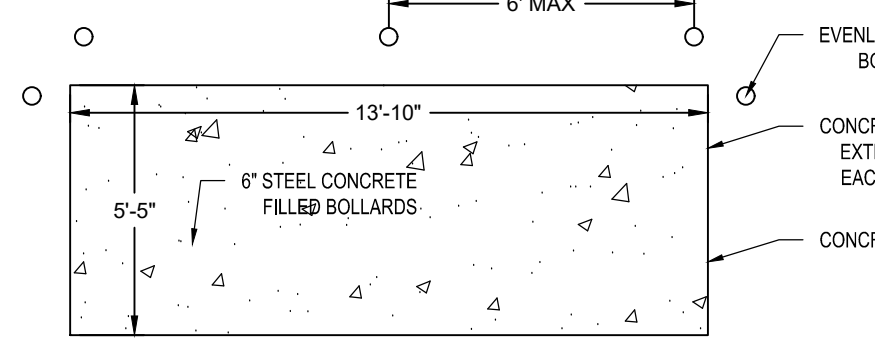
SCHEDULE											
SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	NUMBER LAMPS	FILENAME	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
2F4		4	HOLOPHANE	LEDG 060 35 5K AS 2H L4	LEDGEND; mounted at 22ft	10 X 6 5K LED ARRAY Cree XP-G	1	LEDG_060_35_5K_AS_2H_L4.ies	5486	0.90	135.60
D		4	Generation Brands	700BSTR84042CZUNV2P CLF	LED BOLLARD; mounted at 3.5ft	LED	1	102171228CHL050 GB 700OBSTR42SC1UNV830C-0.93.ies	1254	0.90	19.40
V		4	V2 Lighting	C2SS D V W 13 83 35 60 XX	Exterior Downlight Cylinder; wall-LED-mounted at 8ft	LED	1	CORE QUBE TILT_83CRL_1300LM_60 degrees.ies	1300	0.90	9.50

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
AROUND BUILDING	+	0.5 fc	16.3 fc	0.0 fc	N/A	N/A
EAST PARKING LOT	+	1.5 fc	3.5 fc	0.2 fc	17.5 : 1	7.5 : 1
OUTSIDE OF PARKING LOT	+	0.1 fc	27.4 fc	0.0 fc	N/A	N/A
PARKING LOT	+	0.0 fc	1.4 fc	0.0 fc	N/A	N/A

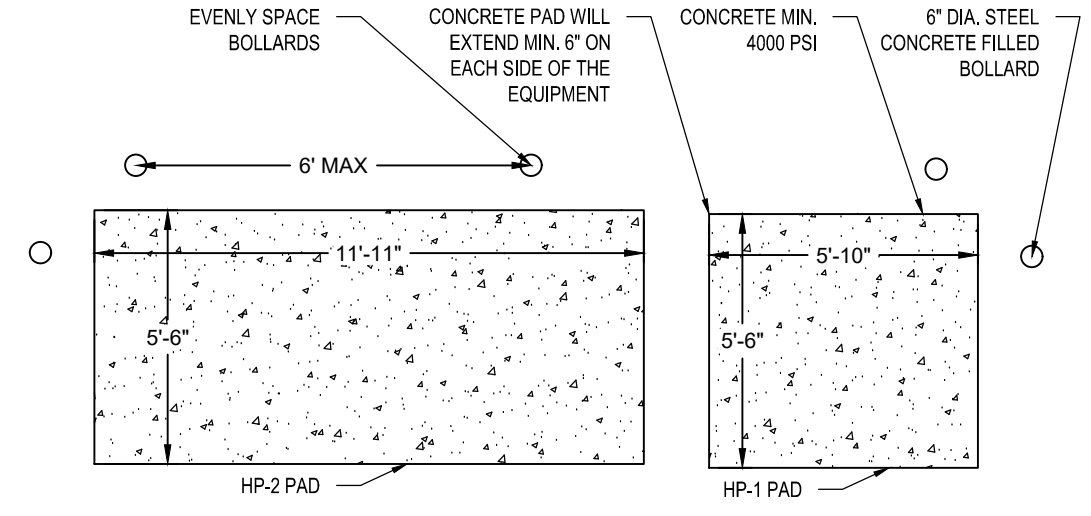




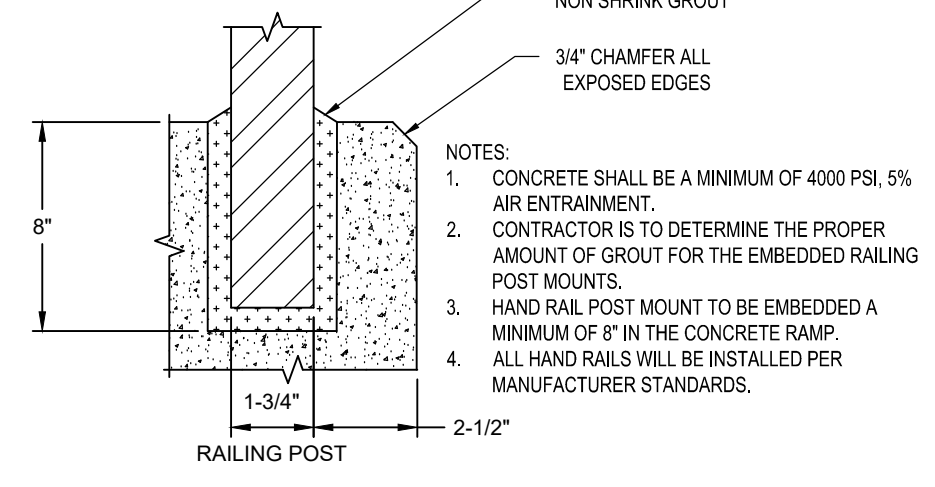
CONCRETE PAD GENERATOR (SECTION VIEW)
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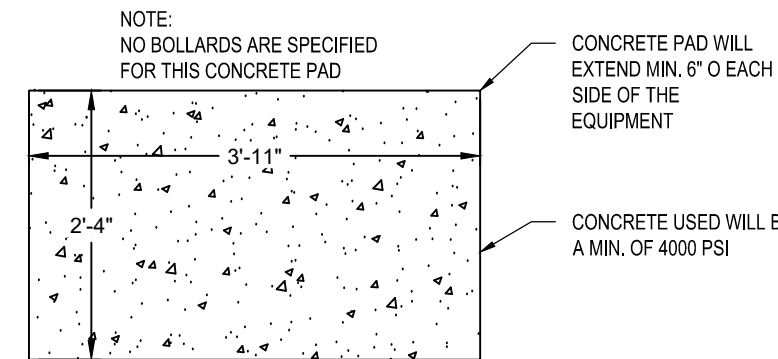
CONCRETE PAD GENERATOR PLAN
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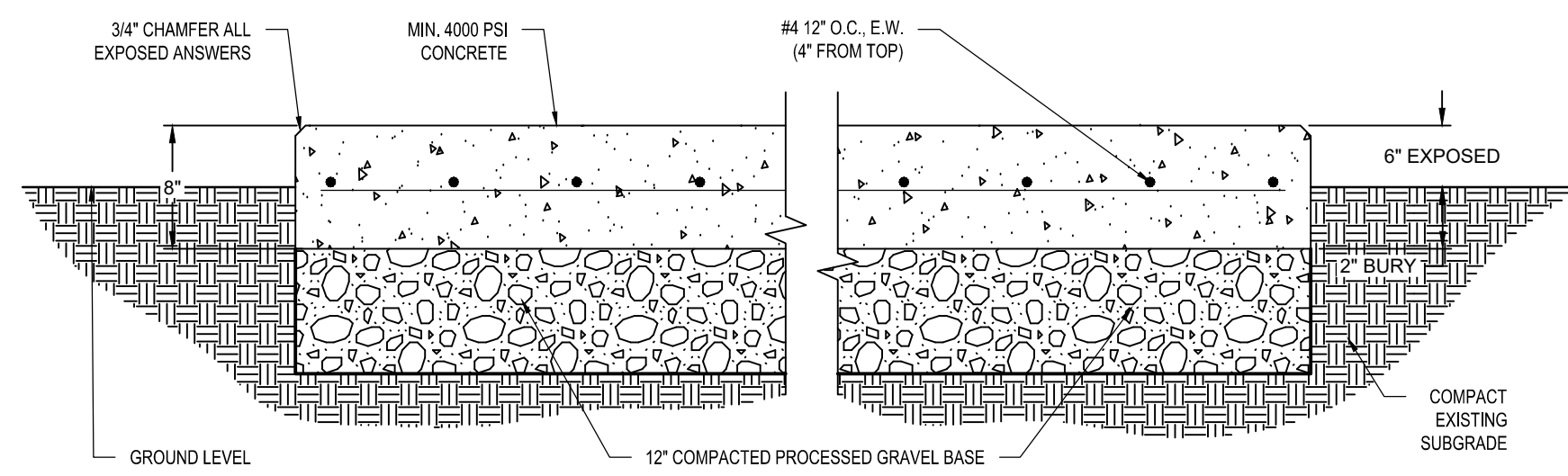
CONCRETE PADS HP 1&2 PLAN
SCALE: N.T.S. C-10.0 C



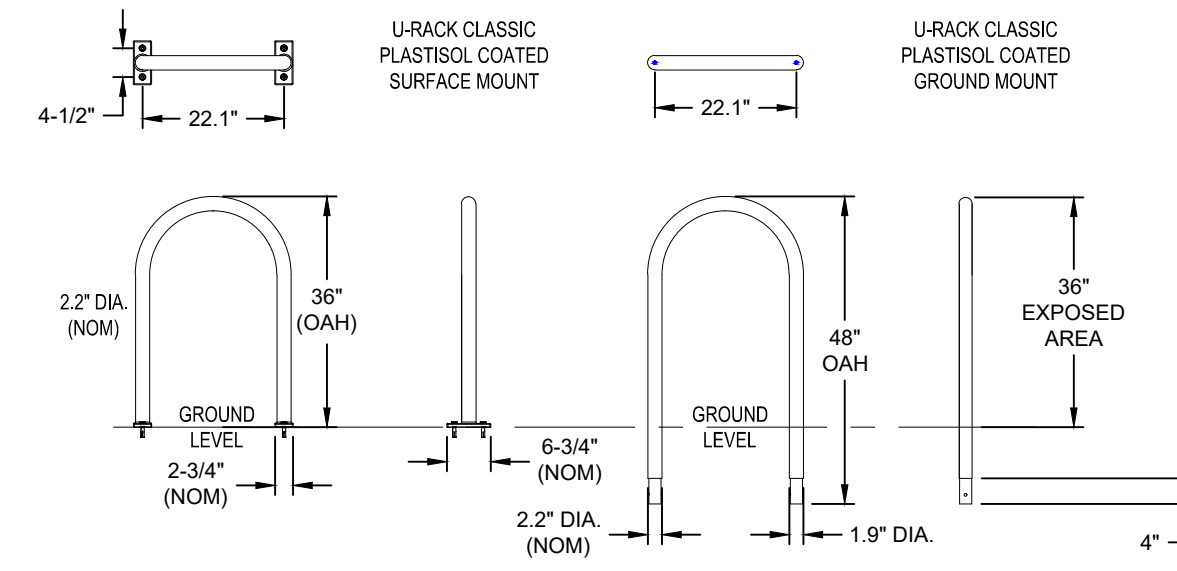
HAND RAIL POST DETAIL
SCALE: N.T.S. C-10.0 D



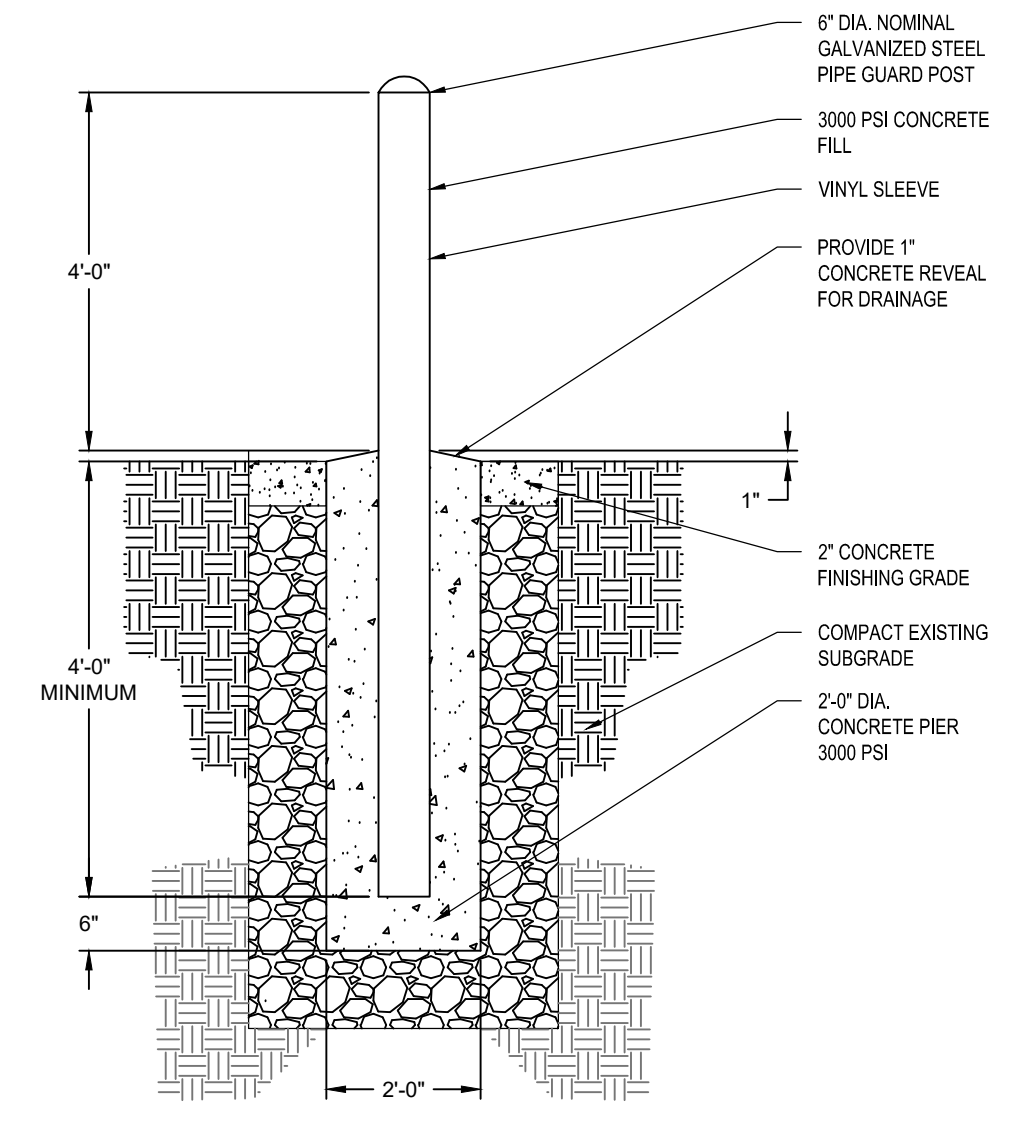
CONCRETE PAD HP 3 PLAN
SCALE: N.T.S. C-10.0 E



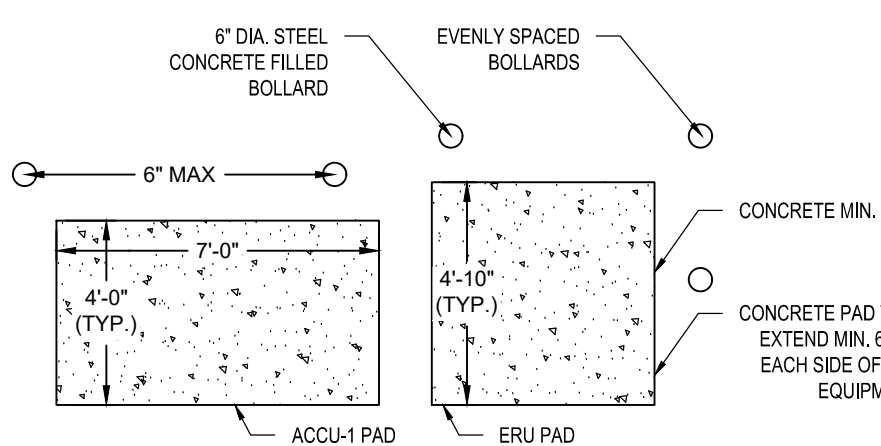
CONCRETE EQUIPMENT PAD (SECTION VIEW)
SCALE: N.T.S. C-10.0 F



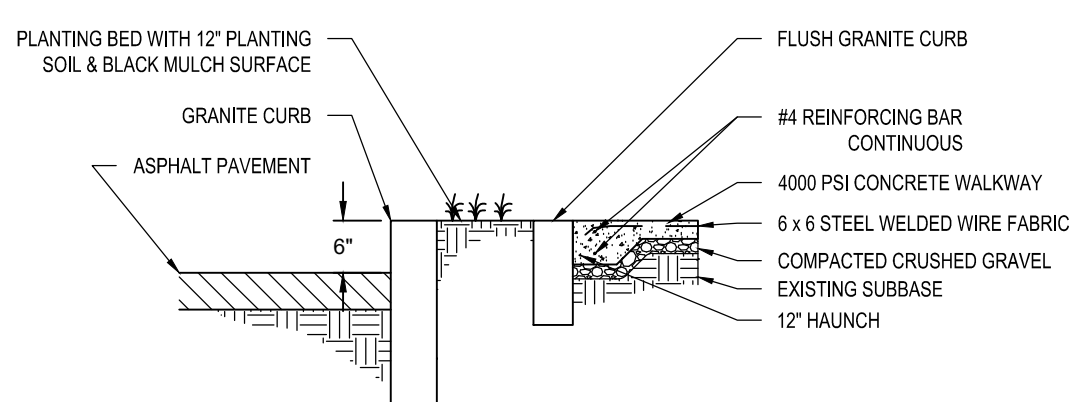
CLASSIC BIKE U RACK DETAIL (CYCLE SAFE)
SCALE: N.T.S. C-10.0 I



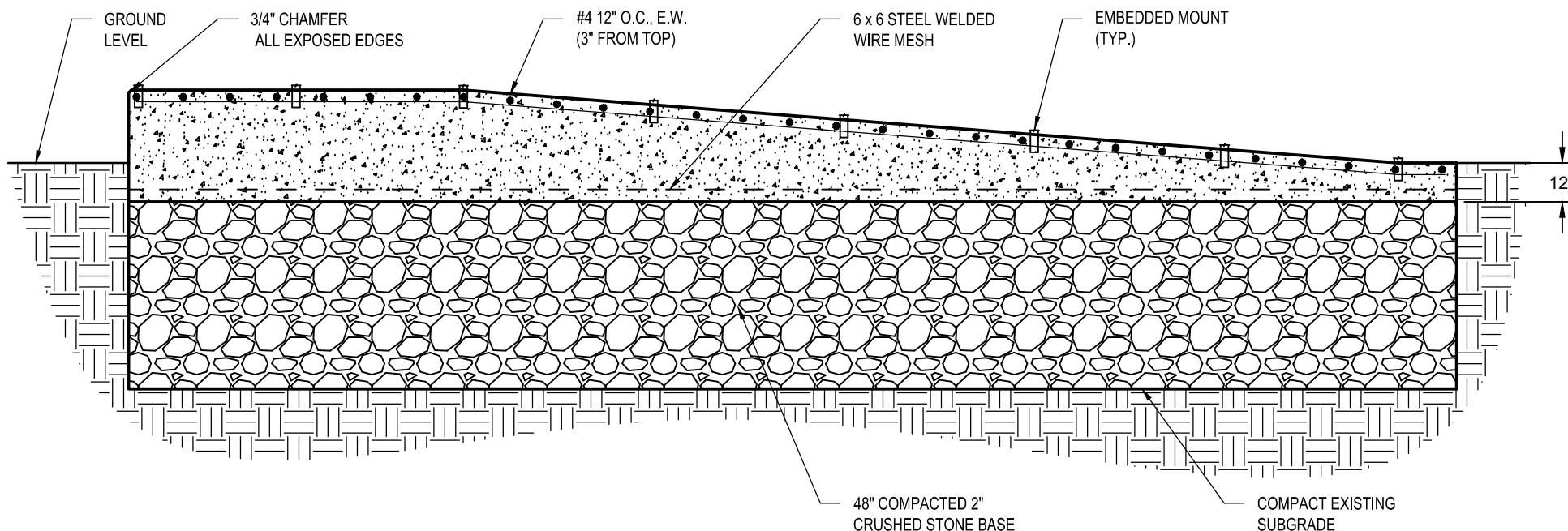
BOLLARD DETAIL (TYP.)
SCALE: N.T.S. C-10.0 J



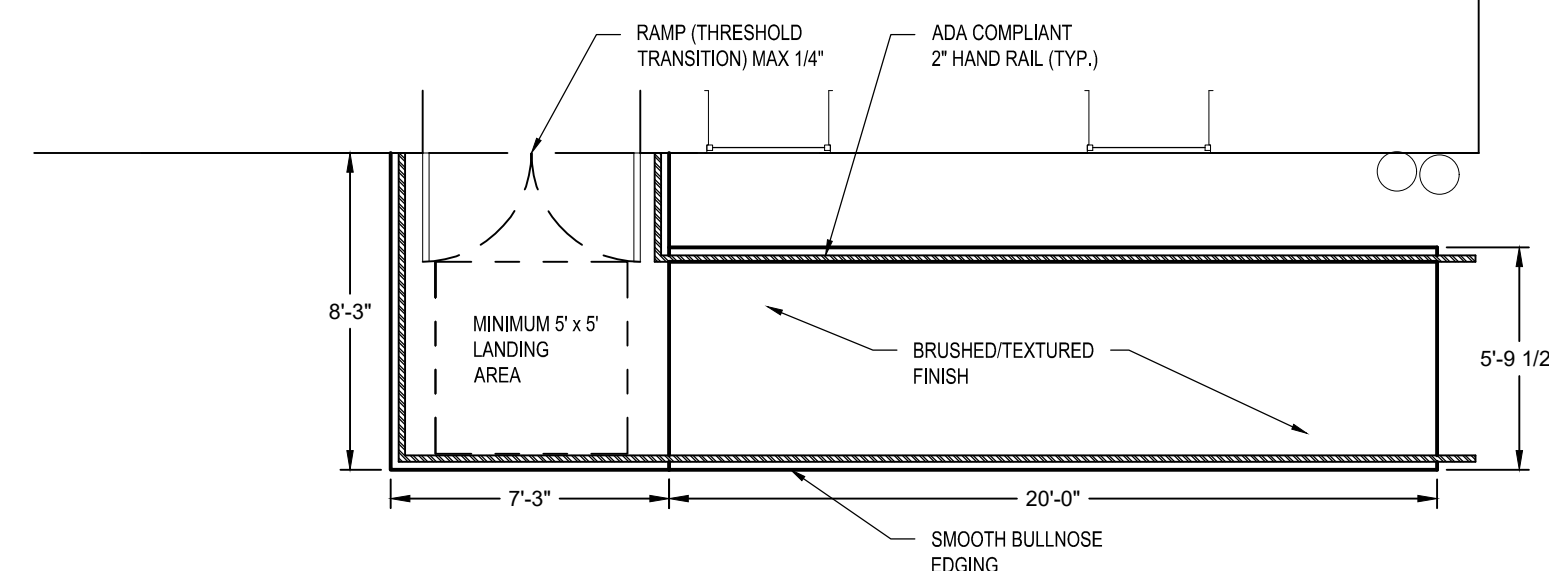
CONCRETE PAD ERU AND ACCU PLAN
SCALE: N.T.S. C-10.0 G



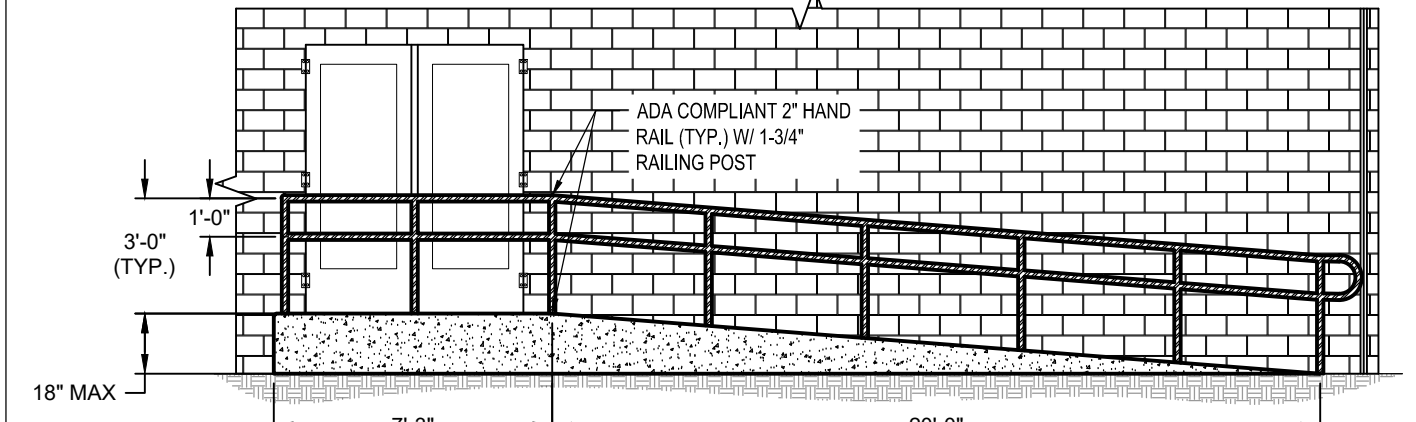
LANDSCAPING BED (TYP.)
SCALE: N.T.S. C-10.0 H



CONCRETE RAMP (SECTION VIEW)
SCALE: N.T.S. C-10.0 K



CONCRETE RAMP LAYOUT PLAN VIEW
SCALE: N.T.S. C-10.0 L



CONCRETE RAMP HAND RAIL SECTION VIEW
SCALE: N.T.S. C-10.0 M

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3	ISSUED FOR BID	02/20/2019

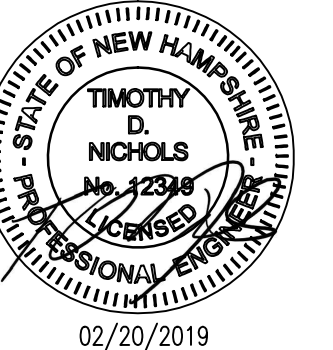
DETAILS SHEET

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	AS SHOWN
DRAWN BY:	BCC
REVIEWED BY:	TDN

C-10.0

PROJECT PHASE:
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02/20/2019

**PRELIMINARY
NOT FOR CONSTRUCTION**

CITY OF PORTSMOUTH
1 JUNKINS AVE.

**PORTSMOUTH
SENIOR ACTIVITY
CENTER**

125 COTTAGE STREET
PORTSMOUTH, NH 03801

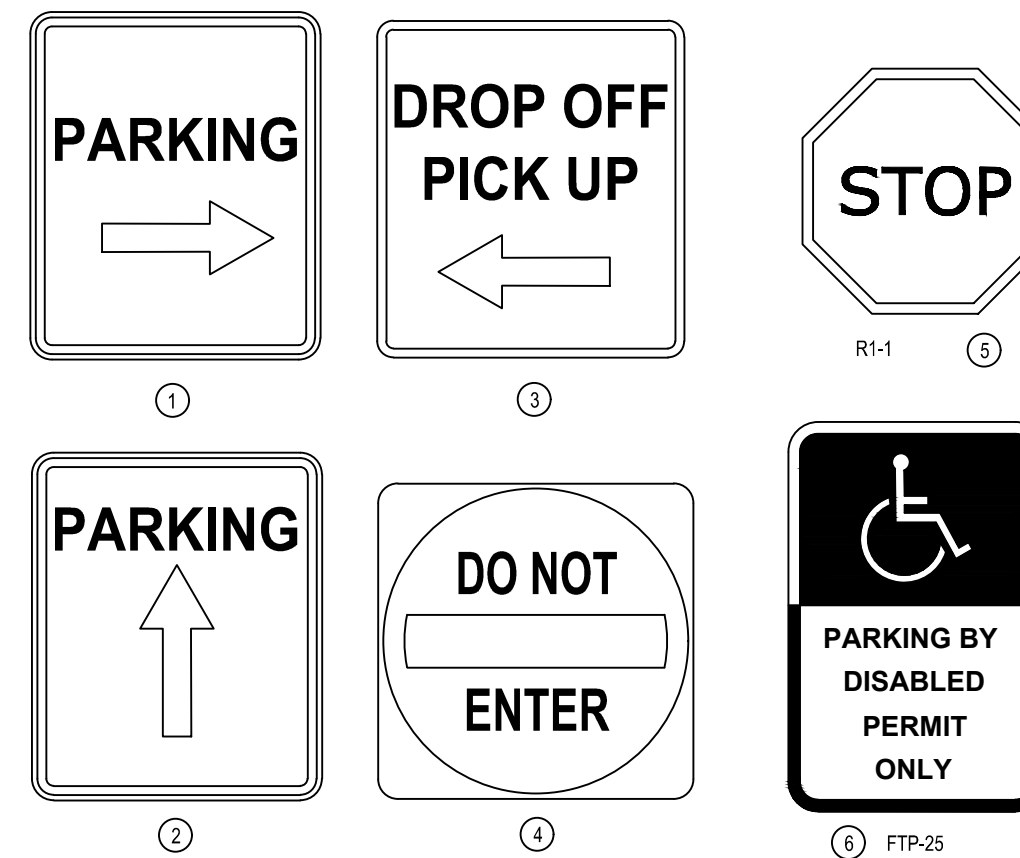
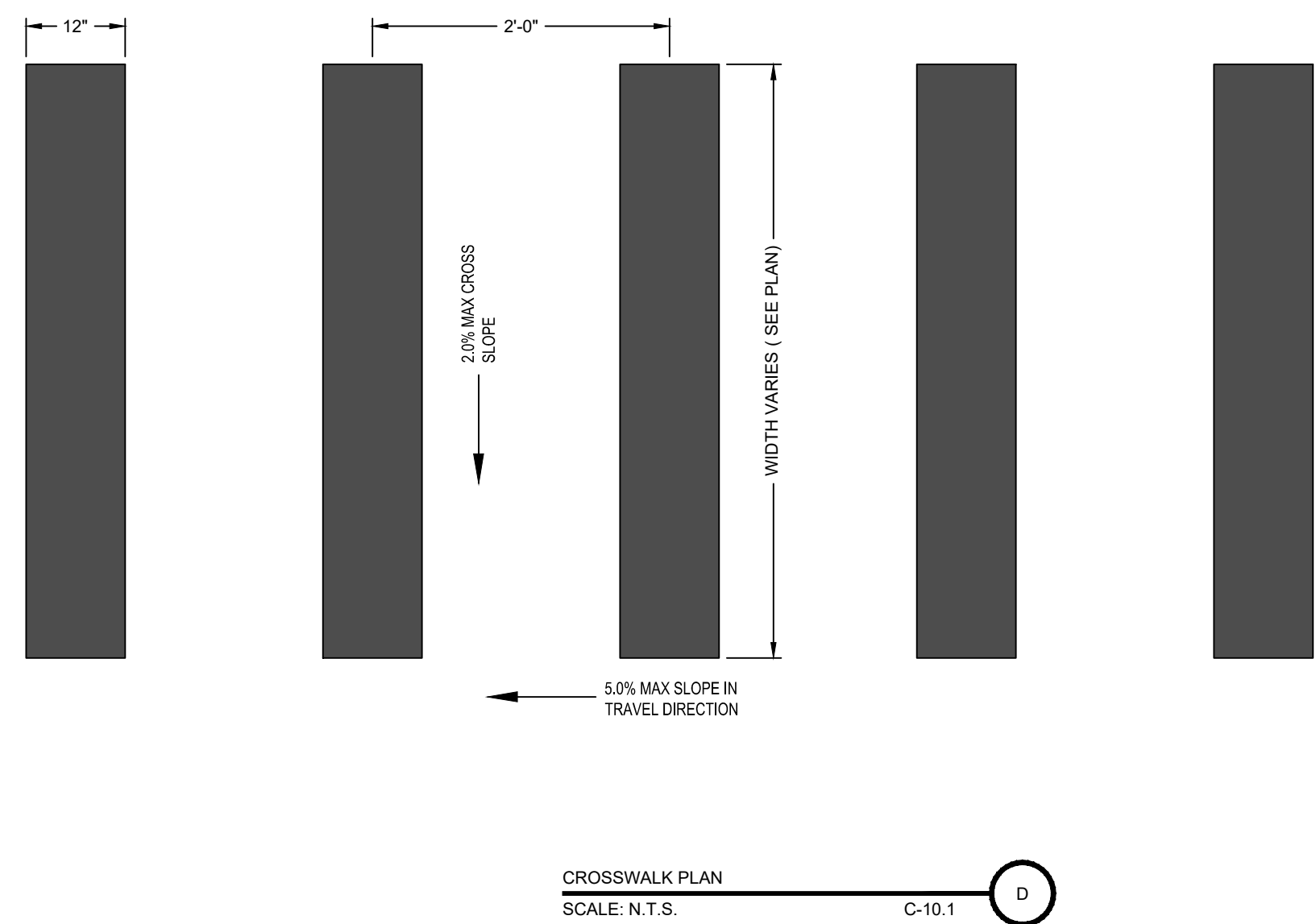
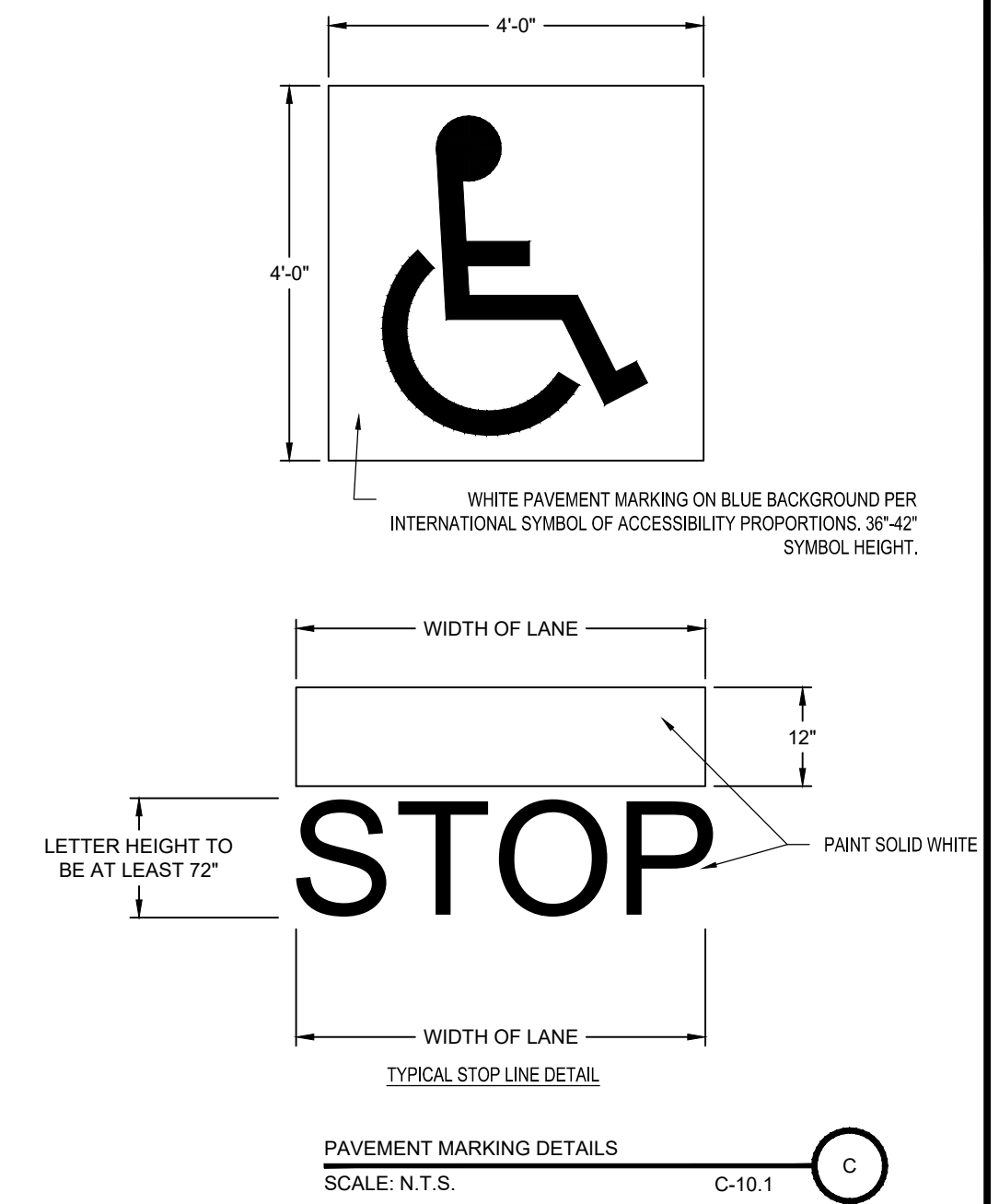
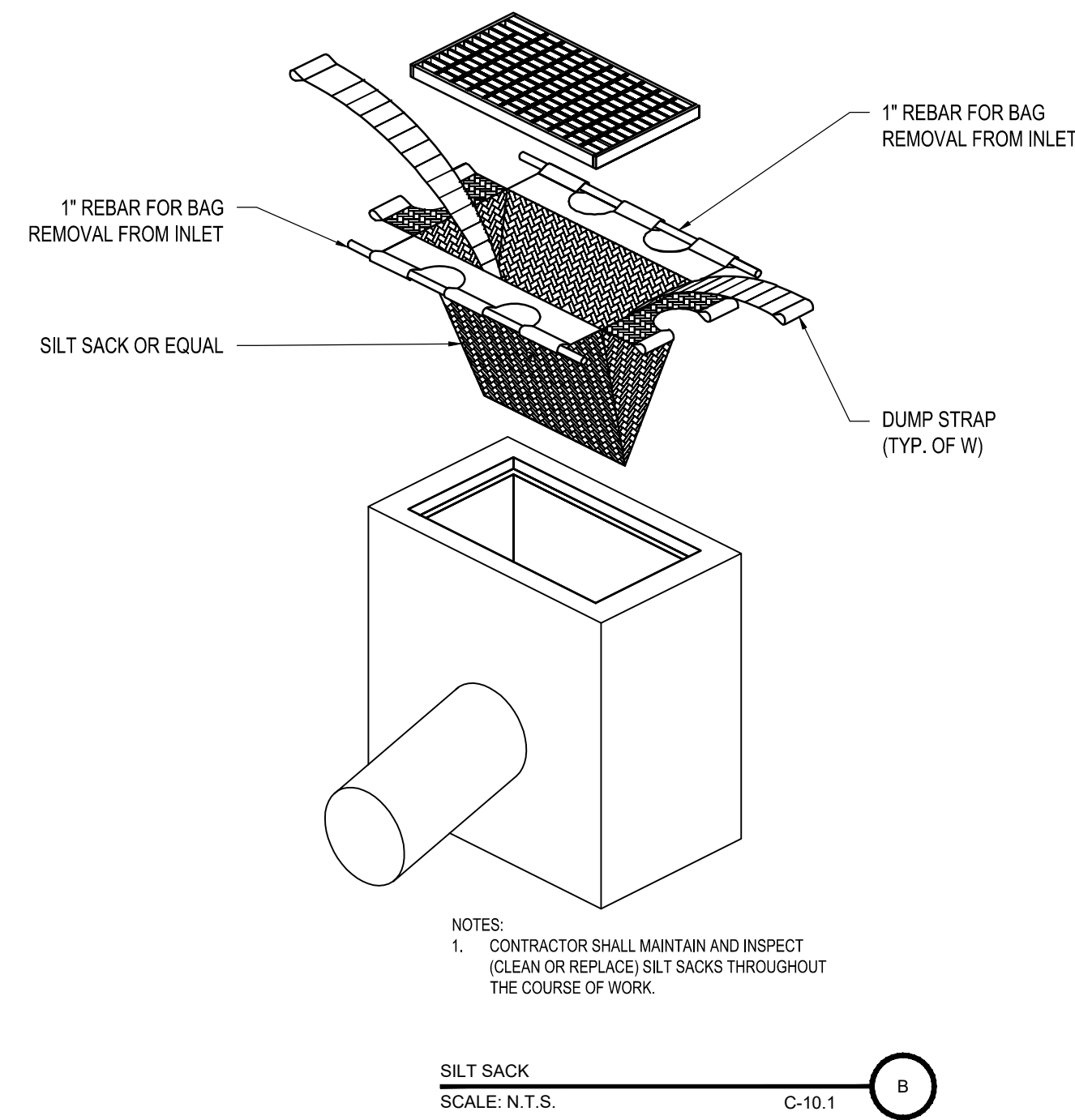
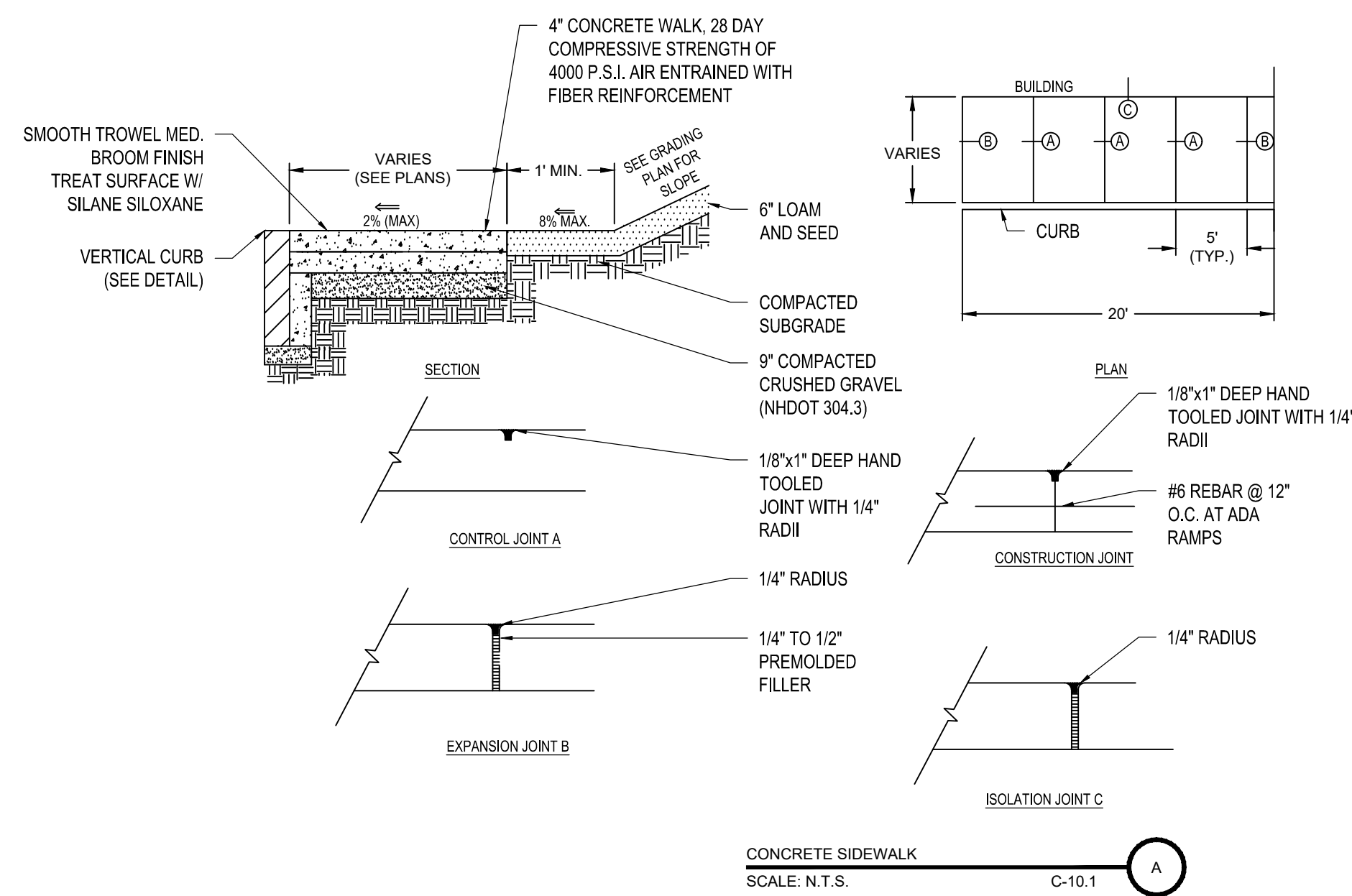
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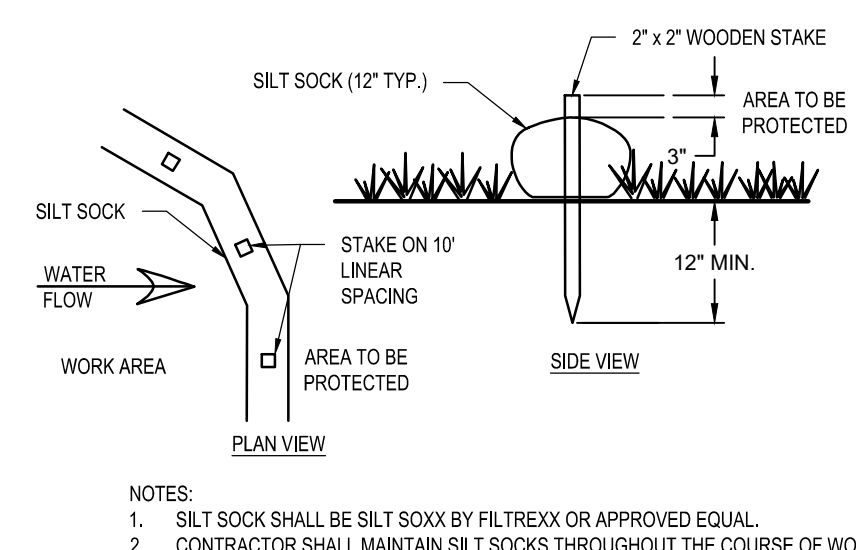
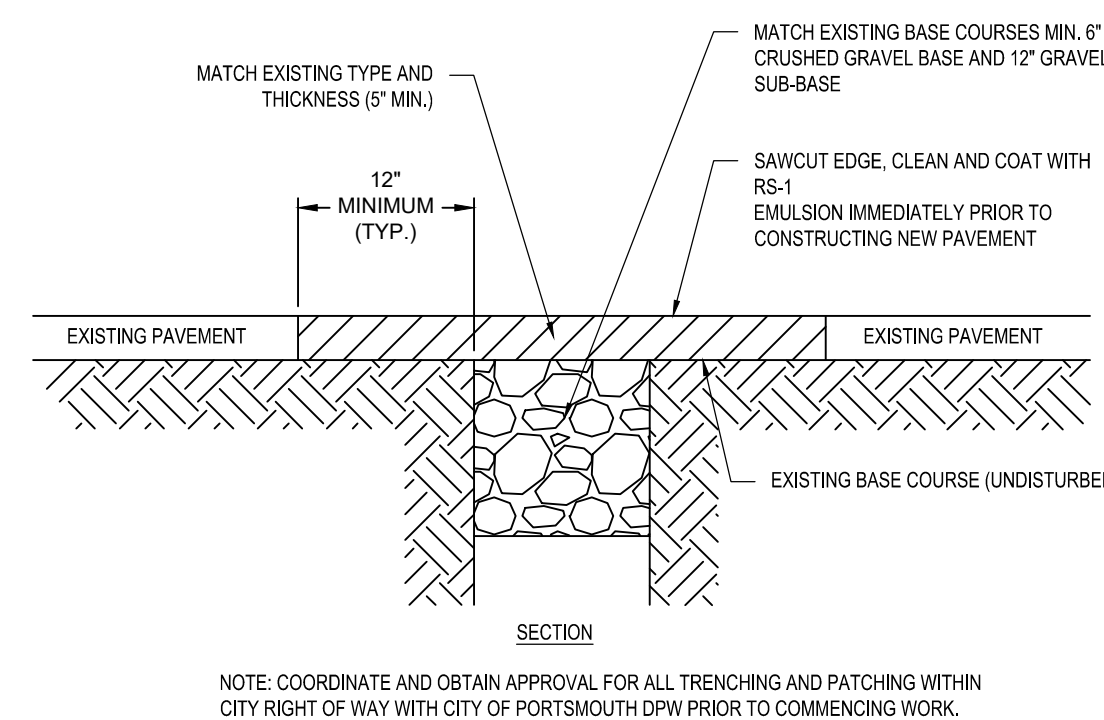
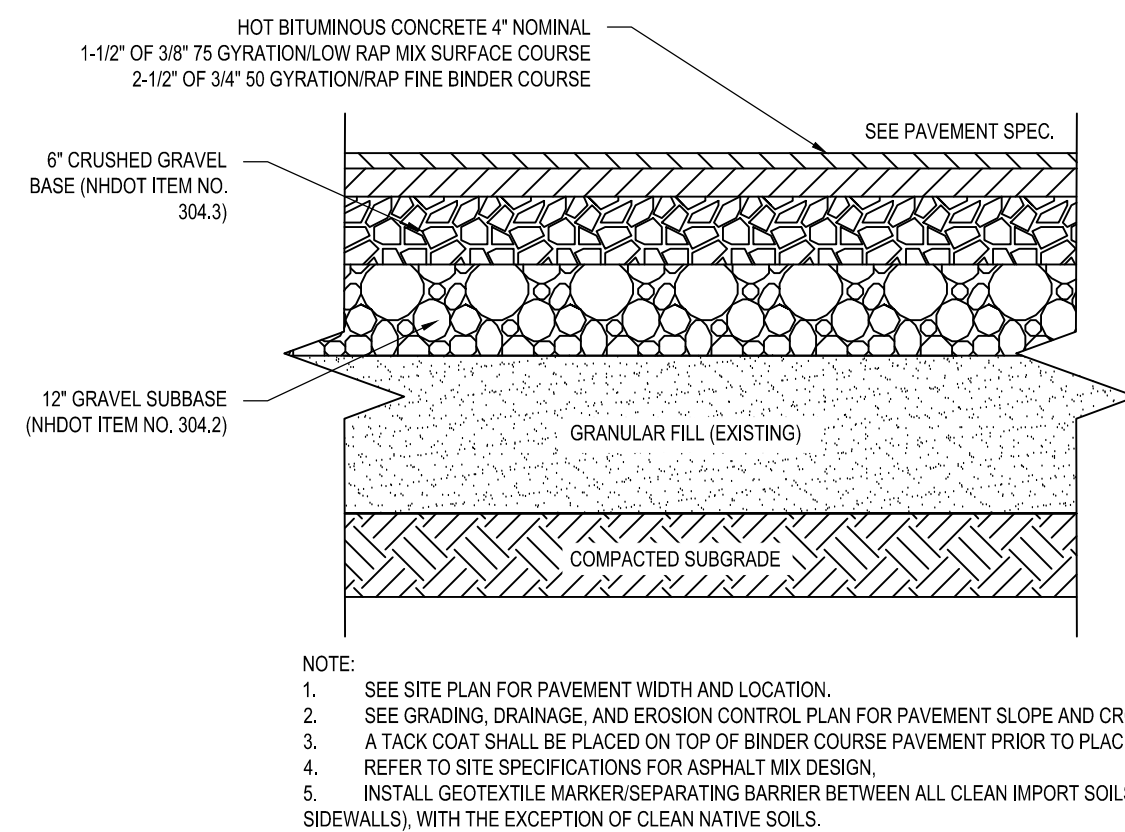
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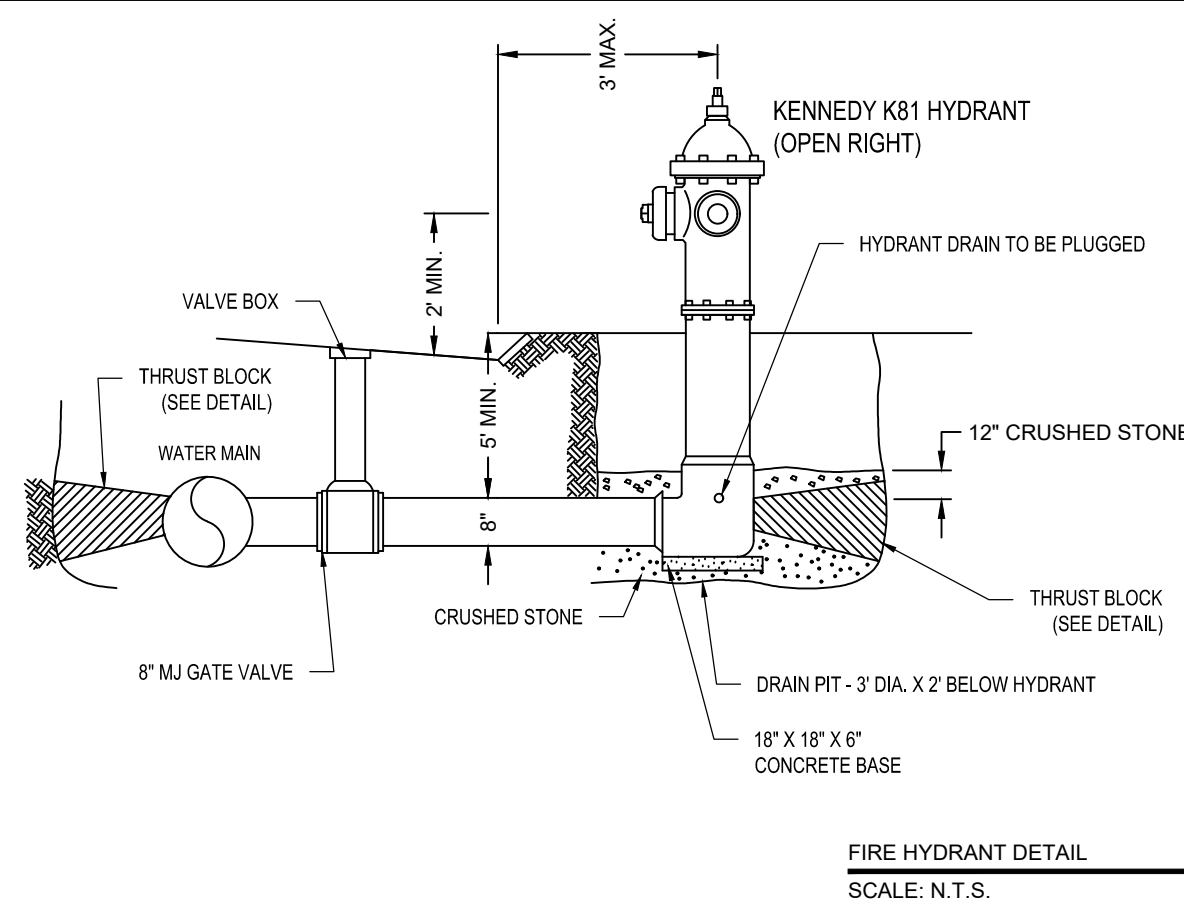
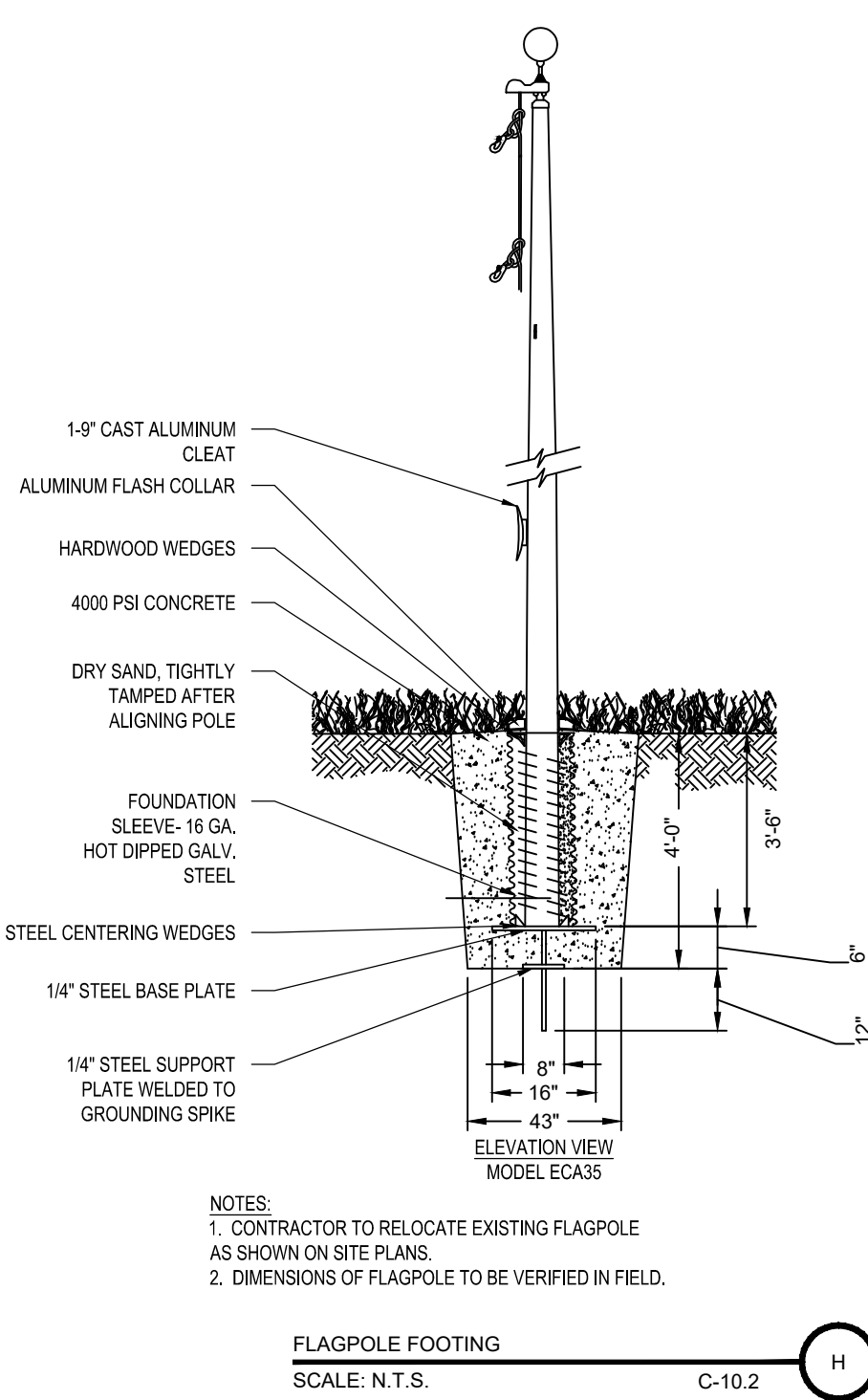
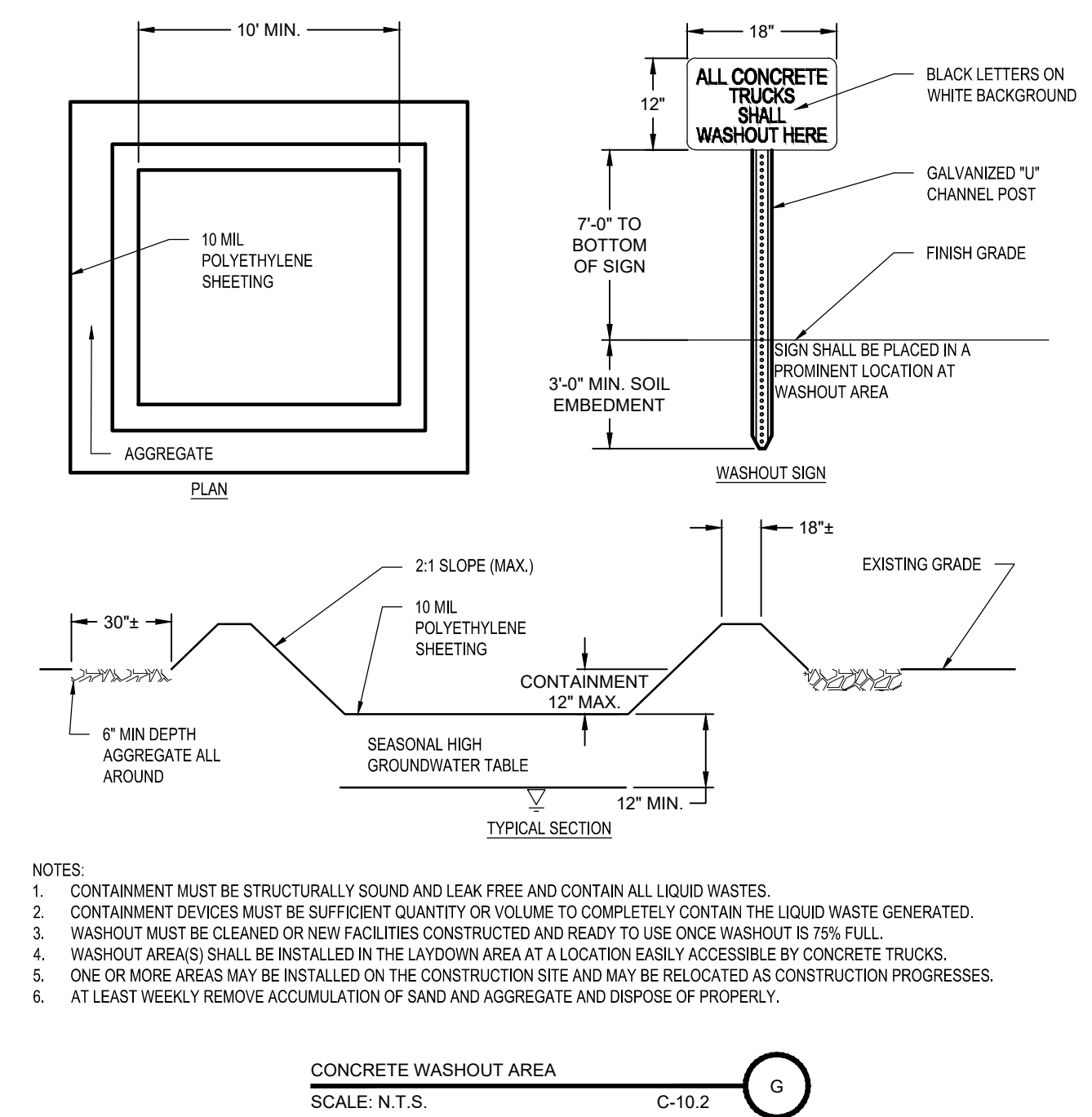
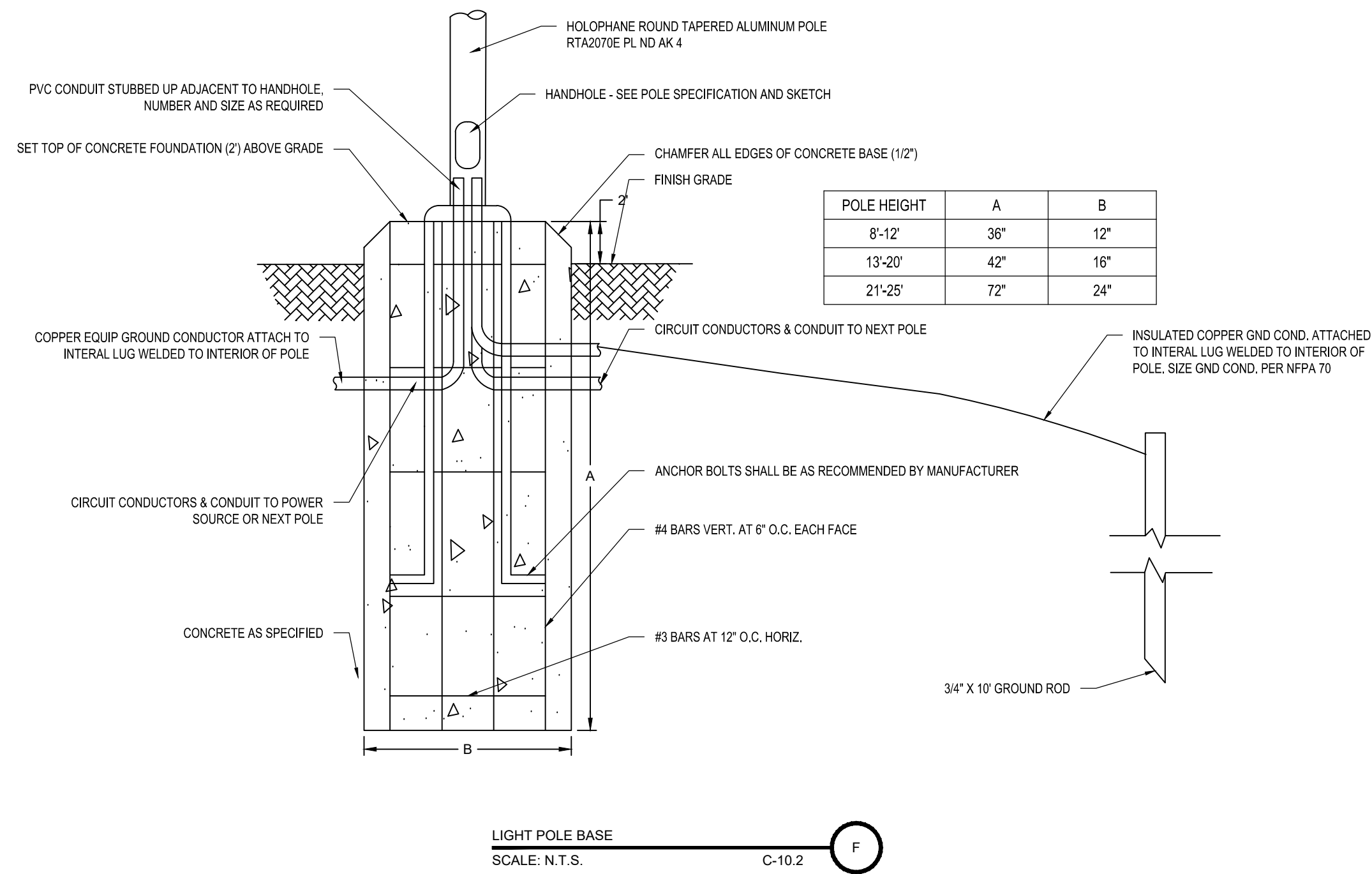
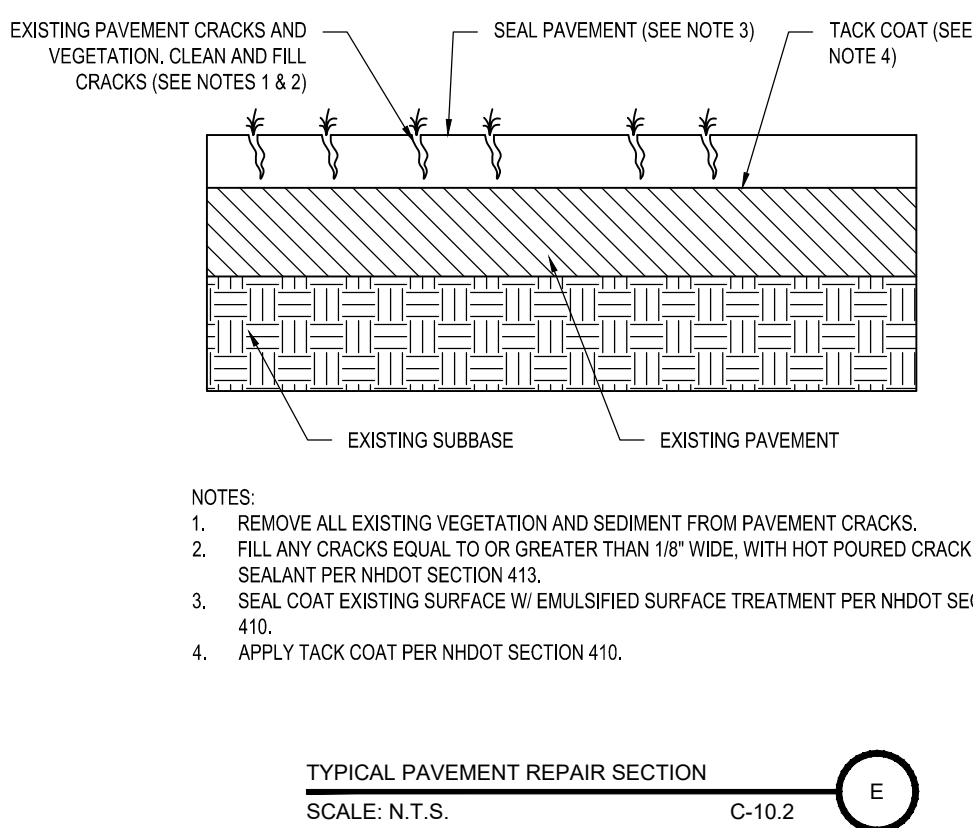
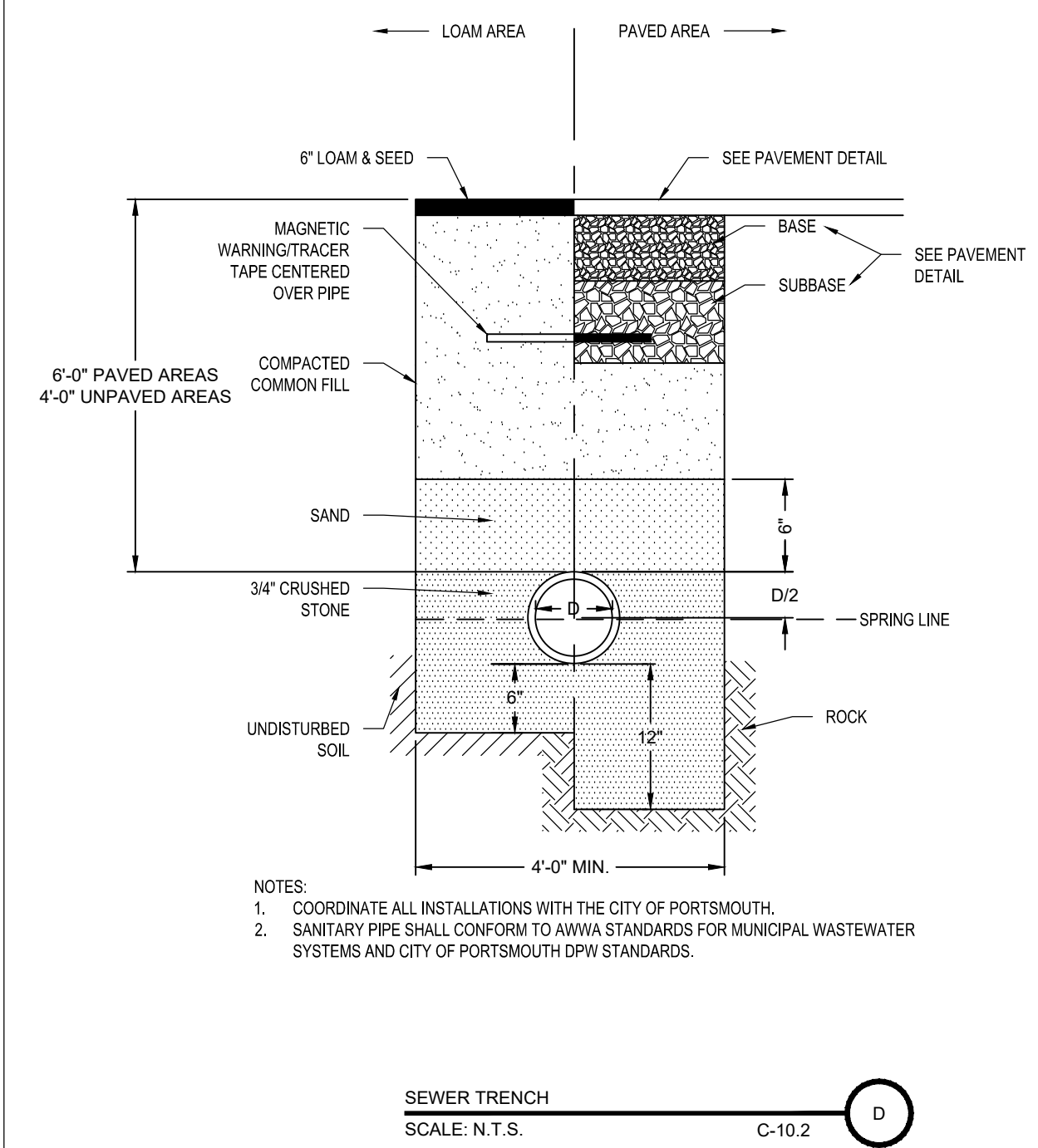
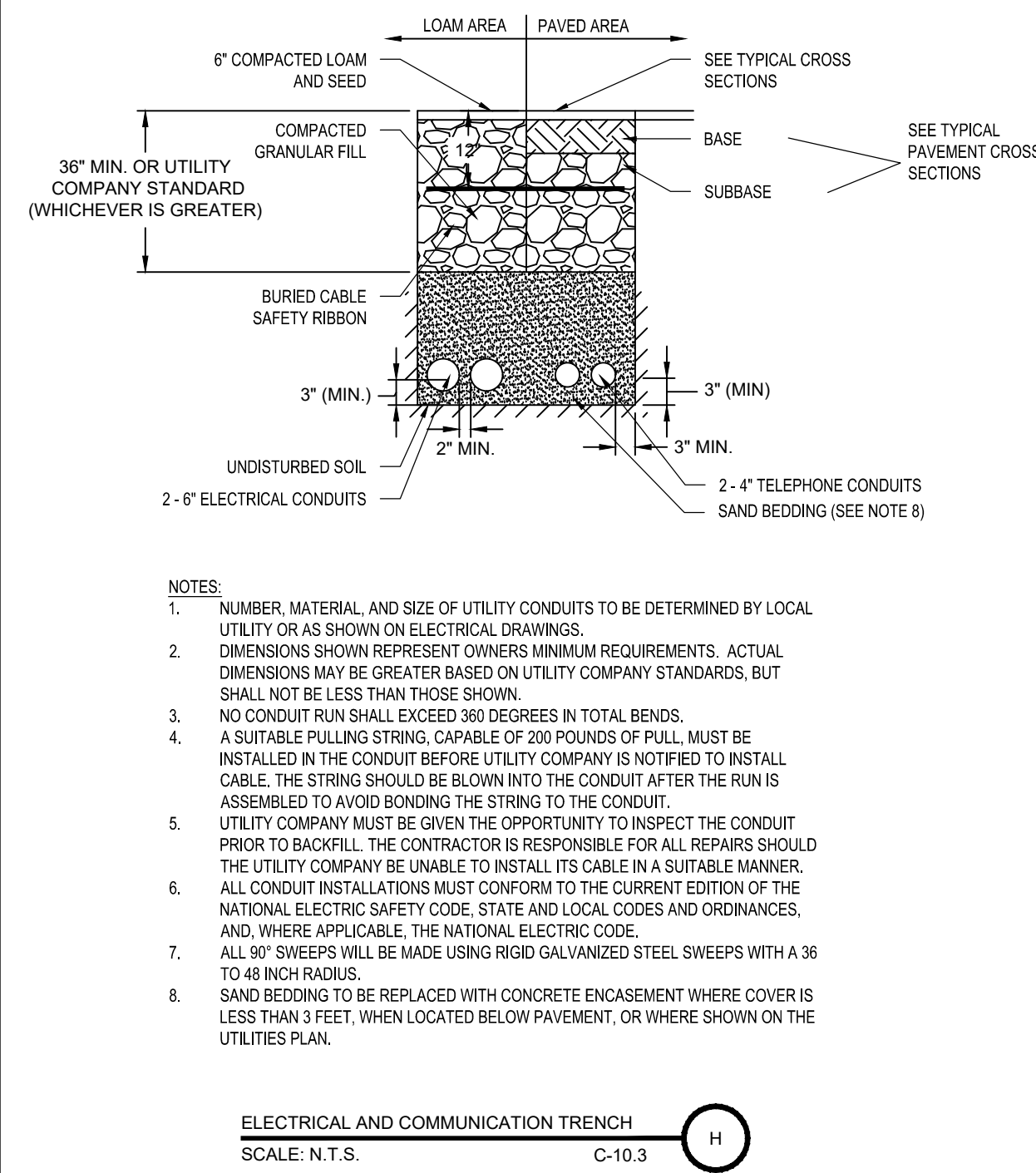
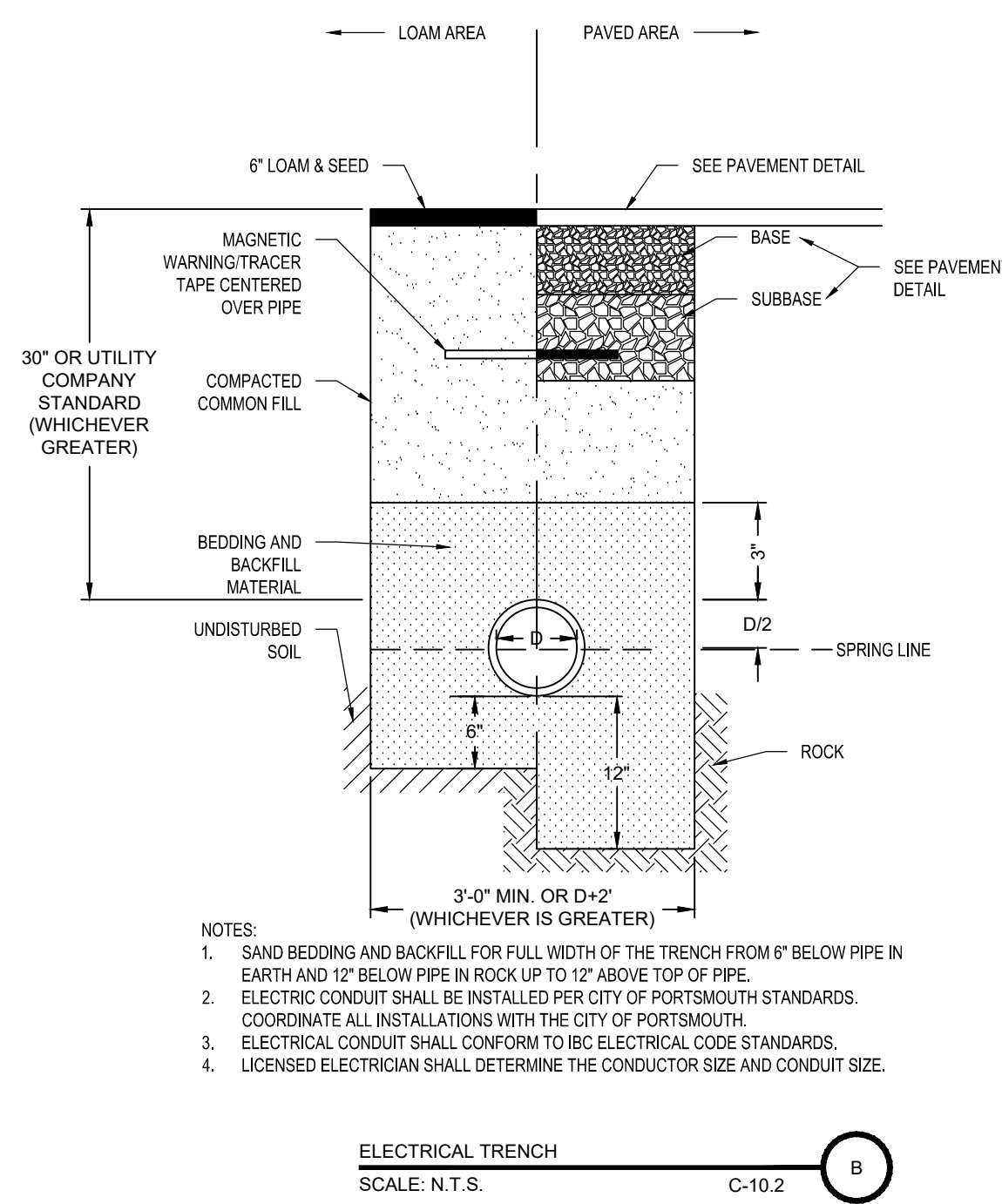
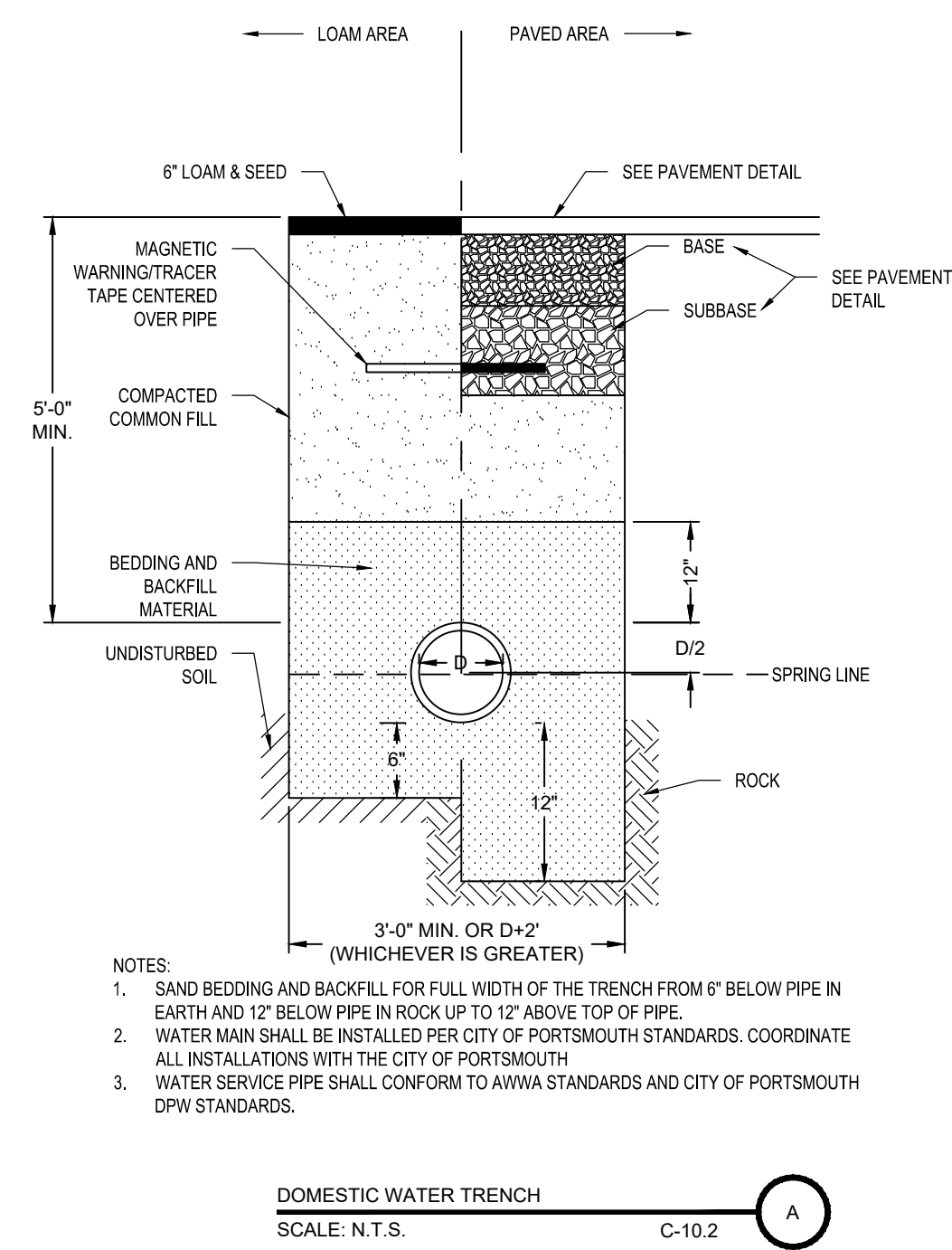
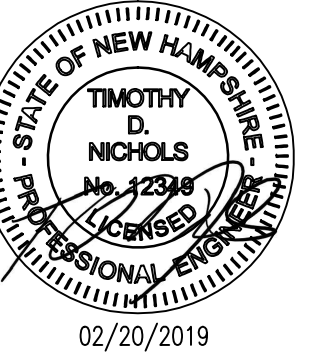
C-10.1

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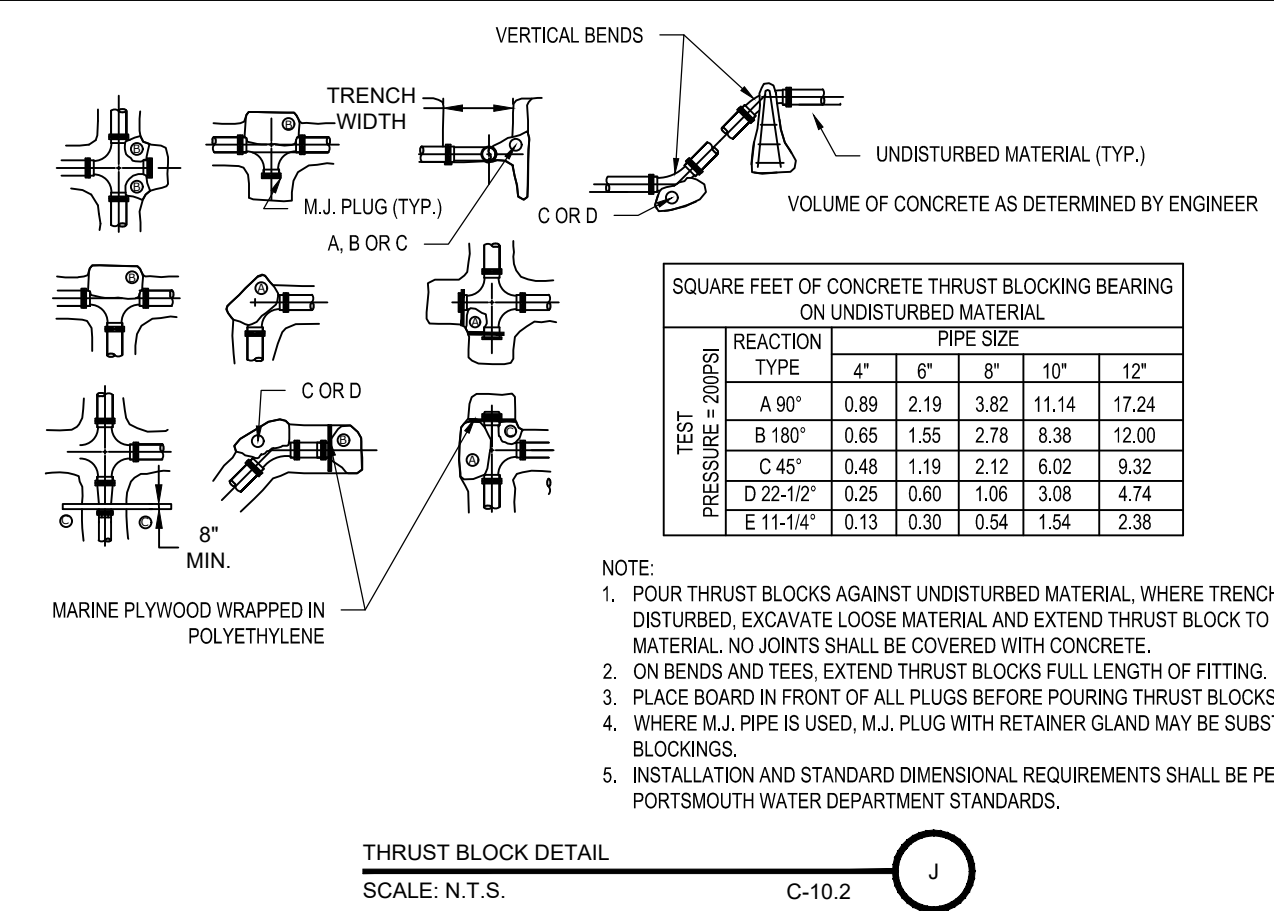


NHDOT ITEM NO. 304.2 (GRAVEL)		NHDOT ITEM NO. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
0" - 6"	100	0" - 3"	100
#4	25 - 70	0" - 2"	95 - 100
#200	0 - 12	0" - 1"	55 - 85
		#4	27 - 52
		#200	0 - 12





- NOTE:
- HYDRANT INSTALLATION AND OPERATION, MANUFACTURE AND MODEL, AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT AND THE CITY OF PORTSMOUTH FIRE DEPARTMENT.
 - HYDRANT SHALL BE PAINTED IN ACCORDANCE WITH CITY OF PORTSMOUTH STANDARDS.
 - AREA AROUND HYDRANT SHALL BE GRADED TO ALLOW SURFACE WATER TO DRAIN AWAY.
 - CONTRACTOR SHALL INSTALL AN INDICATOR ATTACHED TO THE HYDRANT IN ACCORDANCE TO CITY OF PORTSMOUTH STANDARDS.
 - HYDRANT LATERAL SHALL BE POLY WRAPPED FROM MAIN TO HYDRANT AT GROUND LEVEL, 6" (MIN.) OF SAND FOR BEDDING AND COVER, WARNING TAPE 18" ABOVE PIPE.



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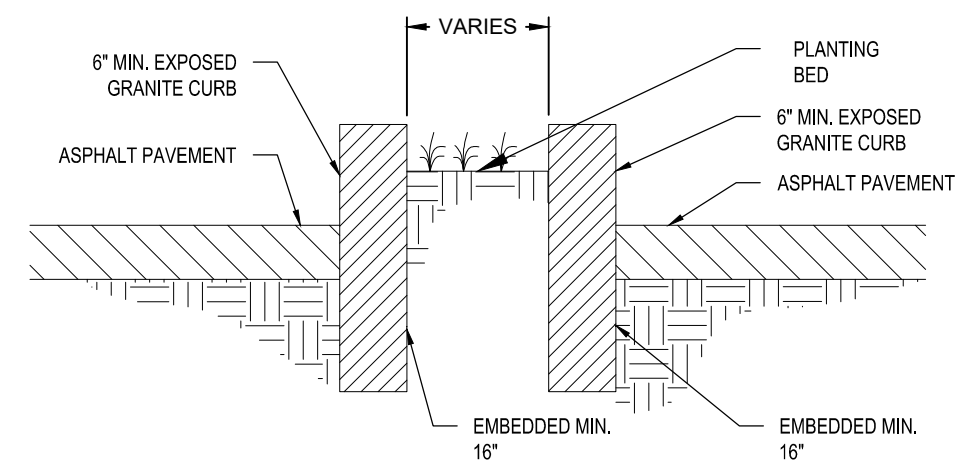
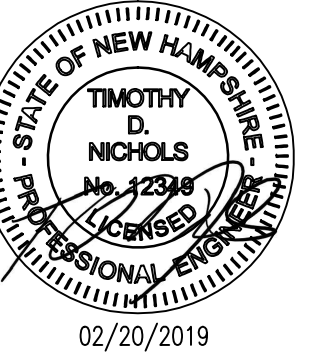
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DETAILS SHEET

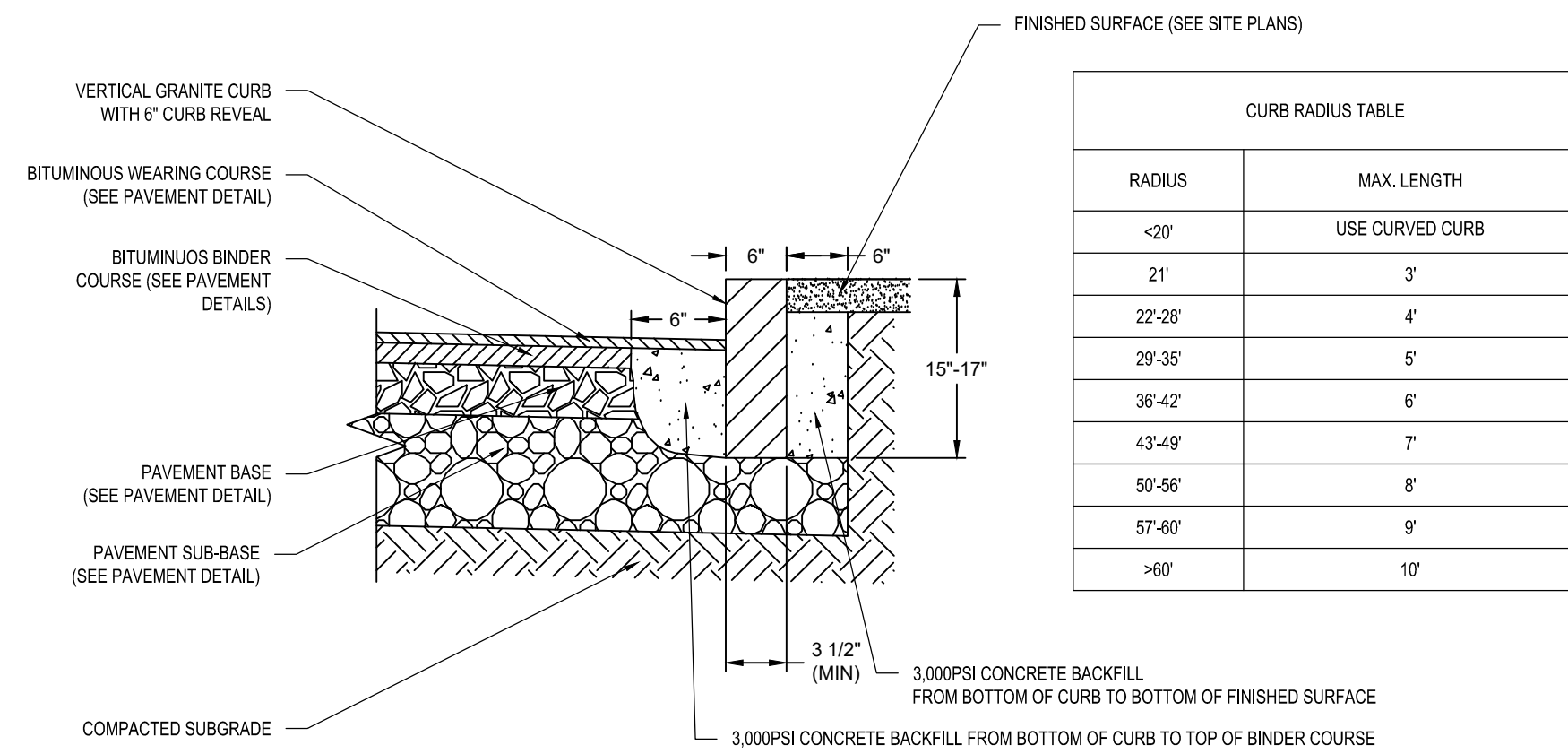
PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: AS SHOWN
DRAWN BY: BCC
REVIEWED BY: TDN

C-10.2

PROJECT PHASE:
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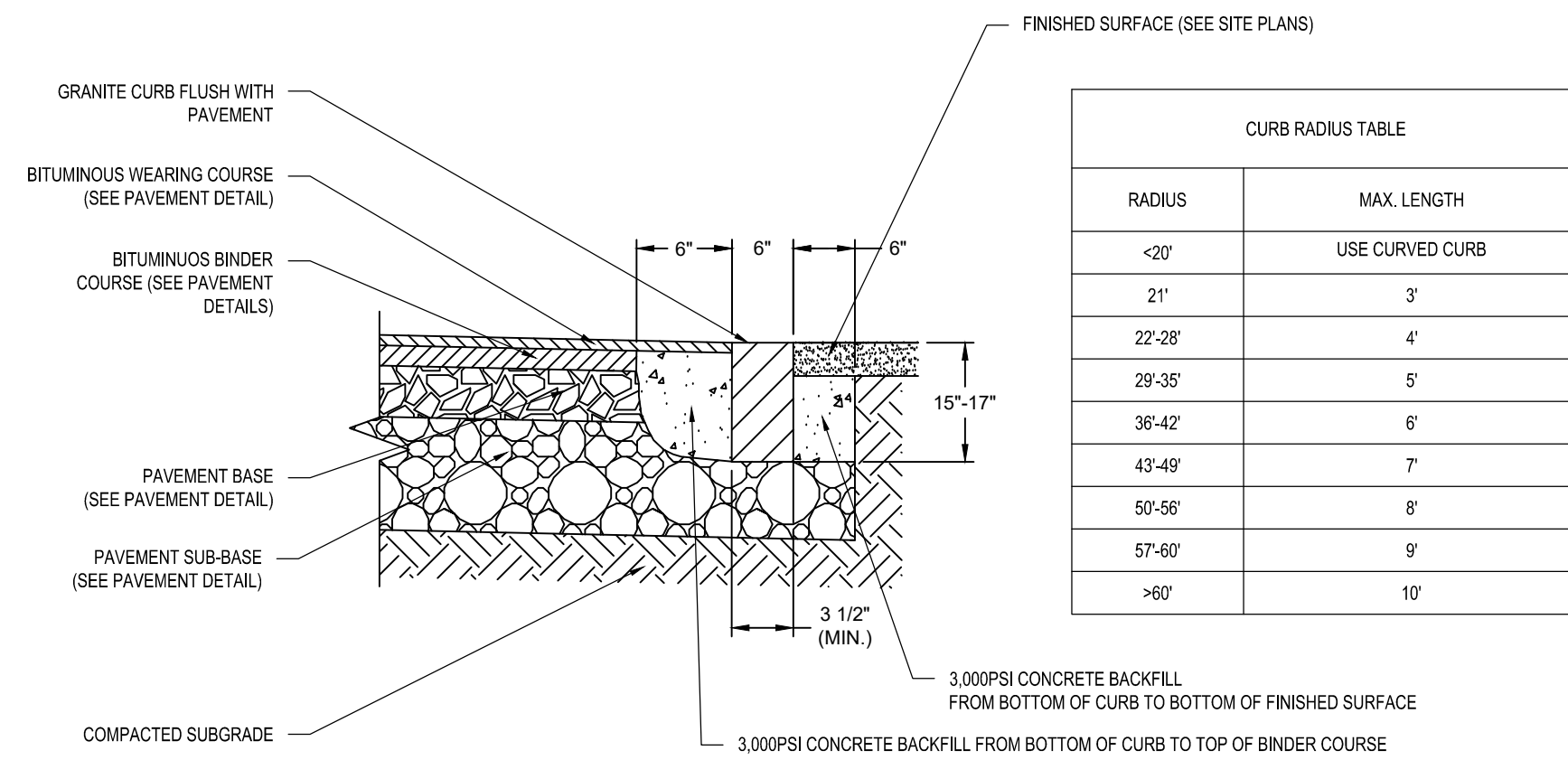
LANDSCAPING ISLAND WITH GRANITE CURBS
SCALE: N.T.S. C-10.3 A



CURB RADIUS TABLE	
RADIUS	MAX. LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
>60'	10'

- NOTES:
- SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 - MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 - ALL RADI 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
 - JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 3/4" AND SHALL BE MORTARED.
 - INSTALL GEOTEXTILE MARKER/SEPARATING BARRIER BETWEEN ALL CLEAN IMPORTED SOILS AND SUBGRADE SOILS (BASE AND SIDEWALLS), WITH THE EXCEPTION OF CLEAN NATIVE SOILS.

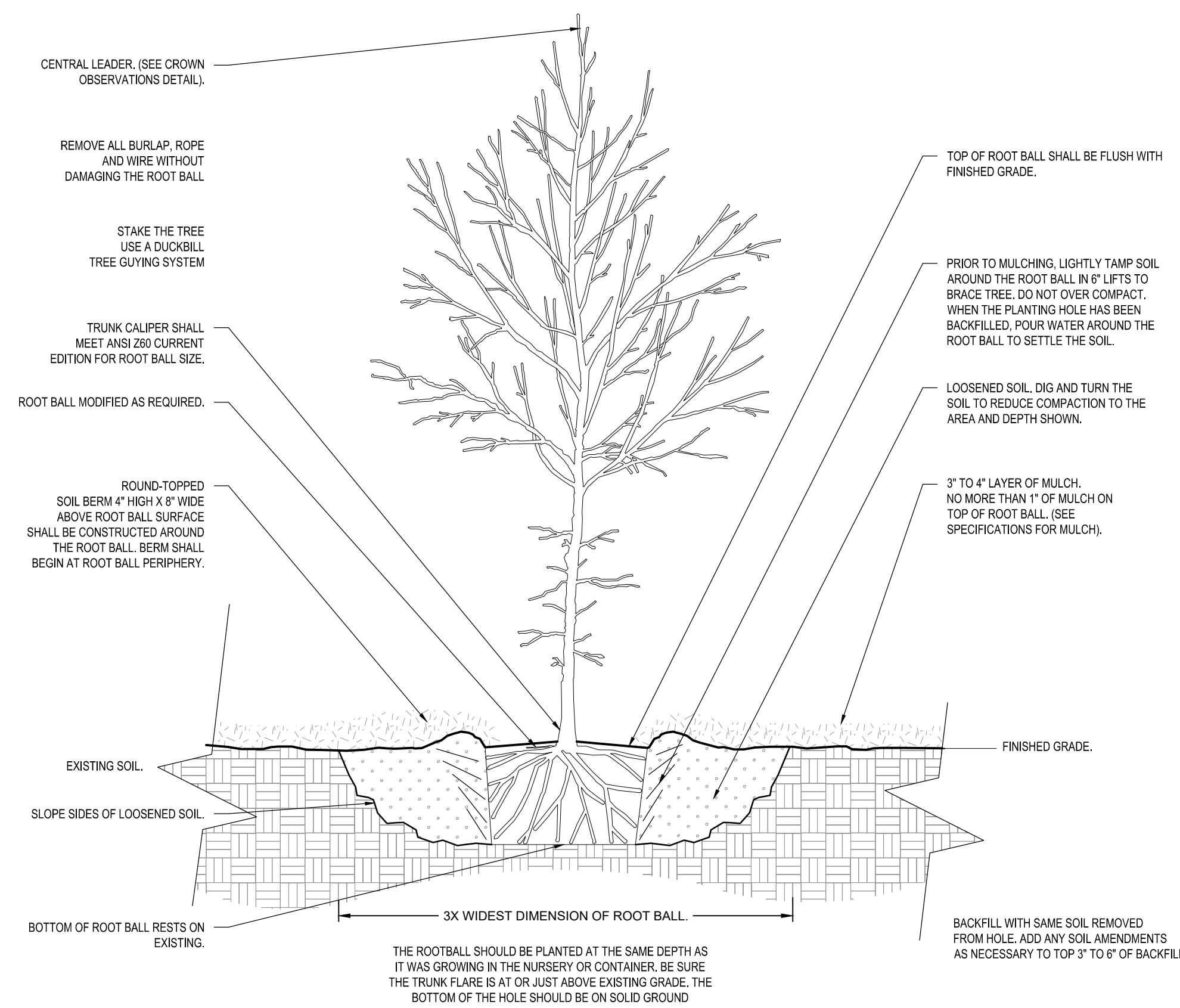
VERTICAL GRANITE CURB DETAIL
SCALE: N.T.S. C-10.3 B



CURB RADIUS TABLE	
RADIUS	MAX. LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
>60'	10'

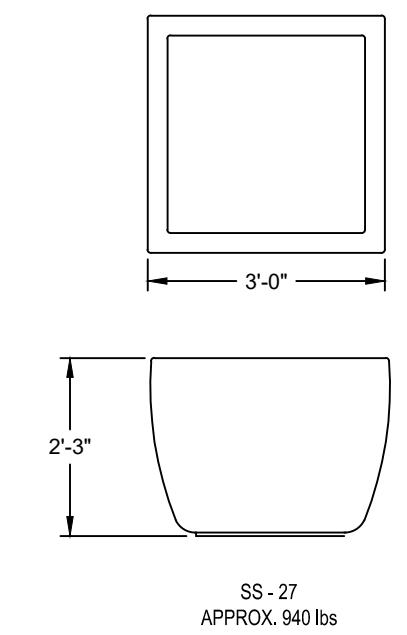
- NOTES:
- SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
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FLUSH GRANITE CURB
SCALE: N.T.S. C-10.3 C

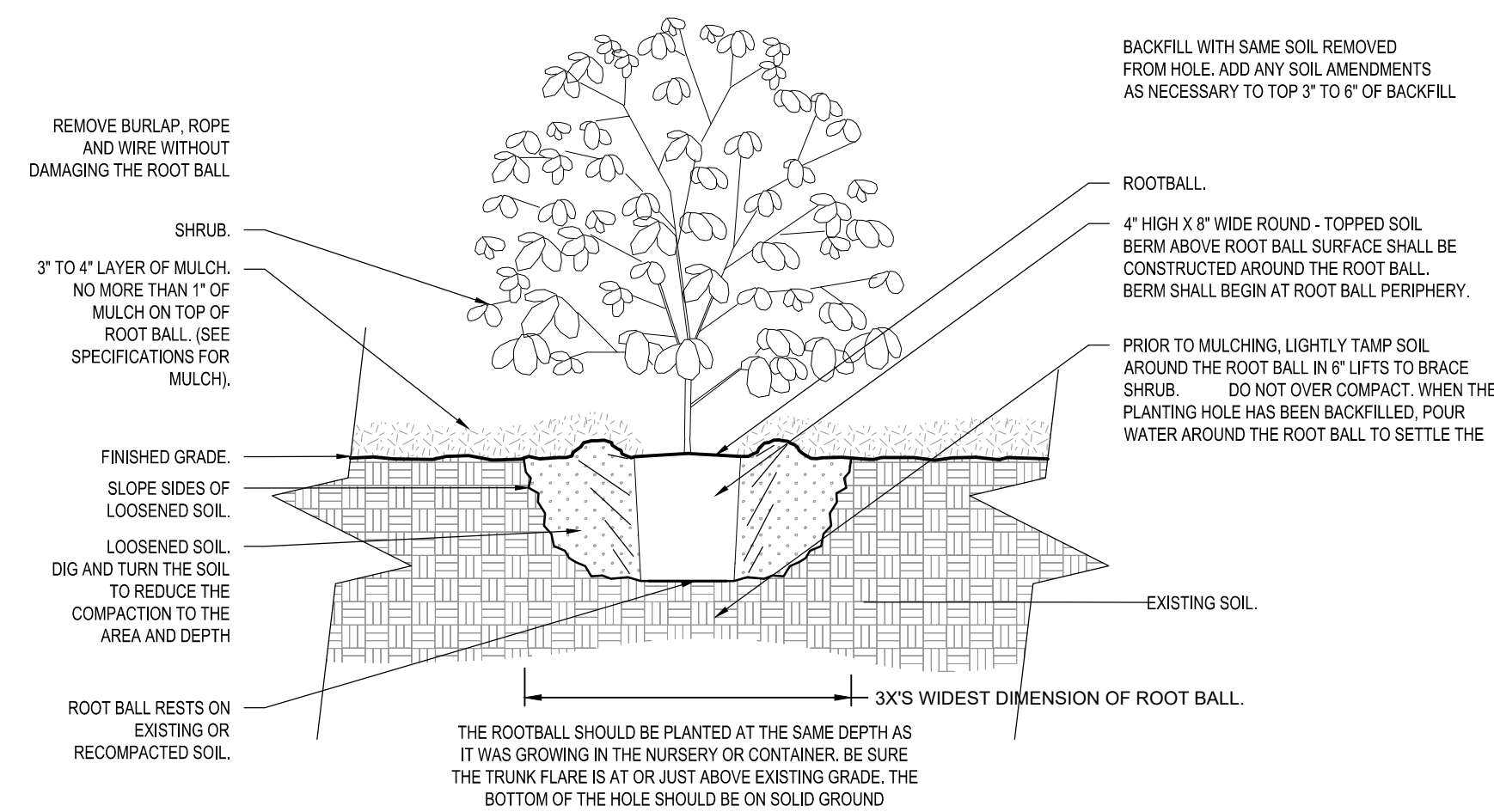


NOTE: REFER TO GENERAL NOTES FOR CITY OF PORTSMOUTH TREE PLANTING STANDARDS

TREE PLANTING DETAIL (TYP.)
SCALE: N.T.S. C-10.3 F



PRECAST CONCRETE PLANTER DETAIL
SCALE: N.T.S. C-10.3 E



NOTE: REFER TO GENERAL NOTES FOR CITY OF PORTSMOUTH TREE PLANTING STANDARDS

SHRUB PLANTING DETAIL (TYP.)
SCALE: N.T.S. C-10.3 G

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REVIEWED BY:	TDN

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PROJECT PHASE:
ISSUED FOR BID

CODE COMPLIANCE REVIEW

STATE BUILDING CODE	LIFE SAFETY CODE	STATE ENERGY CODE
2009 INTERNATIONAL BUILDING CODE (IBC2009)	NATIONAL FIRE PROTECTION AGENCY LIFE SAFETY CODE 2015 (NFPA 101 2015)	2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC2009)

GENERAL PROJECT DESCRIPTION:

THE PROPOSED PROJECT IS FOR THE RENOVATION OF A SINGLE-STORY MASONRY BUILDING, WHICH WAS BUILT AND USED AS AN US ARMY RESERVE CENTER. THE PROPOSED BUILDING USE WILL BE A SENIOR CENTER BUT MAINTAIN THE SAME USE TYPES INCLUDING: ASSEMBLY, BUSINESS AND STORAGE.

BUILDING DATA

EXISTING BUILDING FOOTPRINT:	11,500 SQ. FT.	
PROPOSED ADDITIONAL FOOTPRINT:	175 SQ. FT.	
BUILDING HEIGHT:	APPROXIMATELY 18'-0"	
NUMBER OF STORIES ABOVE GRADE:	1	
CONSTRUCTION TYPE:	TYPE III B (IBC)	602.5, IBC2009
SPRINKLER SYSTEM:	FULLY SPRINKLERED	NFPA 101, 30.3.5
OCCUPANCY:	MIXED	NFPA 6.1.14.3
	ASSEMBLY (A) AND	310.1, IBC2009
	BUSINESS (B) AND STORAGE (U)	310.1, IBC2009
ACCESSORY USES:	NONE	
SEPARATED USES:	NONE	
NEARBY BUILDINGS WITHIN 30'-0":	NONE	

EGRESS

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT:

ASSEMBLY AREA (A)		303.1, IBC2009
OCCUPANT LOAD (1/15 SF - NET)	221	TABLE 1004.1.1, IBC2009

ACTIVITY ROOM A/B (A)		303.1, IBC2009
OCCUPANT LOAD (1/15 SF - NET)	75	TABLE 1004.1.1, IBC2009

BUSINESS (B)		311.3, IBC2009
OCCUPANT LOAD (1/100 SF - GROSS)	60	TABLE 1004.1.1, IBC2009

TOTAL BUILDING OCCUPANCY:	356	
MINIMUM NUMBER OF EXITS:	2	1021.2, IBC2009

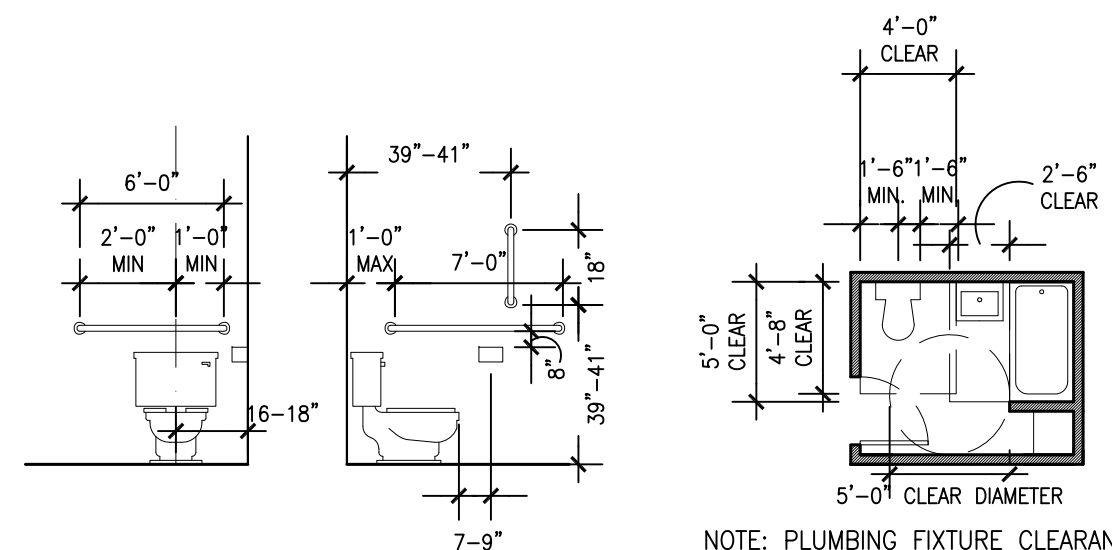
TRAVEL DISTANCE TO EXIT:	300 FT WITH SPRINKLER SYSTEM	38.2.6.1, NFPA2006
MINIMUM EGRESS WIDTH:	.2"/PERSON	TABLE 1006.1, IBC2009
CLEAR DOOR WIDTH:	32" MINIMUM	TABLE 1008.1.1, IBC2009

PLUMBING REQUIREMENTS

MINIMUM NUMBER OF WATER CLOSETS:	4 - FEMALE; 3 - MALE	TABLE 2902.1, IBC2009
MINIMUM NUMBER OF LAVATORIES:	2 - FEMALE; 2 - MALE	TABLE 2902.1, IBC2009
MINIMUM NUMBER OF BATHTUBS/SHOWERS:	NOT REQUIRED	TABLE 2902.1, IBC2009
MINIMUM NUMBER OF DRINKING FOUNTAINS:	1	TABLE 2902.1, IBC2009
MINIMUM NUMBER OF SERVICE SINKS:	1	TABLE 2902.1, IBC2009

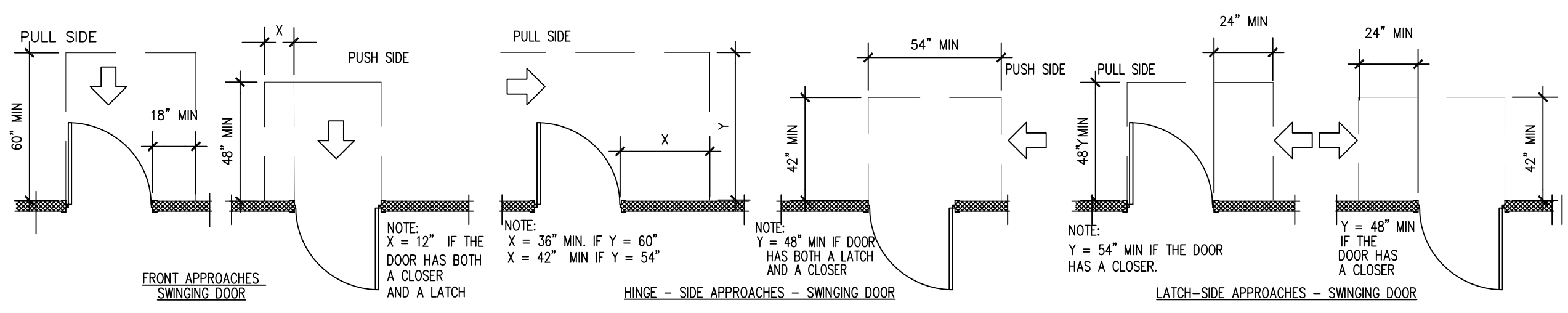
FIRE RATINGS (TYPE III B CONSTRUCTION)

EXTERIOR BEARING WALLS:	2 HOURS	TABLE 601, IBC2009
INTERIOR BEARING WALLS:	0 HOURS	TABLE 601, IBC2009
NON-BEARING INTERIOR WALLS:	0 HOURS	TABLE 601, IBC2009
FLOOR CONSTRUCTION:	0 HOURS	TABLE 601, IBC2009
ROOF CONSTRUCTION:	0 HOURS	TABLE 601, IBC2009
STRUCTURAL FRAME:	0 HOURS	TABLE 601, IBC2009



TYPICAL MOUNTING HEIGHTS & CLEARANCES

SCALE: 1/4" = 1'-0"



MANEUVERING CLEARANCES AT DOORS

SCALE: 1/4" = 1'-0"

GRAPHIC SYMBOLS

- CENTER LINE
- GRID LINE
- HIDDEN OR REFLECTED LINE

- EXISTING DOOR TO REMAIN
- NEW DOOR NUMBER
- CEILING HEIGHT
- REVISION NUMBER
- DRAWING KEY NOTE
- PARTITION TYPE
- ROOM NAME & # DESIGNATION
- WINDOW TYPE

- SECTION/ELEV. KEY
- ELEVATION KEY
- DETAIL KEY
- DETAIL KEY
- ELEVATION OF GRADE OR SURFACE

- NOT IN CONTRACT
- NEW PARTITION
- EXISTING PARTITION
- CONCRETE
- STEEL
- GLASS
- FINISHED WOOD
- ROUGH WOOD
- PLYWOOD
- GYPSON WALLBOARD
- RIGID INSULATION
- BATT INSULATION
- CONCRETE MASONRY UNIT (CMU)
- INSULATED SHEATHING SYSTEM

ABBREVIATIONS

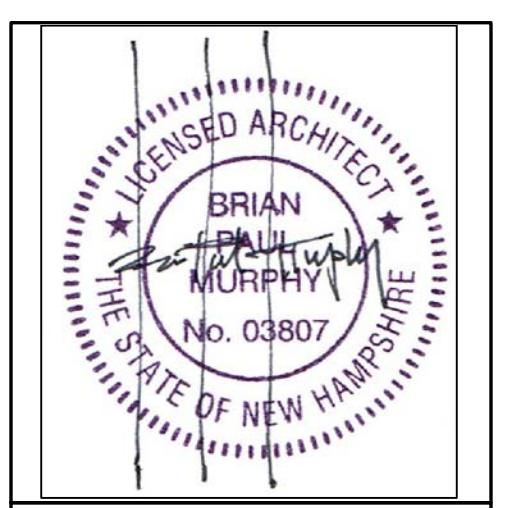
- ABV. ABOVE
- A/C AIR CONDITIONER
- ACM ASBESTOS CONTAINING MATERIAL
- ACT ACOUSTIC CEILING TILE
- AD AREA DRAIN
- ADJ. ADJACENT
- A.F.F. ABOVE FINISH FLOOR
- ALUM. ALUMINUM
- AP APARTMENT PANEL
- BD BOARD
- BITUM. BITUMINOUS
- B + J BRICKS PLUS JOINTS
- BLDG. BUILDING
- BM BEAM
- BSMT BASEMENT
- CAB. CABINET
- C. TO C. CENTER TO CENTER
- CEM. CEMENT
- CER. T. CERAMIC TILE
- C.I. CAST IRON
- CL. CLOSET
- CLG. CEILING
- CLG. HT. CEILING HEIGHT
- COL. COLUMN
- CONC. CONCRETE
- CONST. CONSTRUCTION
- CONTR. CONTRACT OR CONTRACTOR
- CONT. CONTINUOUS
- DEMO. DEMOLITION
- DEPT. DEPARTMENT
- D.A. DROPPED ARCH
- D.F. DRINKING FOUNTAIN
- D.H. DOUBLE HUNG
- DIAM. DIAMETER
- DN. DOWN
- DWG. DRAWING
- E. EAST
- EL. ELEVATION
- ELEC. ELECTRIC
- ELEV. ELEVATOR
- E.P. ELECTRICAL PANEL
- EQ. EQUAL
- E.W. EACH WAY
- E.W.C. ELECTRIC WATER COOLER
- EXH. EXHAUST
- EXIST./EXT'G. EXISTING
- EXP. EXPOSED
- EXPAN. EXPANSION
- EXT. EXISTING TO REMAIN
- F.D. FLOOR DRAIN
- F.F. EL. FINISH FLOOR ELEVATION
- FIN. FINISH OR FINISHED
- FL. FLOOR
- F.L. REG. FUSIBLE LINK REGISTER
- FLSHG. FLASHING
- F.P. FIREPROOF
- FPSC FIREPROOF SELF-CLOSING
- FTG. FOOTING
- GA. GAUGE
- GALV. GALVANIZED
- G.C. GENERAL CONTRACTOR
- GL. GLASS
- GR. GRADE
- GWB GYPSUM WALLBOARD
- H.B. HOSE BIBB
- HDW. HARDWARE
- H.E.J. HORIZONTAL EXPANSION JOINT
- H.M. HOLLOW METAL
- HOR. HORIZONTAL
- HR. HOUR
- HT. HEIGHT
- HTG. HEATING
- HVAC HEATING, VENTILATING, AIR-CONDITIONING
- I.D. INSIDE DIAMETER
- INR. IMPACT NOISE RESISTANCE
- INSUL. INSULATION
- INT. INTERIOR
- JAN. CL., J.C. JANITOR'S CLOSET
- KTTE. KITCHENETTE
- L. LEADER, OR (METAL) ANGLE
- LAV. LAVATORY
- LH. LEFT HAND
- LIN. LINEN CLOSET
- LTEL. LINTEL
- MAX. MECH. MAXIMUM MECHANICAL
- MH. MANHOLE
- MIN. MINIMUM
- M.L. MICROLAM
- M.O. MASONRY OPENING
- M.R. MOISTURE RESISTANT
- MTD. MOUNTED
- MTL. METAL
- N. NORTH
- N.I.C. NOT IN CONTRACT
- NO. NUMBER
- NOM. NOMINAL
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- O.D. OUTSIDE DIAMETER
- O.H. OVERHEAD
- OPG. OPENING
- OPH. OPPOSITE HAND

ABBREVIATIONS (continued)

- P.C. PIPE CHASE
- PCB POLYCHLORINATED BIPHENYLS
- P.C. CONC. PRECAST CONCRETE
- PERF. PERFORATED
- P.I.P. CONC. POURED-IN-PLACE CONCRETE
- PL. PLATE
- PLAST. PLASTER
- PTD. PAINTED
- PORT. PORTLAND
- R. RISER
- RA., R. RADIUS
- RAD. RADIATION
- R.C. REFUSE CHUTE
- R.D. ROOF DRAIN
- REF. REFRIGERATOR
- REG. REGISTER
- REQ'D. REQUIRED
- REINF. REINFORCED
- RES. RESILIENT
- RET. RETURN
- REV. REVISED OR REVISION
- R.H. RIGHT HAND
- RM. ROOM
- R.O. ROUGH OPENING
- S. SOUTH
- SECT. SECTION
- SIM. SIMILAR
- SL. SLIDING
- SPEC. SPECIFICATION(S)
- S.S. STAINLESS STEEL
- STL. STEEL
- SURF. SURFACE
- T. TREAD
- THRU THROUGH
- THK. THICK
- T.O. TOP OF
- T.S. TOP OF SLAB
- T.ST. TOP OF STEEL
- T.W. TOP OF WALL
- TYP. TYPICAL
- U.O.N. UNLESS OTHERWISE NOTED
- V.C.T. VINYL COMPOSITION FLOOR TILE
- VEST. VESTIBULE
- V.E.J. VERTICAL EXPANSION JOINT
- VERT. VERTICAL
- W. WEST
- W/O WITH
- WALLBD. WITHOUT WALLBOARD
- W.C. WATER CLOSET
- WD. WOOD
- W.D. WINDOW DIMENSION
- WIND. WINDOW
- W.P. WATERPROOF

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, RULES, REGULATIONS AND ORDINANCES. SHOULD THE DRAWINGS CONFLICT WITH THESE, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER PRIOR TO WORK.
- ALL WORK SHALL BE PERFORMED BY CONTRACTORS LICENSED TO DO THEIR TRADES IN THE STATE OF NEW HAMPSHIRE.
- ALL WALLS, ROOFS, FLOORS AND SLABS AS PART OF THE EXTERIOR THERMAL ENVELOPE SHALL BE INSULATED IN ACCORDANCE WITH APPLICABLE ENERGY CONSERVATION CODES.
- WORK SHALL INCLUDE ALL ITEMS, BUILDING AND SITE, AS INDICATED IN THIS SET OF CONTRACT DOCUMENTS UNLESS OTHERWISE STATED.
- ALL DIMENSIONS MEASURED FROM FINISHED FACE UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED. WRITTEN DIMENSIONS GOVERN CONSTRUCTION AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER FOR CLARIFICATION.
- ALL DIMENSIONS RELATED TO EXISTING CONDITIONS TO BE VERIFIED BY THE CONTRACTOR AND REVIEWED BY THE ARCHITECT OR ENGINEER PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DEPOSITS AND FEES PERTAINING TO SITE UTILITIES AND PERMITTING.
- THE GENERAL CONTRACTOR SHALL CREATE AND MAINTAIN ON SITE AN "AS BUILT" RECORD SET OF DRAWINGS. ALL DEVIATIONS FROM THE PERMIT SET OF DRAWINGS SHALL BE ACCURATELY REPRESENTED ON THE "AS BUILT" DRAWINGS WHEN THEY ARE MADE. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL CERTIFY THE "AS BUILT" RECORD SET AND SUBMIT TO THE ARCHITECT.
- UPON COMPLETION OF CONSTRUCTION THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL MATERIALS PERTAINING TO OPERATION AND MAINTENANCE OF THE BUILDING SUCH AS MATERIALS SPECIFICATIONS, MANUFACTURER'S RECOMMENDATIONS, EQUIPMENT WARRANTIES, AND MANUALS.
- ALL CONSTRUCTION MATERIALS SHALL BE NEW AND BEAR THE MARK OF THE UNDERWRITER WHERE APPLICABLE.
- PROVIDE TILE BACKER BOARD UNDER ALL SHOWER ENCLOSURES AND AT ADJACENT WALLS.
- SUBSTITUTIONS FOR PROPRIETARY PRODUCTS LISTED IN DRAWINGS AND SPECIFICATIONS SHALL BE APPROVED AFTER REVIEW BY OWNER AND ARCHITECT. SUBSTITUTIONS SHALL BE COMPARABLE TO OR EXCEED THE PERFORMANCE LEVEL OF THE SPECIFIED ITEMS.
- THE GENERAL CONTRACTOR SHALL UPHOLD A STRICT NO-SMOKING POLICY THROUGHOUT THE CONSTRUCTION SITE AT ALL TIMES.
- THE GENERAL CONTRACTOR SHALL REMOVE ANY DEBRIS FROM THE PROJECT PREMISES AND LEAVE THE SITE BROOM CLEAN. AT THE END OF CONSTRUCTION WINDOWS SHALL BE THOROUGHLY CLEANED INSIDE AND OUTSIDE. MARKS SHALL BE REMOVED FROM ALL FINISHED SURFACES AS WELL AS EXCESS DUST.
- THE GENERAL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF AT LEAST ONE YEAR FROM THE DATE OF COMPLETION UNLESS STATED OTHERWISE IN THE CONSTRUCTION DOCUMENTS. DEFECTS SHALL BE ADDRESSED IN A TIMELY MANNER WITHOUT ADDITIONAL CHARGE.



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128 COTTAGE ST.
 PORTSMOUTH, NH

REVISIONS

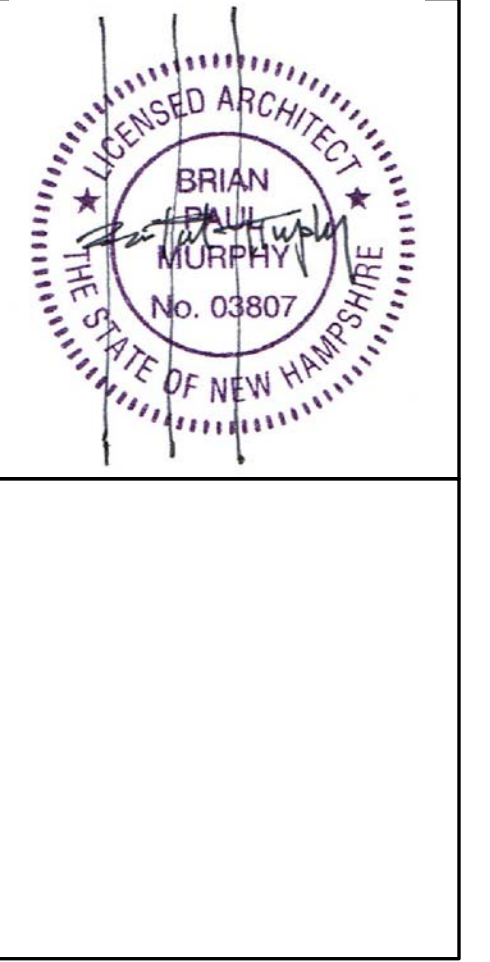
No.	DESCRIPTION	DATE
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2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/15/2019

NOTES & SYMBOLS

PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
REVIEWED BY:	BPM

A100

PROJECT PHASE:
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DEMOLITION PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
REVIEWED BY:	BPM

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PROJECT PHASE:
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DEMOLITION GRAPHIC KEY

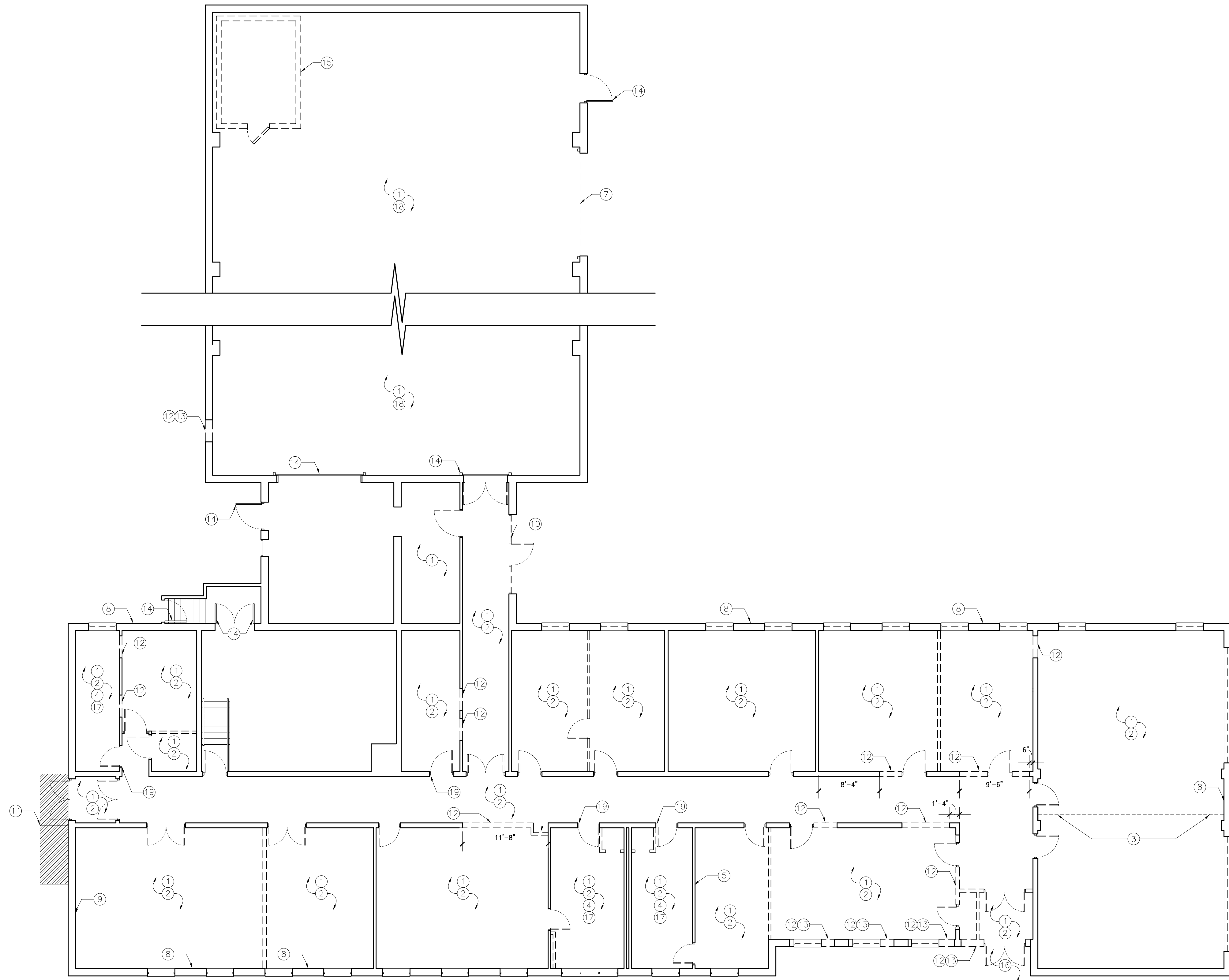
- DOOR TO BE REMOVED; HM FRAME TO REMAIN, U.O.N.
- WINDOW TO BE REMOVED
- PARTITION TO BE DEMOLISHED

GENERAL DEMOLITION NOTES

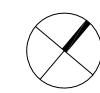
1. OWNER SHALL ABATE ALL ASBESTOS CONTAINING MATERIALS PRIOR TO DEMOLITION. ANY SUSPECTED HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IMMEDIATELY.
2. REMOVE EXISTING CONCRETE SLAB AS REQUIRED FOR NEW PLUMBING AND PITCH TO NEW FLOOR DRAINS. COORDINATE WITH PLUMBING DRAWINGS.
3. REMOVE ALL EXISTING WALL-MOUNTED MATERIAL INCLUDING SIGNAGE, BOARDS, CASES, SHELVING, WINDOW COVERINGS, DECOR, ETC.; SEE GENERAL DEMO. NOTE 2.
4. REMOVE ALL EXISTING FURNISHINGS INCLUDING FURNITURE, LOCKERS, STORAGE, ETC.; SEE GENERAL DEMO. NOTE 2.
5. REMOVE ALL EXISTING WINDOWS U.O.N.
6. REMOVE ALL EXISTING DOORS U.O.N.

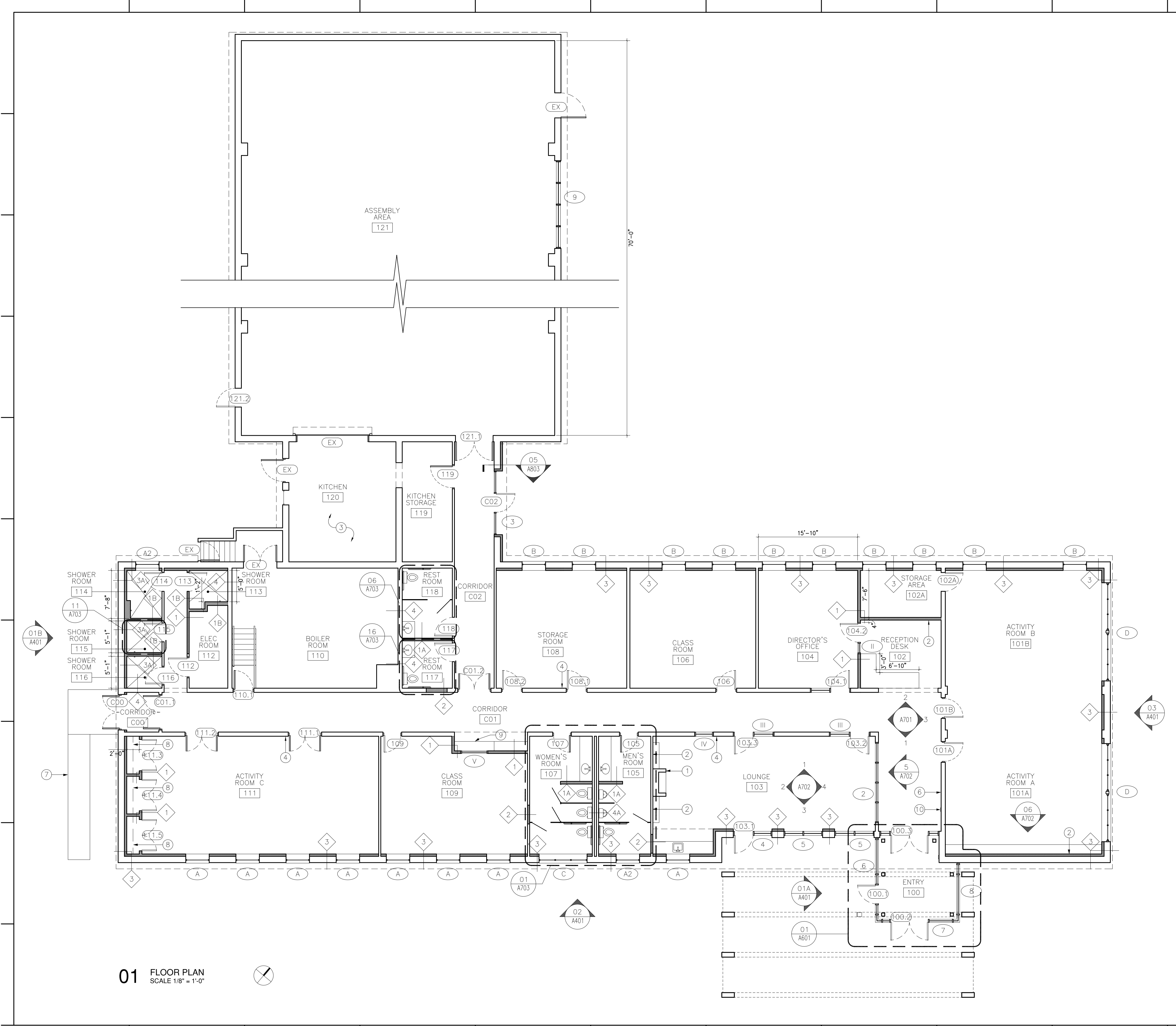
DEMOLITION KEY NOTES

- ① REMOVE ALL FLOOR COVERING, BASE AND ADHESIVE AND PREPARE FOR NEW FLOORING; SEE GENERAL DEMOLITION NOTE 1.
- ② REMOVE EXISTING ACT CEILING GRID AND GNB/PLASTER AND METAL LATH CEILING ABOVE; SEE MECHANICAL DWGS FOR EXTENT OF MECHANICAL EQUIPMENT & DUCTWORK REMOVAL AND ELECTRICAL DWGS FOR EXTENT OF LIGHTING & ELECTRICAL REMOVAL.
- ③ REMOVE EXISTING OPERABLE ACCORDIAN PARTITION AND TRACK.
- ④ REMOVE EXISTING PLUMBING FIXTURES; CUT AND CAP. SEE PLUMBING DWGS.
- ⑤ COORDINATE WITH HVAC CONTRACTOR TO PROVIDE ROOF PENETRATION AS REQUIRED FOR FIREPLACE VENTING PER SPECIFICATION.
- ⑥ REMOVE EXISTING WATER FOUNTAIN; CUT AND CAP.
- ⑦ REMOVE EXISTING OVERHEAD DOOR, TRACK & ASSOCIATED EQUIP.
- ⑧ REMOVE THROUGH WALL AIR CONDITIONING UNIT AND PREPARE FOR INFILL.
- ⑨ REMOVE METAL STORAGE CAGE
- ⑩ REMOVE EXISTING ALUMINUM STOREFRONT AND ASSOCIATED TRIM.
- ⑪ REMOVE EXISTING CONCRETE RAMP; SEE CIVIL DWGS.
- ⑫ REMOVE AREA OF WALL, DOOR AND FRAME IN ENTIRETY IN PREPARATION FOR NEW OPENING; COORDINATE SIZE AND LOCATION OF OPENING WITH CONSTRUCTION PLAN AND DOOR SCHEDULE.
- ⑬ RETAIN REMOVED BRICK FOR PATCHING AND INFILL.
- ⑭ DOOR EXISTING TO REMAIN
- ⑮ REMOVE AND DISPOSE OF MUNITIONS VAULT
- ⑯ SELECTIVE DEMOLITION OF EXISTING EXTERIOR SOFFIT; COORDINATE WITH ADDITION IN A601 AND CONFIRM WITH ARCHITECT IN FIELD.
- ⑰ REMOVE EXISTING TOILET PARTITIONS, WALL TILE AND WALL-MOUNTED ACCESSORIES.
- ⑱ EXISTING CLERESTORY WINDOWS TO REMAIN.
- ⑲ REMOVE EXISTING DOOR AND HM FRAME.



01 DEMOLITION PLAN
 SCALE 1/8" = 1'-0"





01 FLOOR PLAN
SCALE 1/8" = 1'-0"

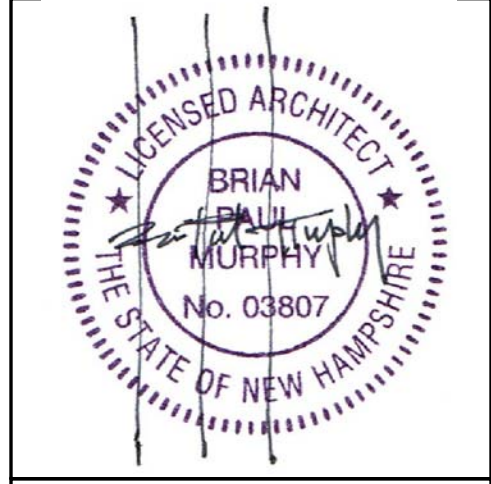
GENERAL CONSTRUCTION NOTES

1. REFER TO SHEET A801 FOR NEW WINDOW AND DOOR SCHEDULES.
2. CONTRACTOR SHALL CLEAN AND TEST ALL KITCHEN APPLIANCES TO REMAIN.
3. CONTRACTOR SHALL TEST AND CERTIFY EXISTING FIRE EXTINGUISHING SYSTEM FOR KITCHEN COOKTOP.
4. CONTRACTOR TO PROVIDE PHYSICAL SAMPLE FINISHES FOR GLULAM, TRELIS, AND WOOD STOREFRONT SYSTEM FOR COORDINATED REVIEW BY ARCH. BEFORE APPROVAL.
5. CLEAN STAINED SECTIONS OF EXTERIOR BRICK CLADDING USING HIGH PRESSURE WATER SPRAY AND BIODEGRADABLE (NON-TOXIC) CLEANER.
6. PATCH CONCRETE SLAB AT AREAS OF NEW FLOOR DRAINS IN SHOWER ROOMS 113, 114, 115 AND 116. PROVIDE APPROPRIATE PITCH TO DRAIN; COORDINATE WITH PLUMBING AND TILE FLOOR PREPARATION SPECIFICATIONS.
7. PROVIDE MOISTURE TEST AT EXISTING SLAB AS SPECIFIED. VERIFY RH MOISTURE LEVEL PRIOR TO FLOORING INSTALLATION.
8. GC TO PROVIDE AND INSTALL NEW INTERIOR ROOM SIGNAGE, AS SPECIFIED. AT ALL INTERIOR DOORS, COORDINATE FINAL TEXT AND LOCATION WITH OWNER AND ARCHITECT.

CONSTRUCTION KEY NOTES

- ① NEW NAT. GAS FIREPLACE & SURROUND AS SPECIFIED; SEE INT. ELEVS (02/A702) & DTLs (03/A902).
- ② ACOUSTIC FELT PANEL WALL SYSTEM AS SPECIFIED. SEE INTERIOR ELEVATIONS ON SHEETS A701 & A702.
- ③ EXISTING FLOORING, CEILING CABINETRY AND APPLIANCES TO REMAIN. PAINT PER FINISH SCHEDULE; SEE GEN. NOTES 2 & 3.
- ④ PATCH EXISTING CMU AT AREA OF DEMOLITION.
- ⑤ NOT USED.
- ⑥ PROVIDE WALL MOUNTED VISUAL DISPLAY BOARD.
- ⑦ NEW RAMP AND HANDRAIL; SEE CIVIL DWGS.
- ⑧ PROVIDE ADJUSTABLE SHELVING AT CLOSETS AS SPECIFIED.
- ⑨ PROVIDE NEW FLOATING WOOD BENCH & SHELF; SEE ELEVATION 01/A701.
- ⑩ AUTOMATIC DOOR OPENER BUTTON; LOCATION AND MOUNTING HEIGHT TO MEET ADA STANDARDS AND BE COORD. W/ ARCH; SEE DRAWING 01/A601 FOR ADDITIONAL DOOR OPENER BUTTON LOCATIONS.

MANYPENNY | MURPHY ARCHITECTURE
96 PENNACLOW STREET, PORTSMOUTH, NH 03801 TEL: 603.938.9198



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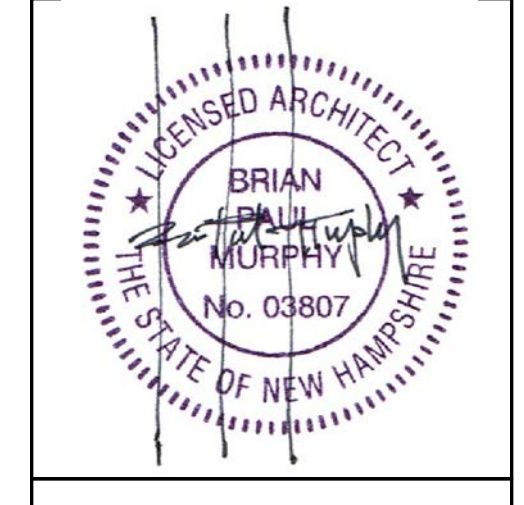
REVISIONS		
No.	DESCRIPTION	DATE
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FLOOR PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
REVIEWED BY:	BPM

A201

PROJECT PHASE:
ISSUED FOR BID



CEILING LEGEND

- GWB CEILING, 7'-6" AFF
- 2' X 2' ACT, 7'-6" AFF
- WOOD LINEAR CEILING, 7'-6" AFF

CEILING NOTES

- COORDINATE ALL NEW CEILINGS WITH ROOM DIMENSIONS VERIFIED IN FIELD AND MODULE OF CEILING TILES AND MODULE OF CEILING TILES AND LIGHT FIXTURES AS SPECIFIED. PROVIDE SHOP DRAWING AND COORDINATE WITH ARCHITECT IN FIELD.
- SEE LIGHTING PLAN (E4.0) FOR LIGHT FIXTURE SCHEDULE AND ALL REQUIRED EMERGENCY LIGHTING.
- ALL CEILINGS, EXPOSED DUCTWORK AND PLUMBING, ETC. ABOVE FLOATING CEILINGS (CEILING TYPES C-2 AND C-3), TO BE PAINTED PER FINISH SCHEDULE.
- CONTINUOUS J FIXTURES TO RUN LENGTH OF TRELLIS STRUCTURE; COORDINATE WITH LIGHT FIXTURE SCHEDULE ON E-4.0.
- SUSPENDED ACT CEILINGS TO BE FULL TILES TO REFLECT SHOWN PATTERN, GRID CENTERED ON ROOM AND MIN 10" DISTANCE FROM WALL.
- SUSPENDED WOOD LINEAR CEILINGS TO BE CENTERED ON ROOM WITH DIMENSIONS OF PANELS AND SPACING AS SHOWN ON RCP.

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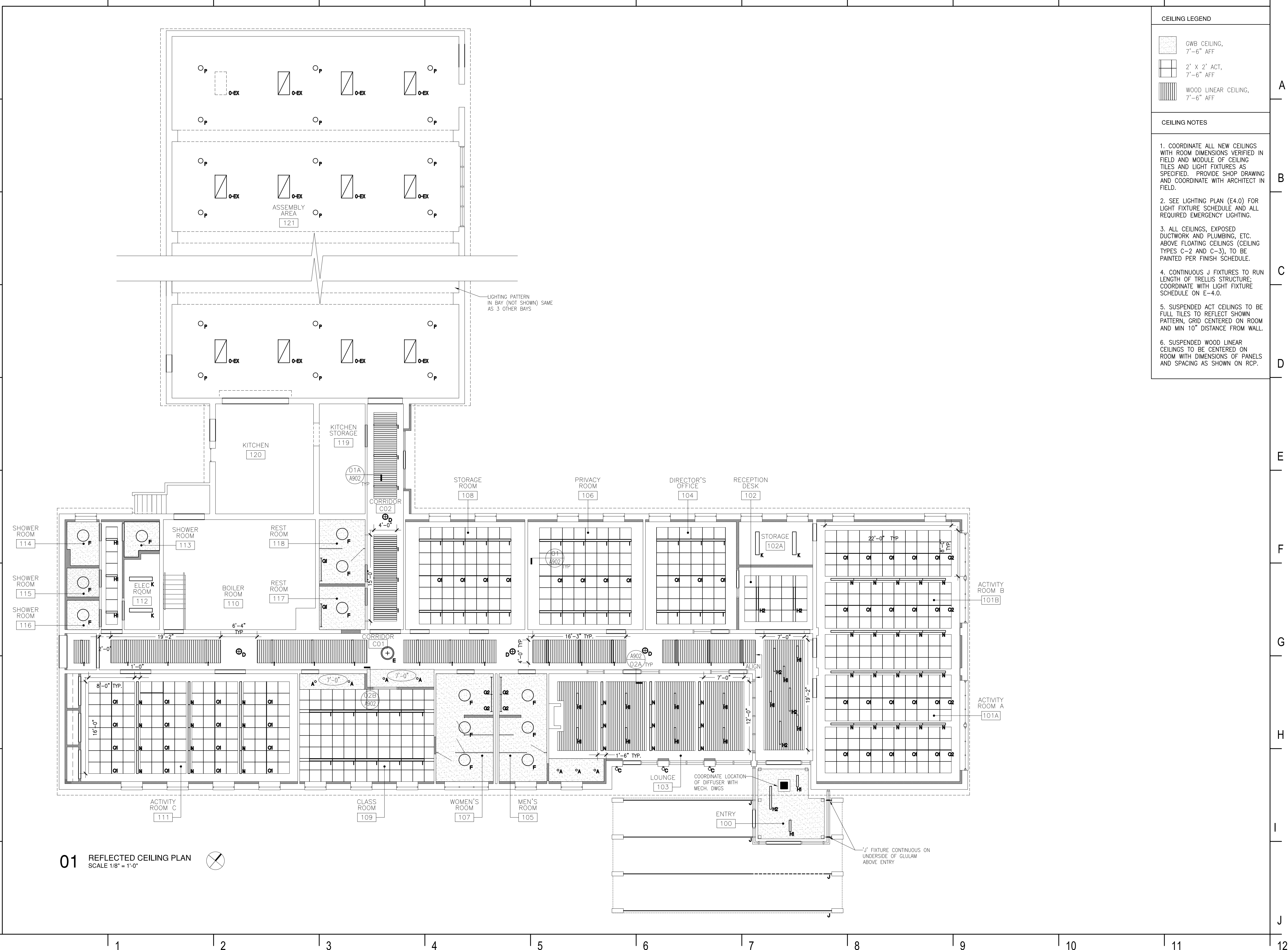
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REFLECTED CEILING PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
REVIEWED BY:	BPM

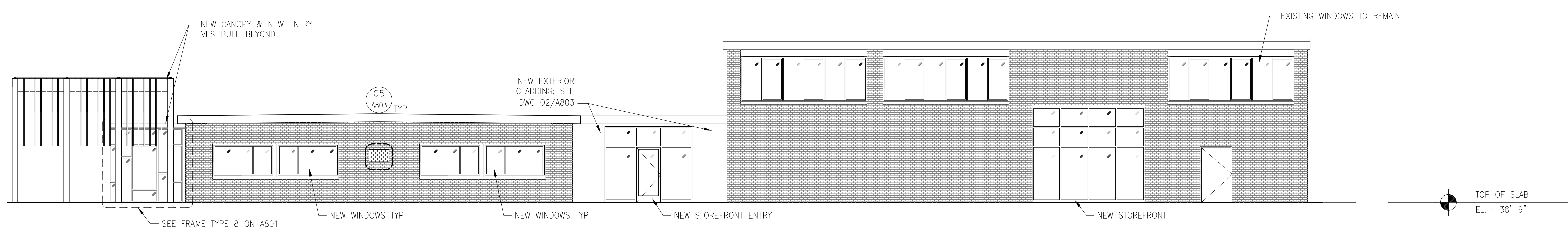
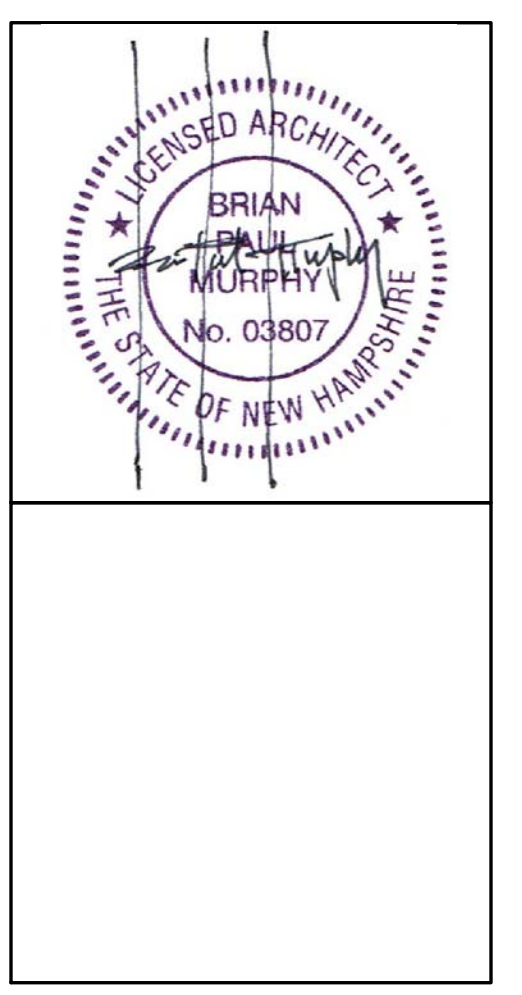
A301

PROJECT PHASE:
ISSUED FOR BID

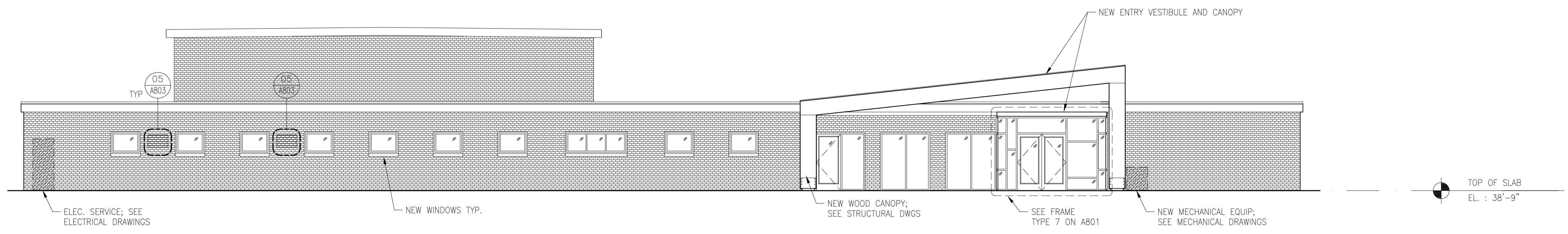


01 REFLECTED CEILING PLAN
SCALE 1/8" = 1'-0"

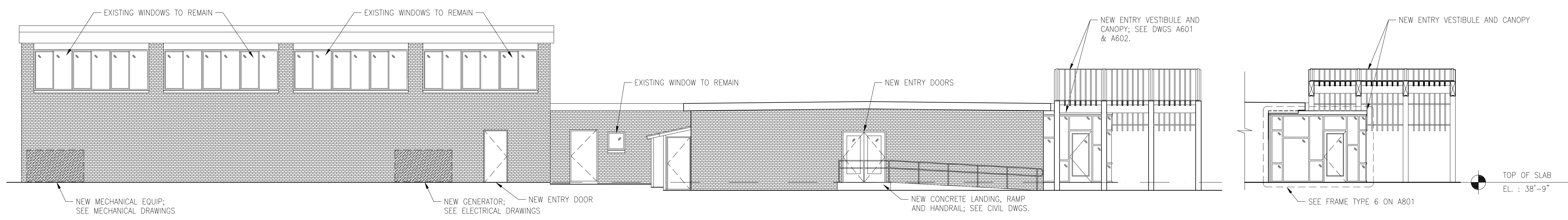
1 2 3 4 5 6 7 8 9 10 11 12



03 EXTERIOR ELEVATION - EAST
 SCALE 1/8" = 1'-0"



02 EXTERIOR ELEVATION - SOUTH
 SCALE 1/8" = 1'-0"



01B EXTERIOR ELEVATION - WEST
 SCALE 1/8" = 1'-0"

01A EXTERIOR ELEVATION - WEST
 SCALE 1/8" = 1'-0"

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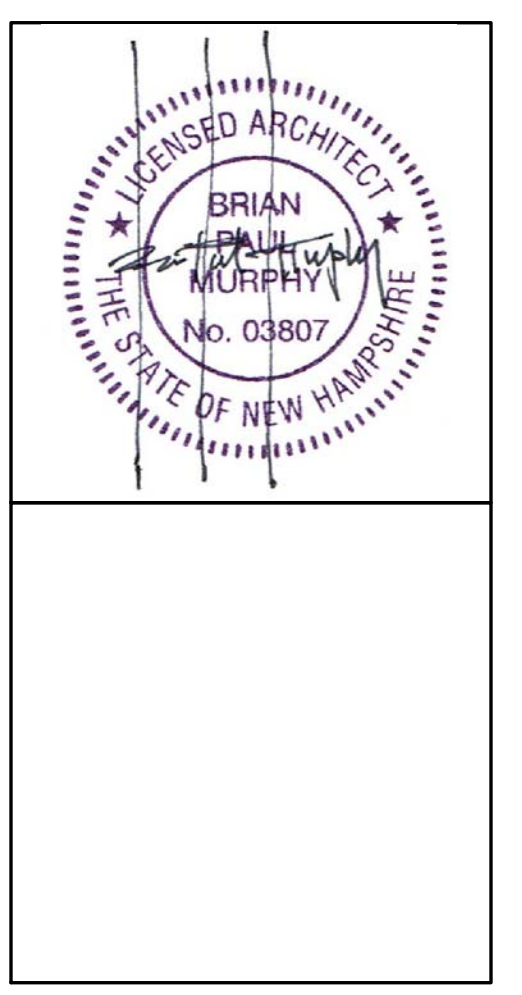
EXTERIOR ELEVATIONS

PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
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A401

PROJECT PHASE:
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1 2 3 4 5 6 7 8 9 10 11 12



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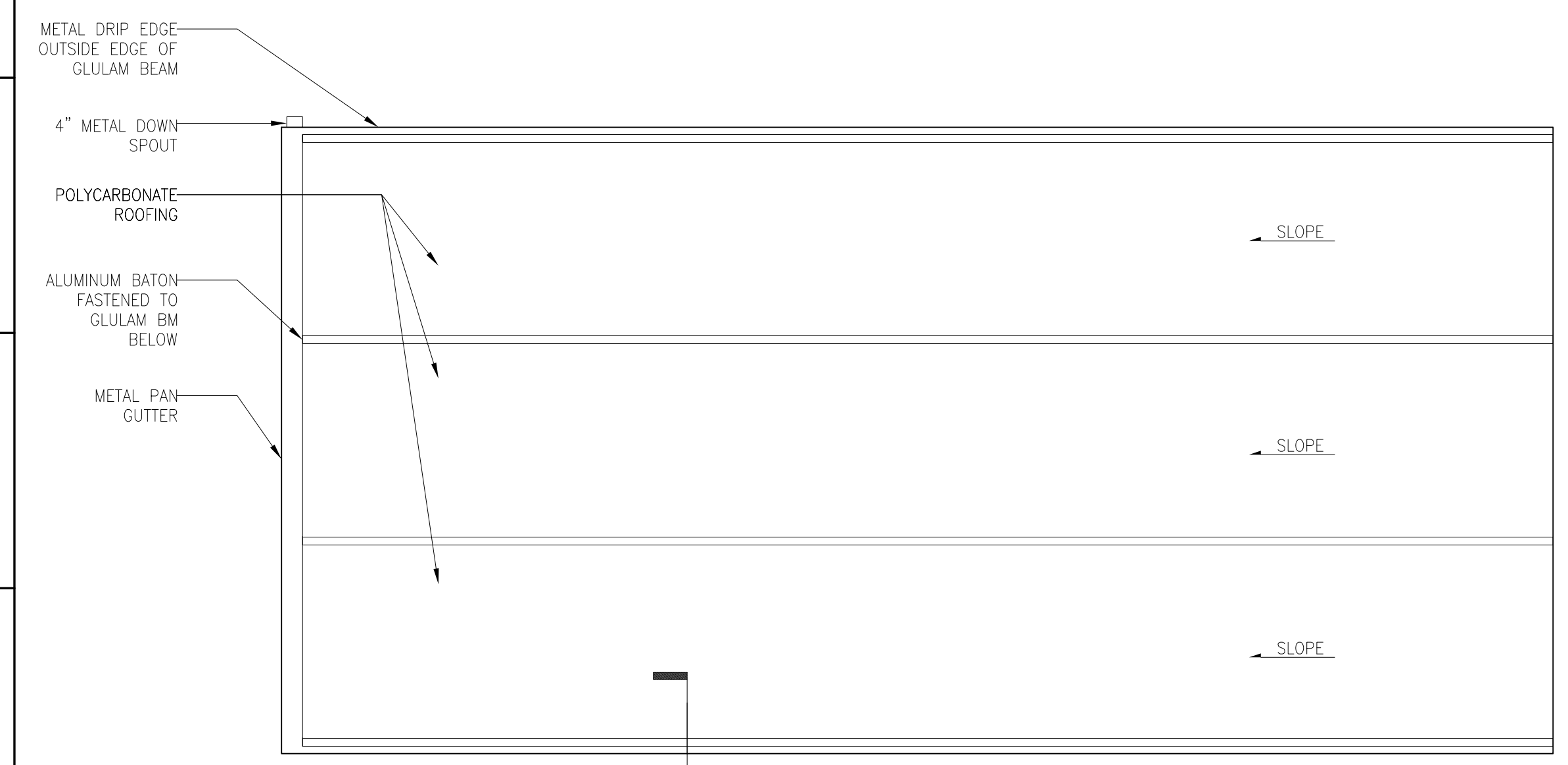
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ADDITION - ENLARGED PLANS

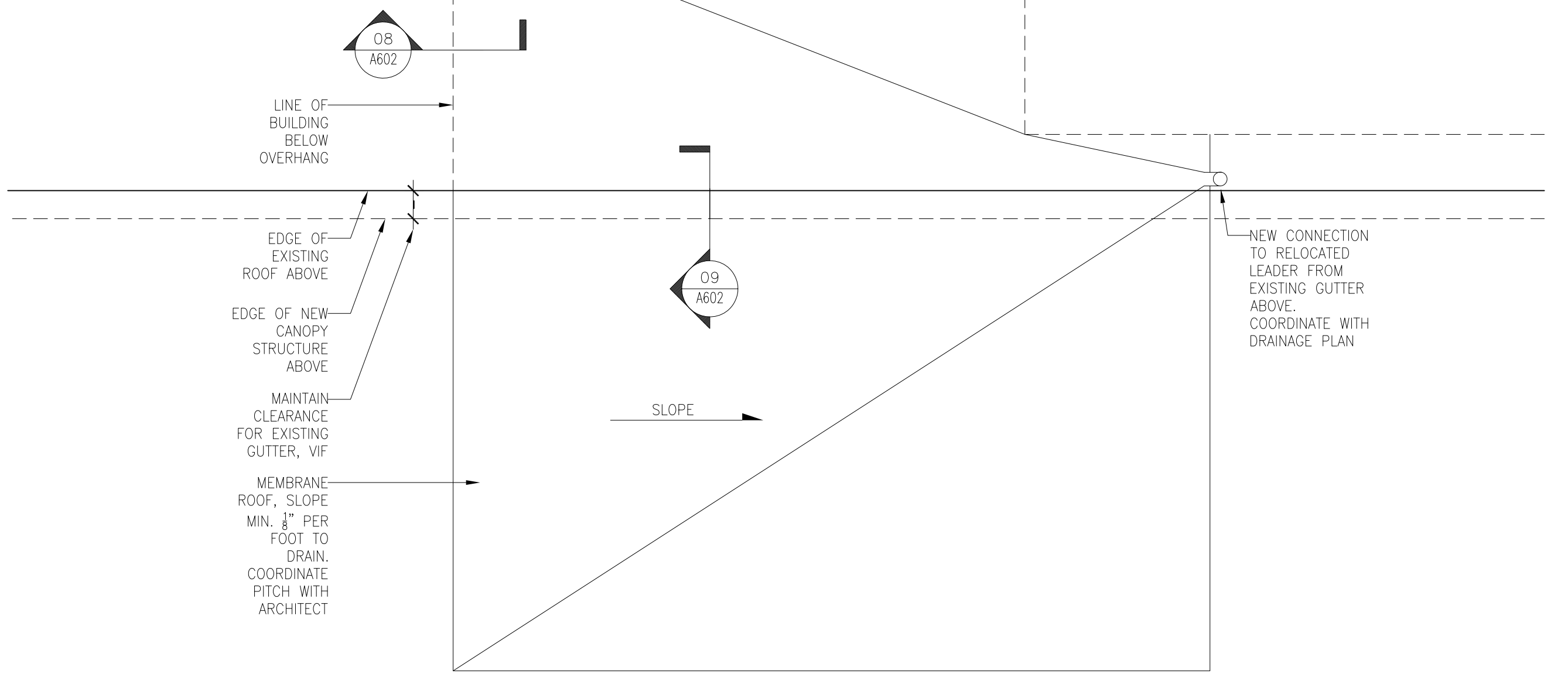
PROJECT NO.: 17002
 DATE ISSUED: 02/23/2018
 SCALE:
 DRAWN BY: ECC
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A601

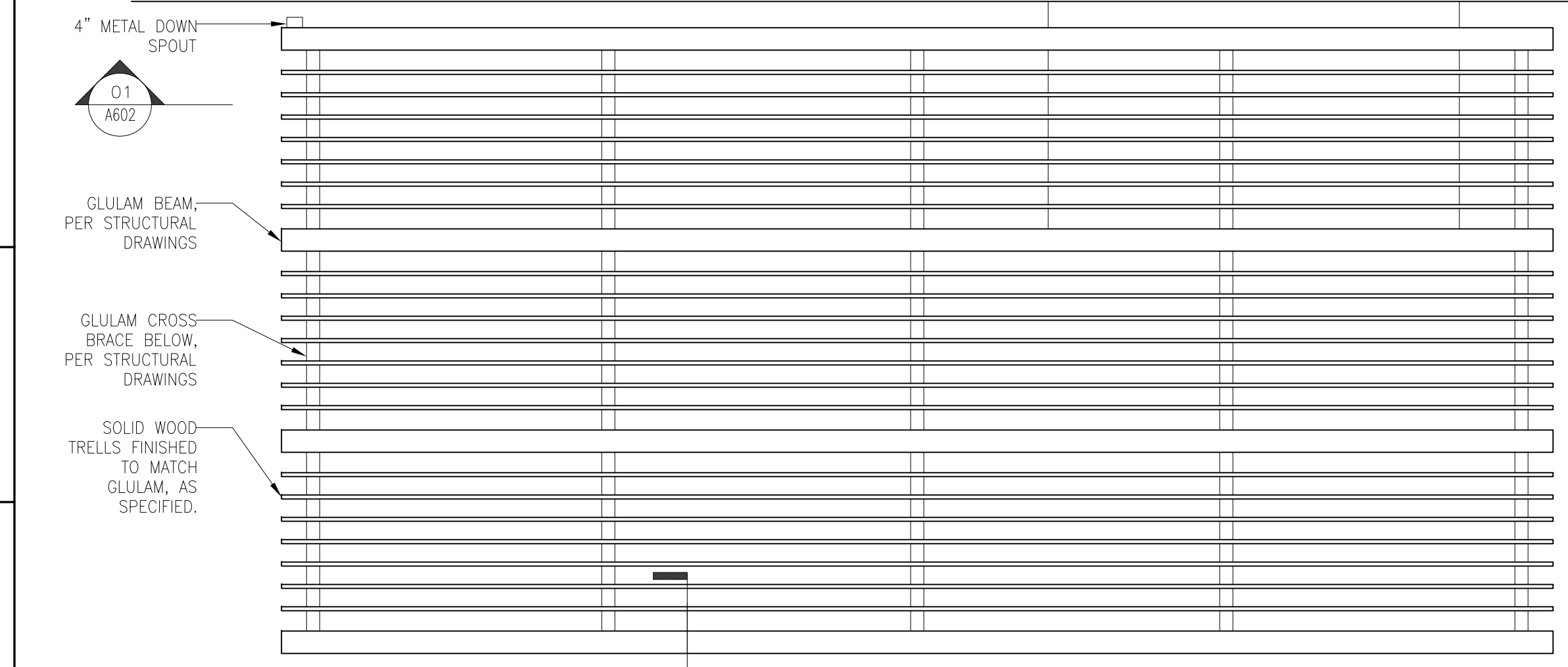
PROJECT PHASE:
ISSUED FOR BID



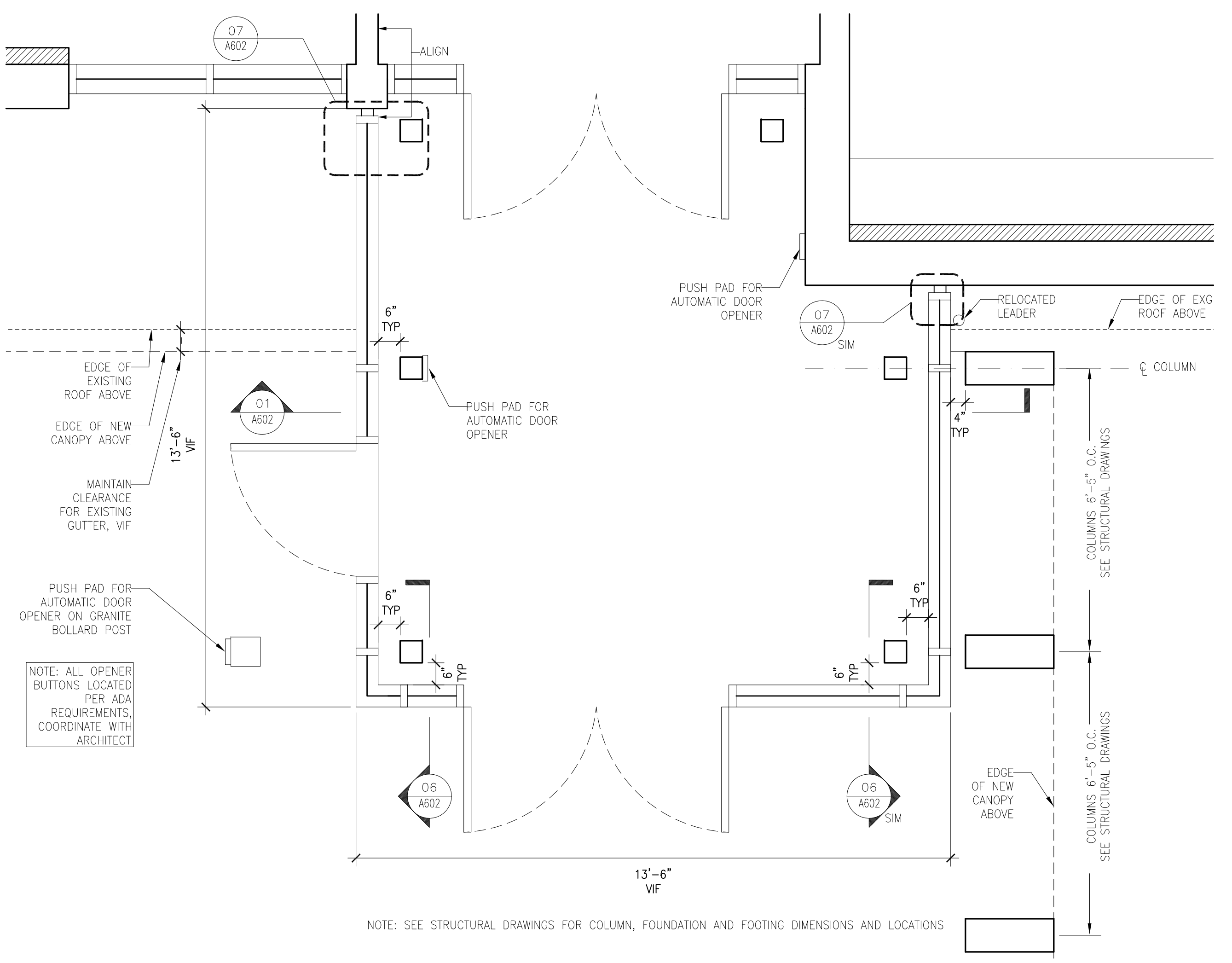
04 CANOPY PLAN
 SCALE 1/4" = 1'-0"



02 ENLARGED ADDITION ROOF PLAN
 SCALE 1/2" = 1'-0"

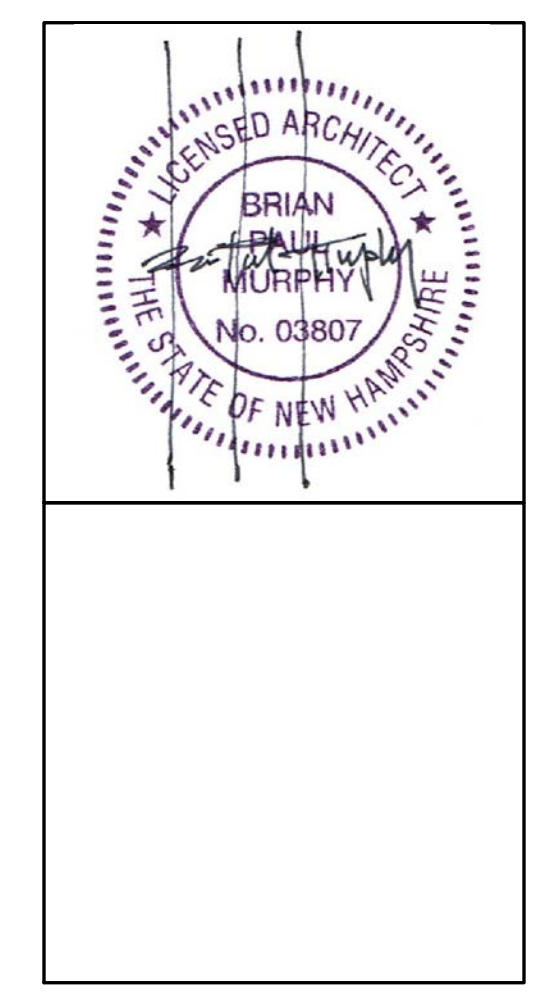


03 TRELLIS PLAN
 SCALE 1/4" = 1'-0"



01 ENLARGED ADDITION PLAN
 SCALE 1/2" = 1'-0"

NOTE: SEE STRUCTURAL DRAWINGS FOR COLUMN, FOUNDATION AND FOOTING DIMENSIONS AND LOCATIONS



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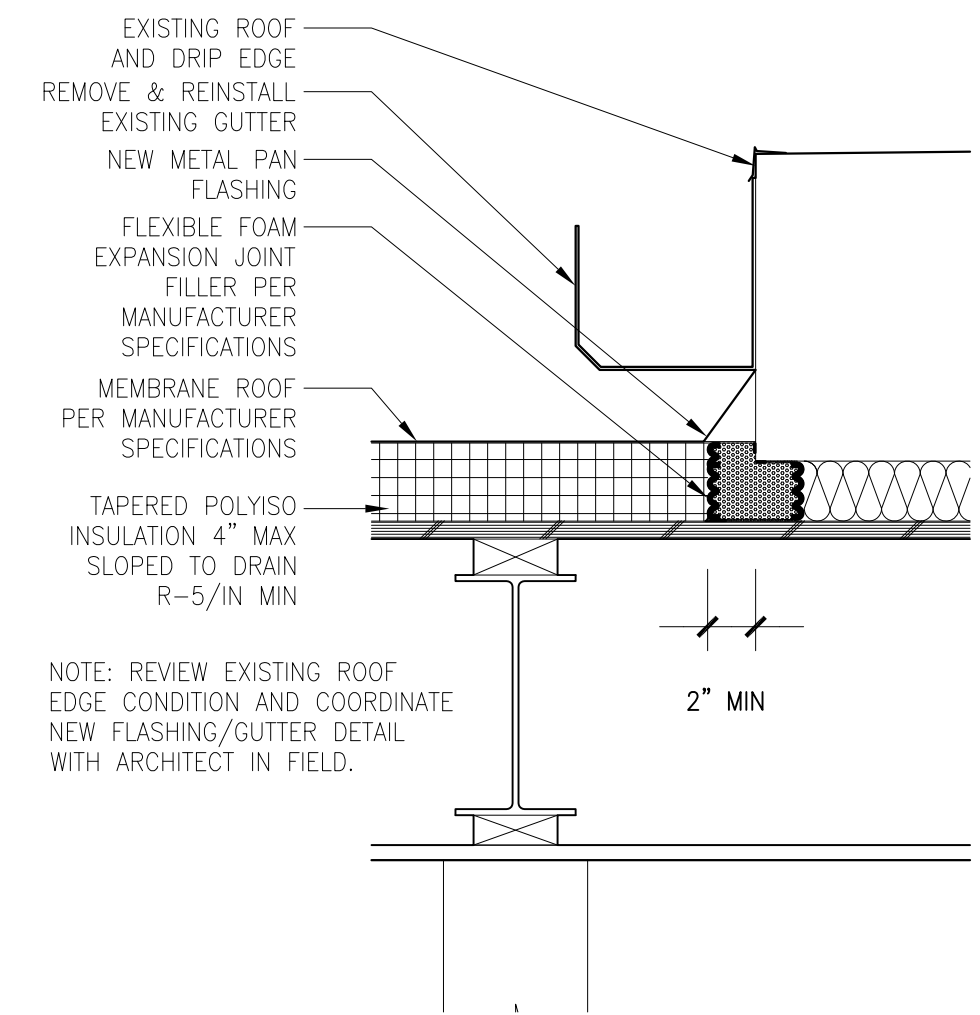
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ADDITION - SECTIONS AND DETAILS

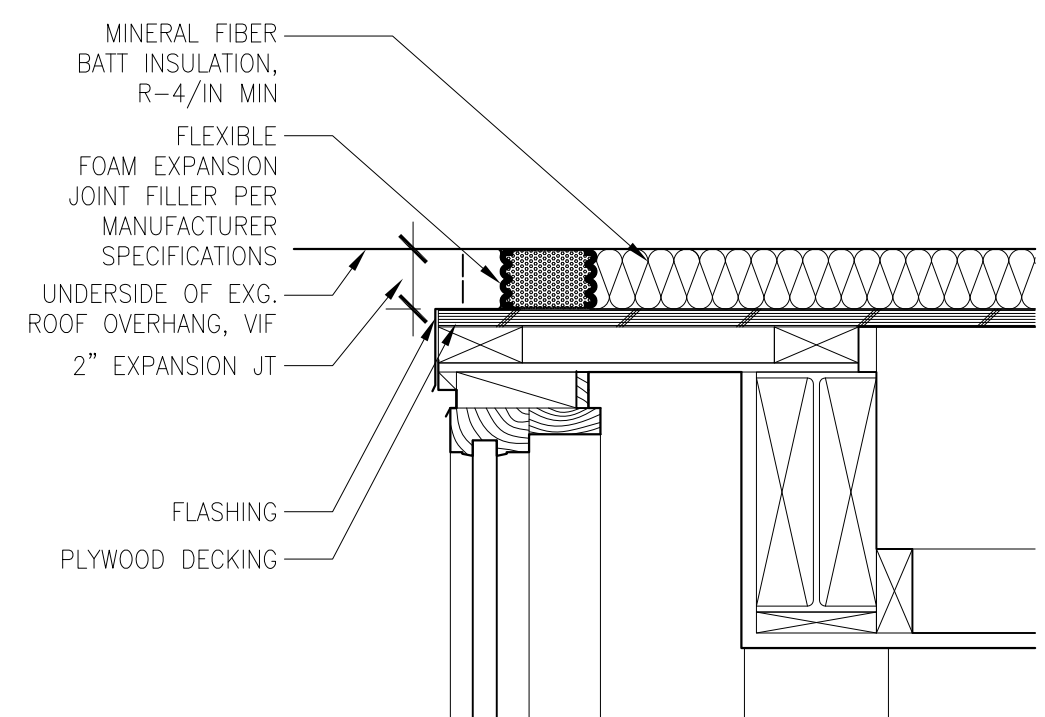
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A602

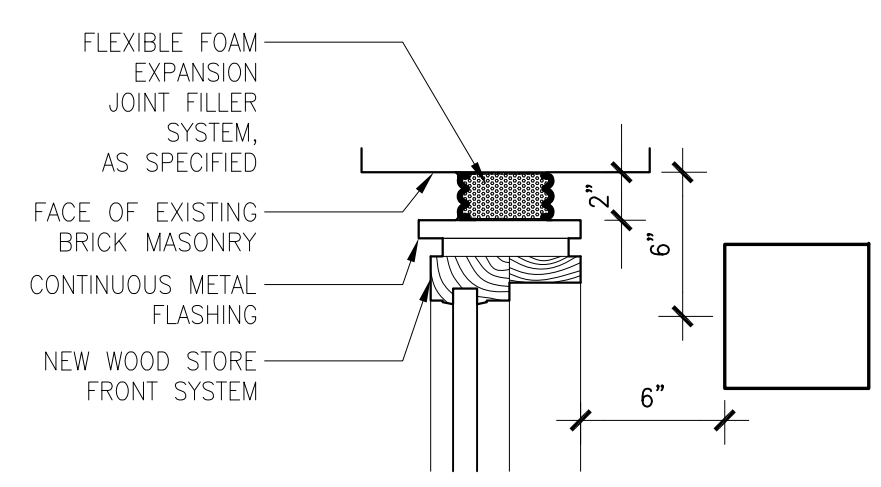
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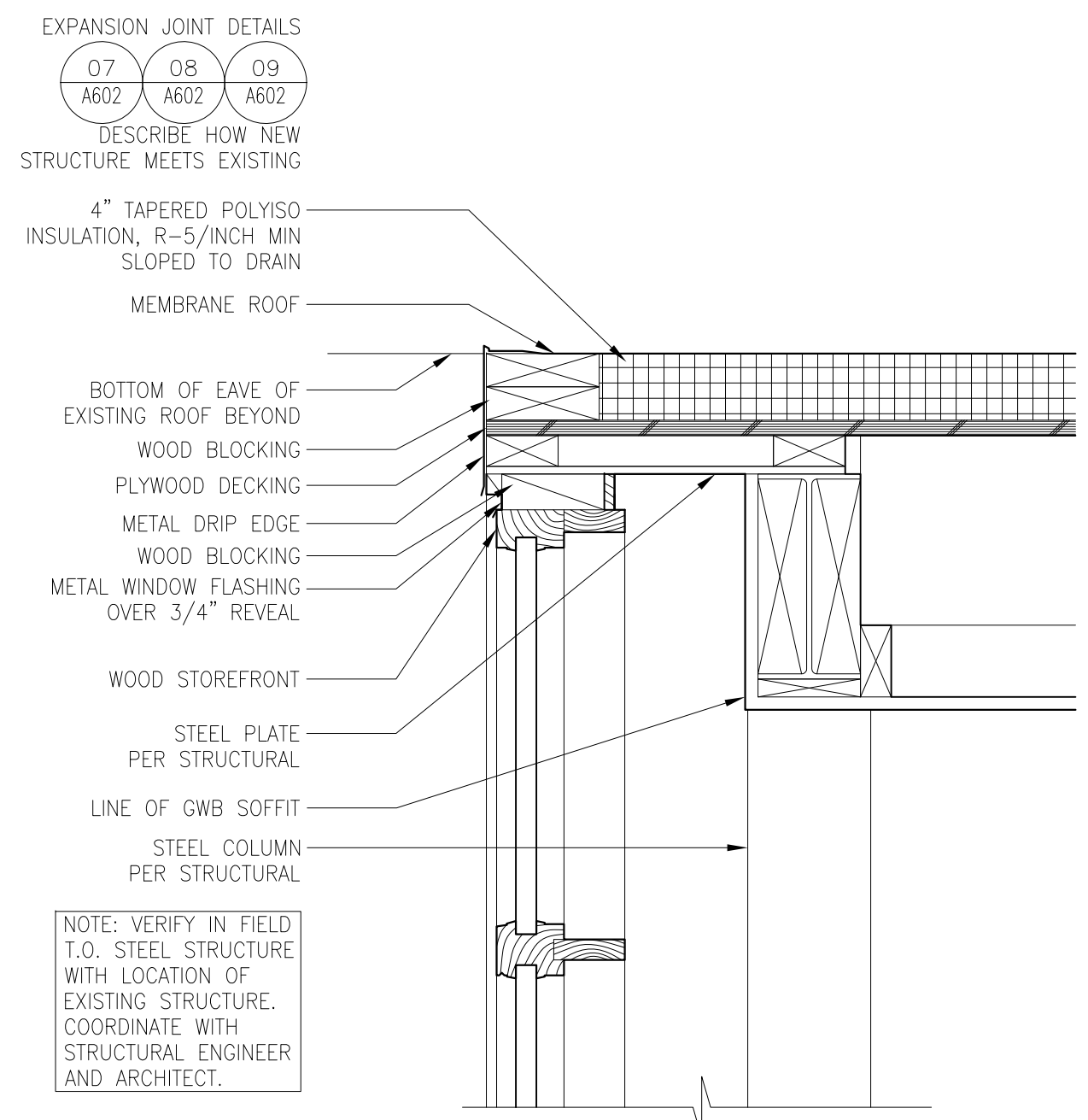
09 EXPANSION JT. DETAIL AT EAVE
 SCALE 1 1/2" = 1'-0"



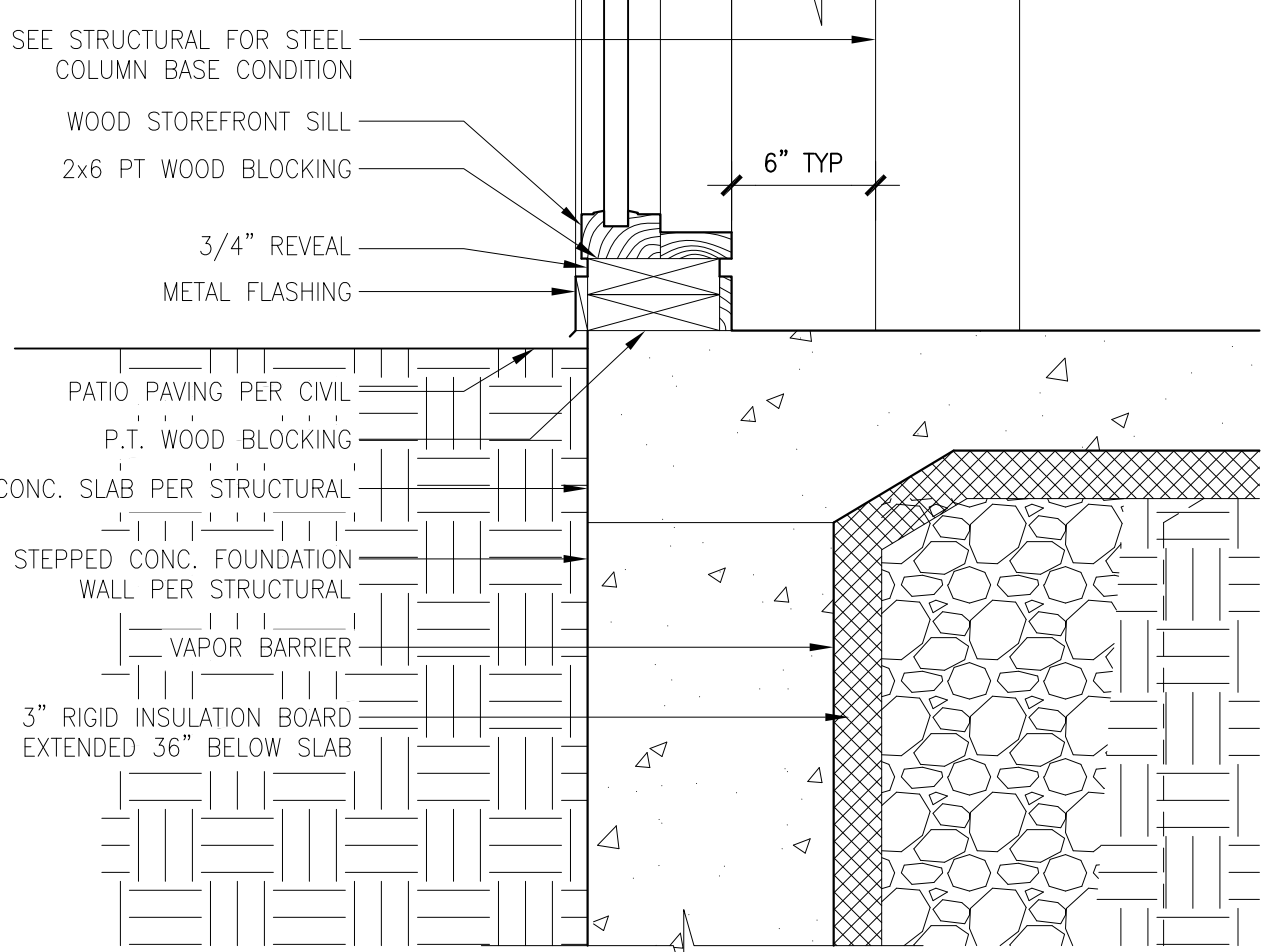
08 EXPANSION JT. DETAIL AT OVERHANG
 SCALE 1 1/2" = 1'-0"



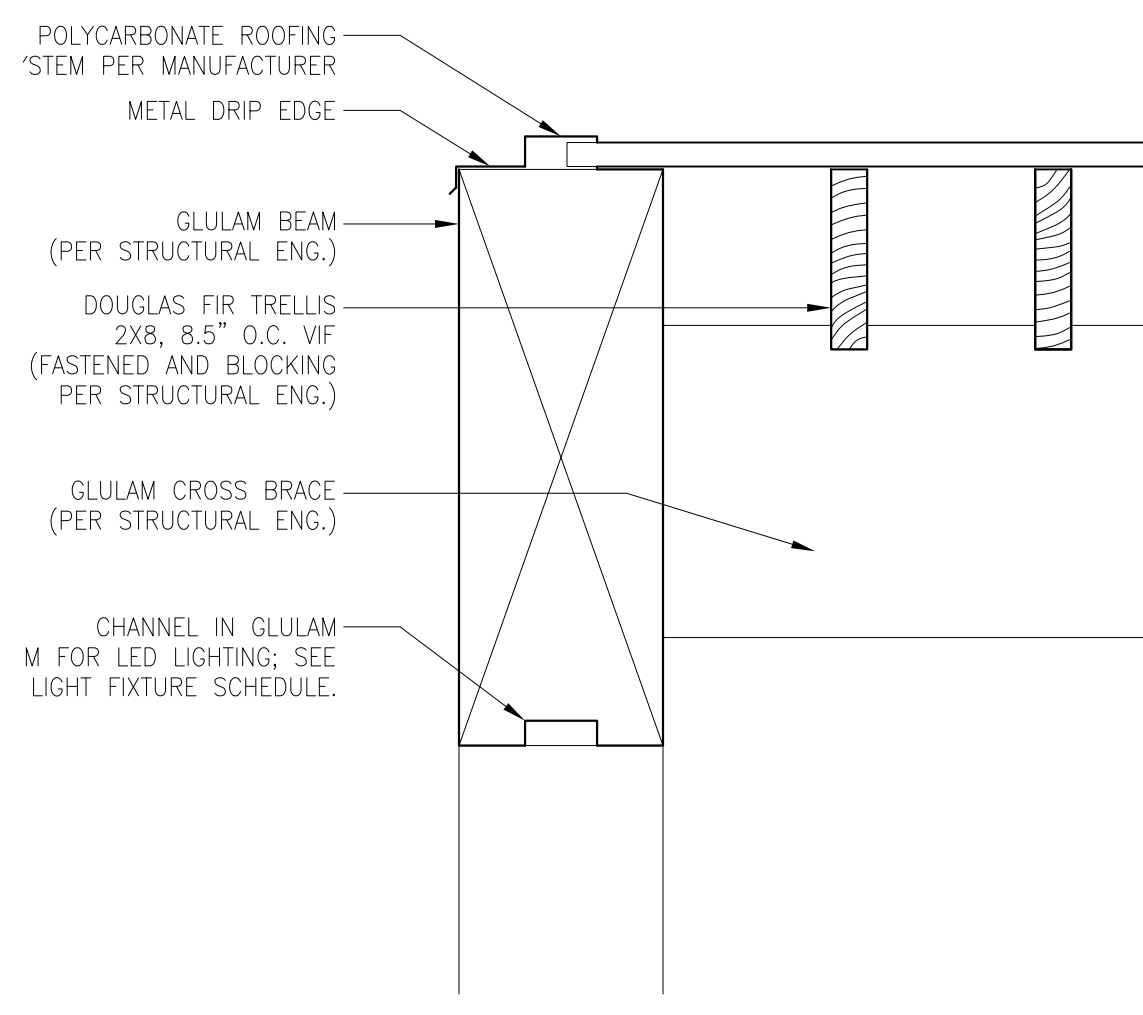
07 EXPANSION JOINT DETAIL AT WALL
 SCALE 1 1/2" = 1'-0"



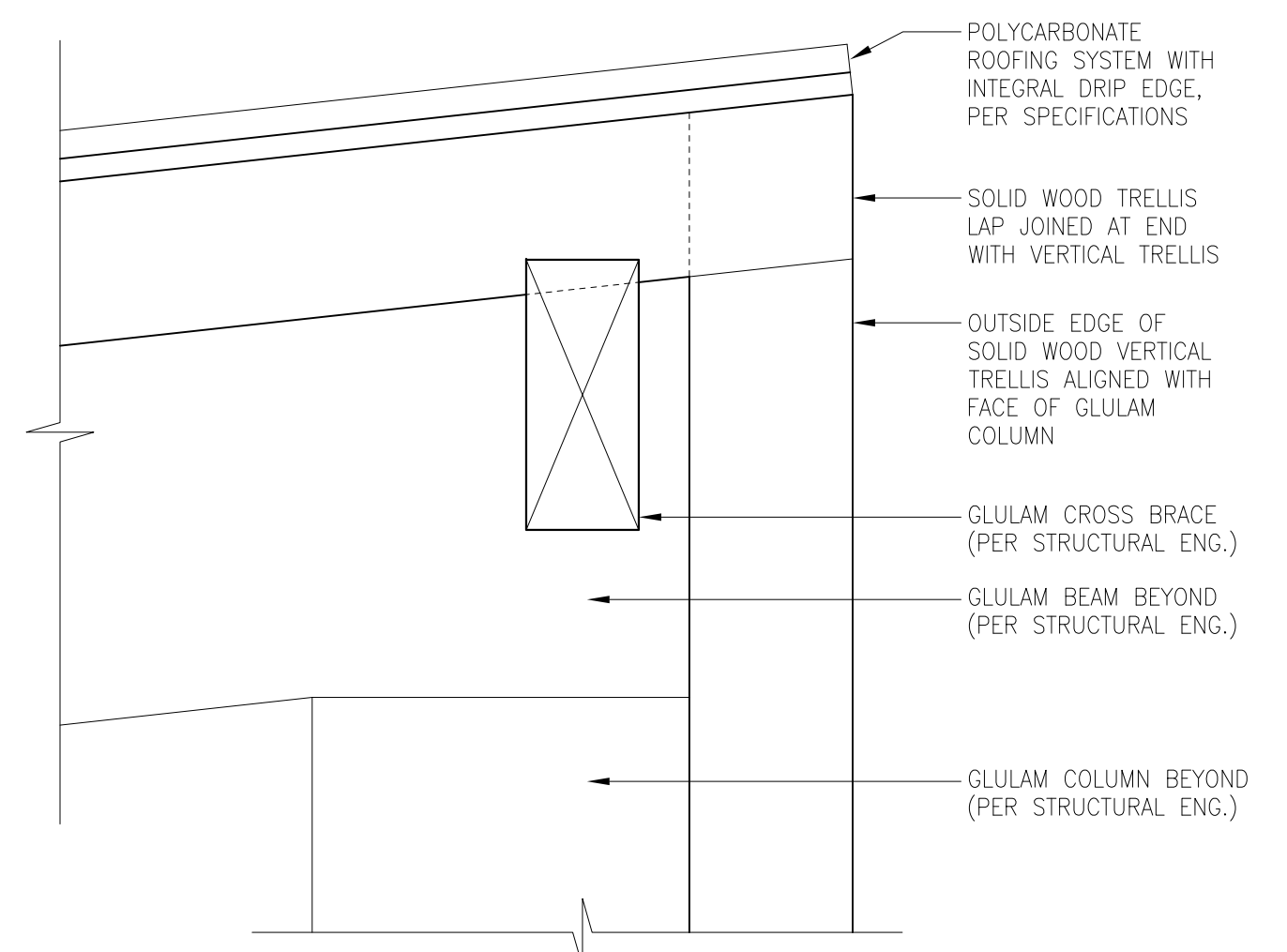
06 TYPICAL WALL SECTION AT ADDITION
 SCALE 1 1/2" = 1'-0"



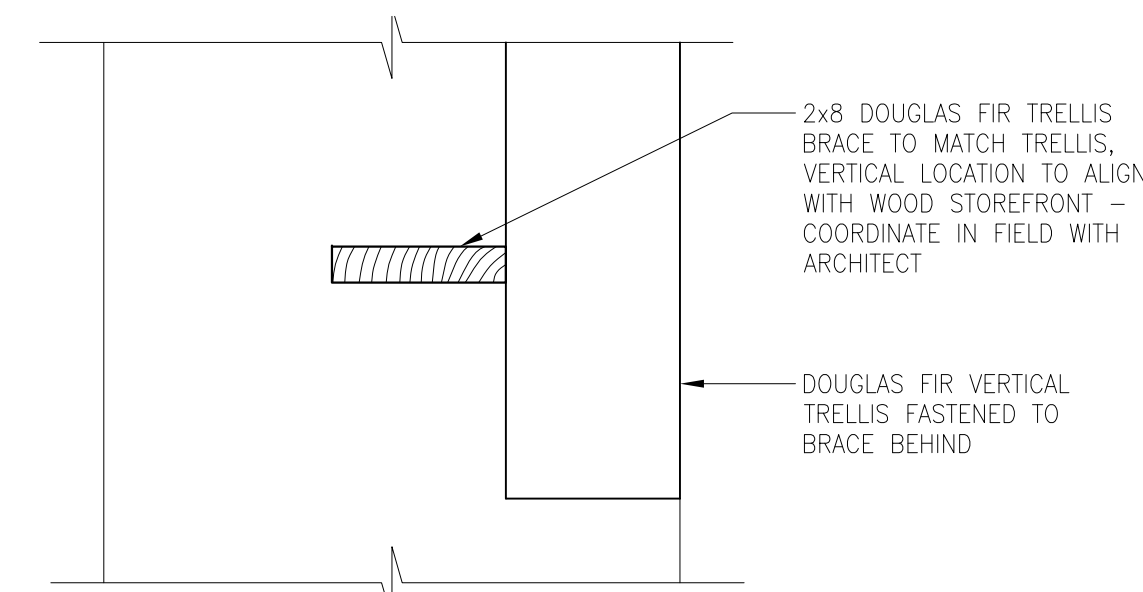
05 CANOPY STRUCTURE DETAIL
 SCALE 1 1/2" = 1'-0"



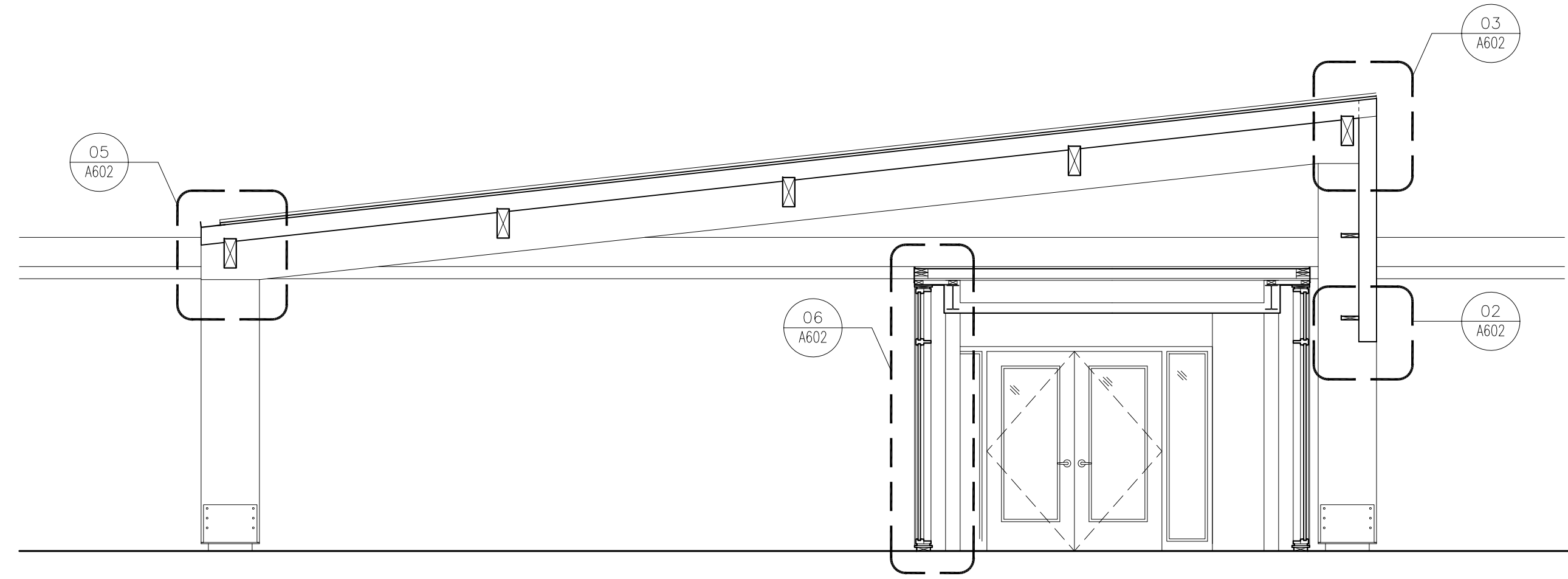
04 CANOPY STRUCTURE DETAIL
 SCALE 1 1/2" = 1'-0"



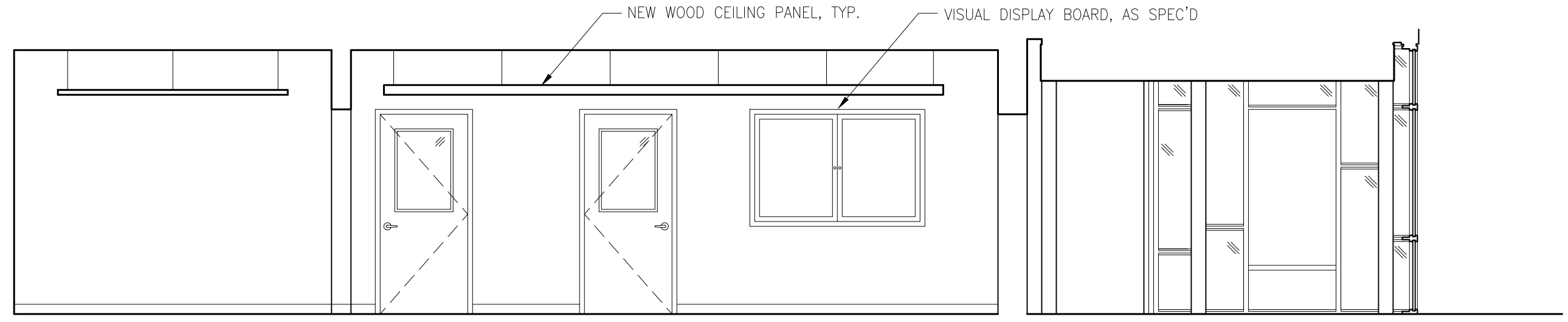
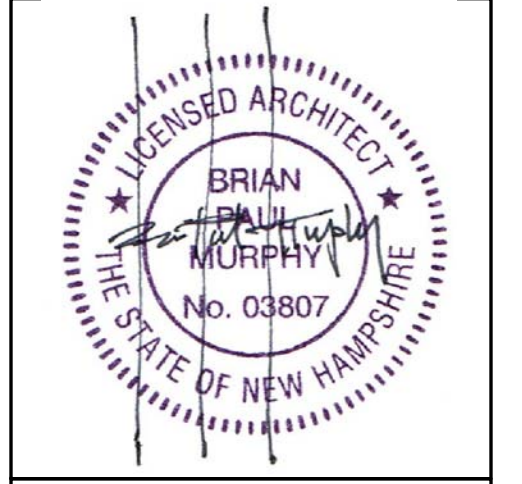
03 CANOPY STURCTURE DETAIL
 SCALE 1 1/2" = 1'-0"



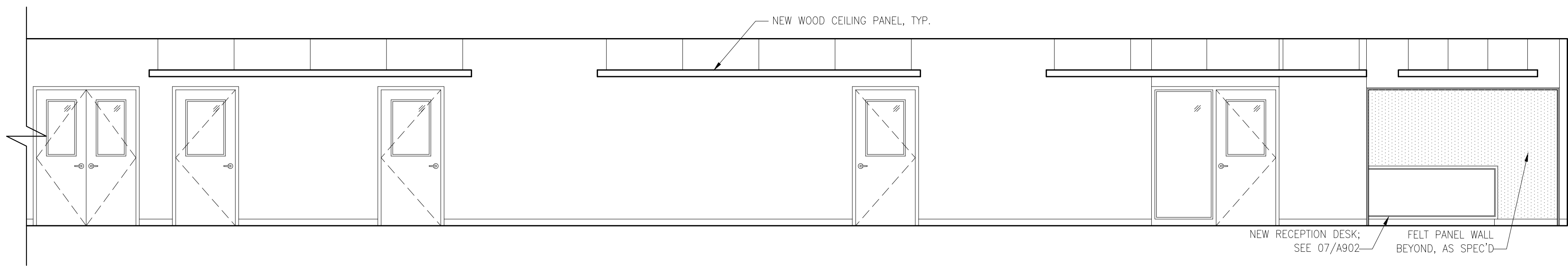
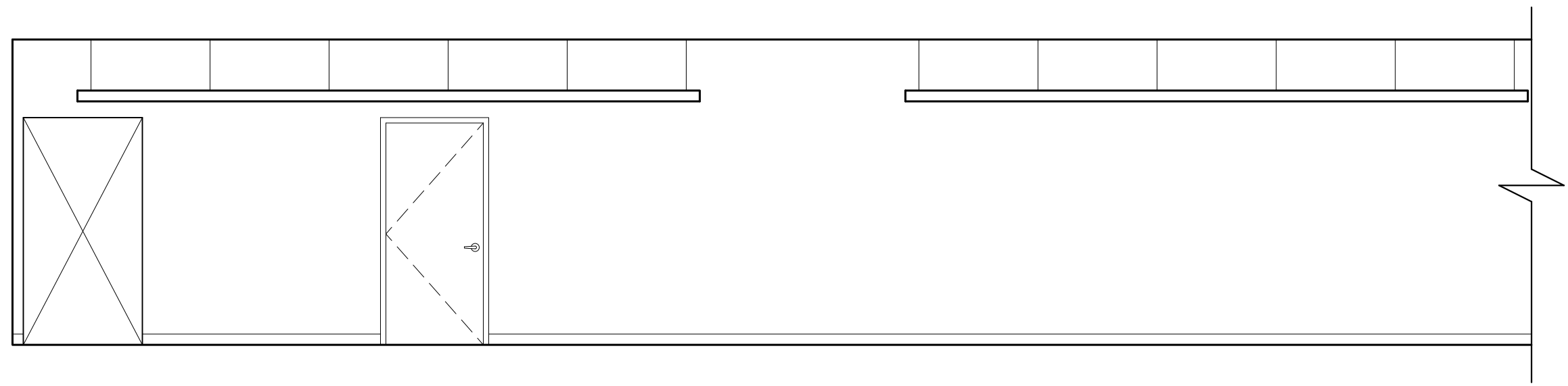
02 CANOPY STRUCTURE DETAIL
 SCALE 1 1/2" = 1'-0"



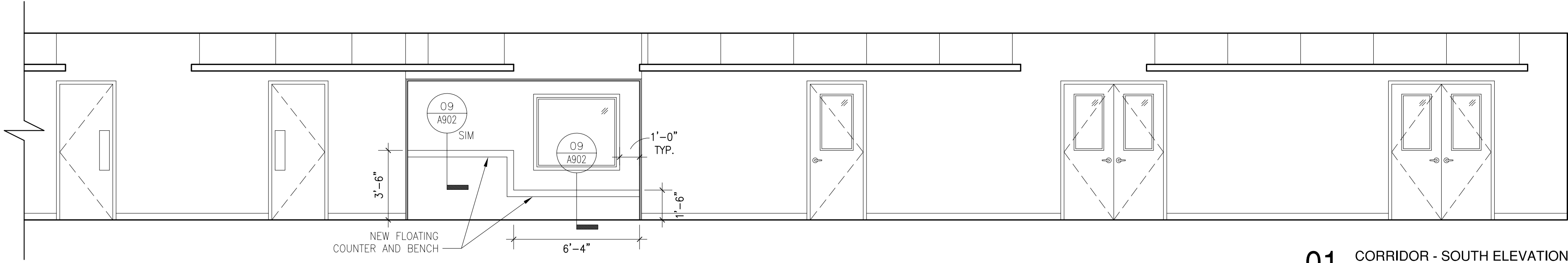
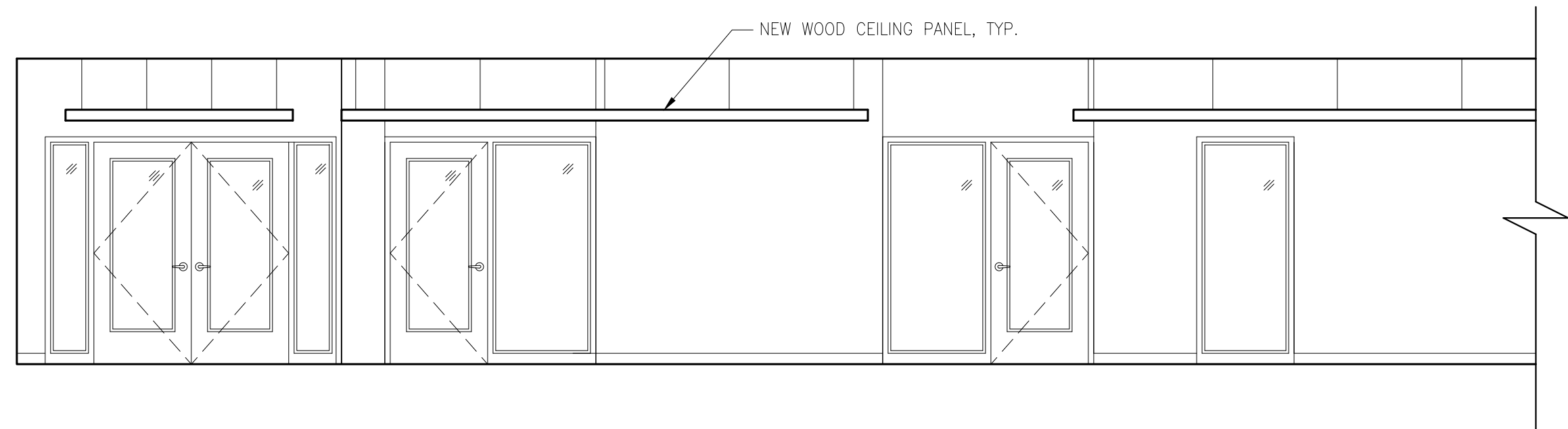
01 SECTION THRU ADDITION & CANOPY
 SCALE 1/4" = 1'-0"



03 CORRIDOR - EAST ELEVATION
 SCALE 1/4" = 1'-0"



02 CORRIDOR - NORTH ELEVATION
 SCALE 1/4" = 1'-0"



01 CORRIDOR - SOUTH ELEVATION
 SCALE 1/4" = 1'-0"

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INTERIOR ELEVATIONS

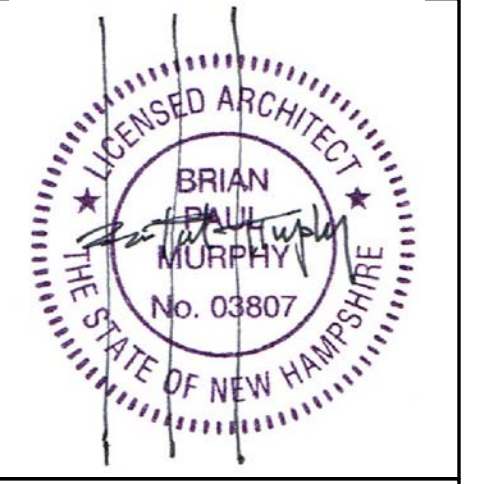
PROJECT NO.: 17002
 DATE ISSUED: 02/23/2018
 SCALE:
 DRAWN BY: ECC
 REVIEWED BY: BPM

A701

PROJECT PHASE:
ISSUED FOR BID

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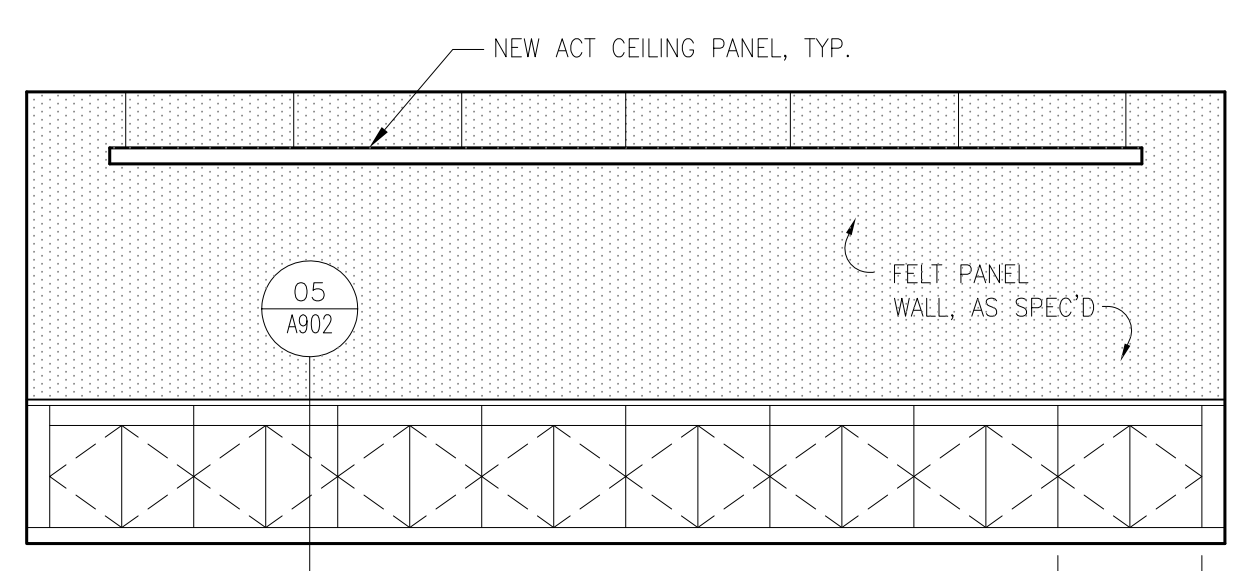
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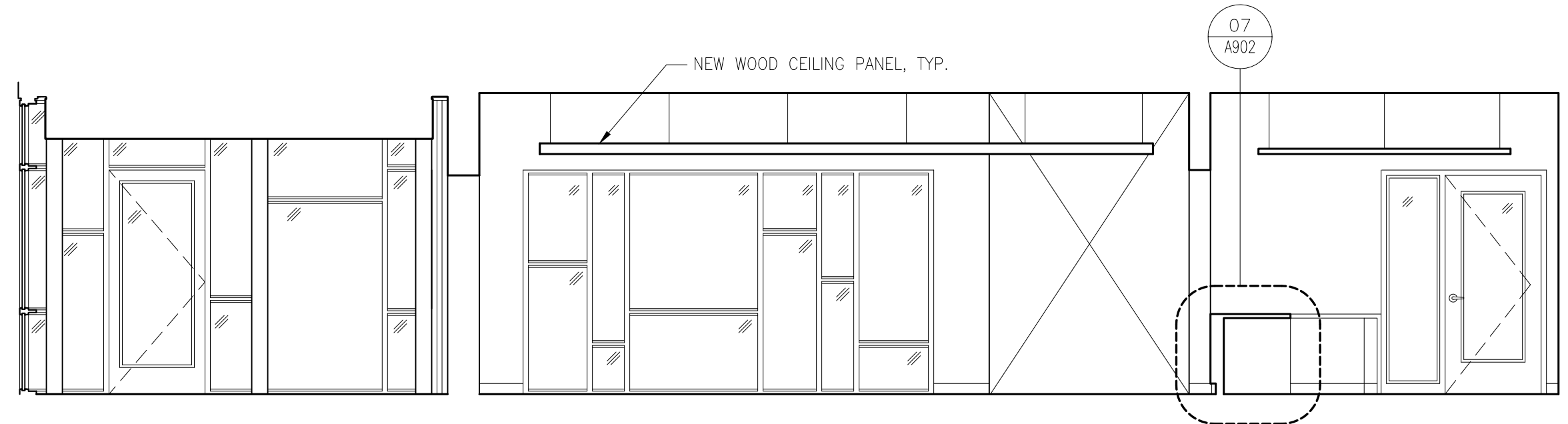
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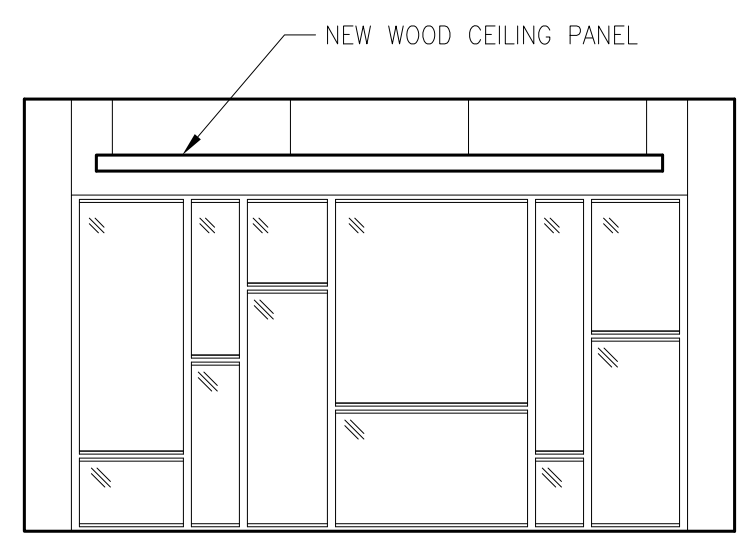
REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/15/2019



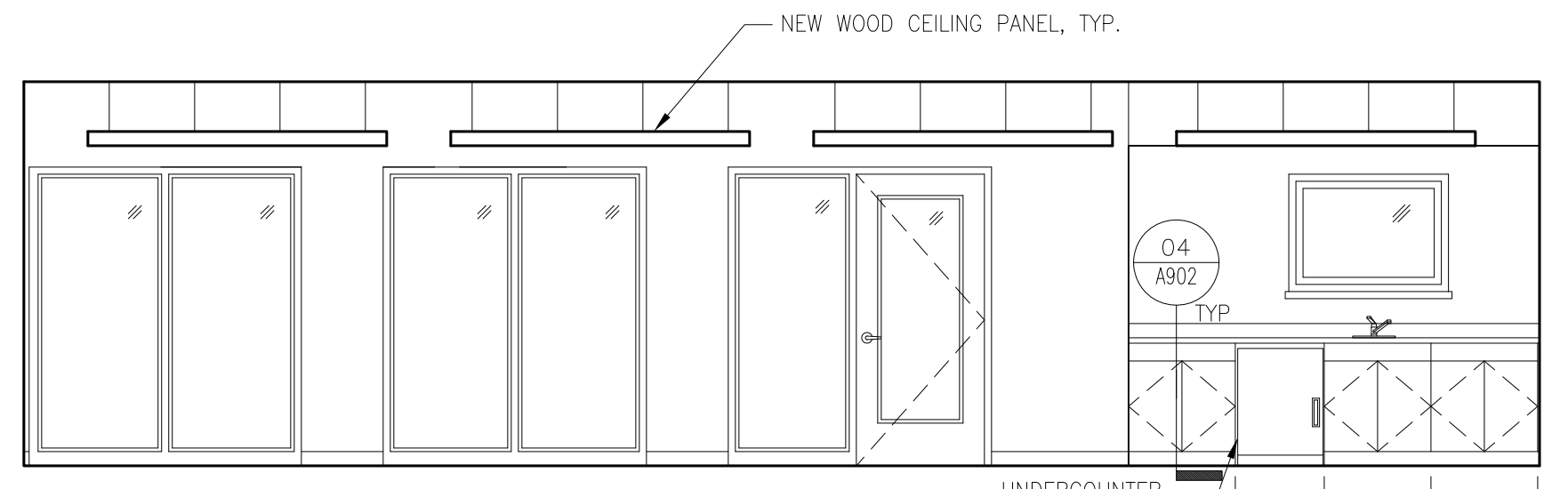
06 ACTIVITY ROOM - SOUTH ELEVATION
 SCALE 1/4" = 1'-0"



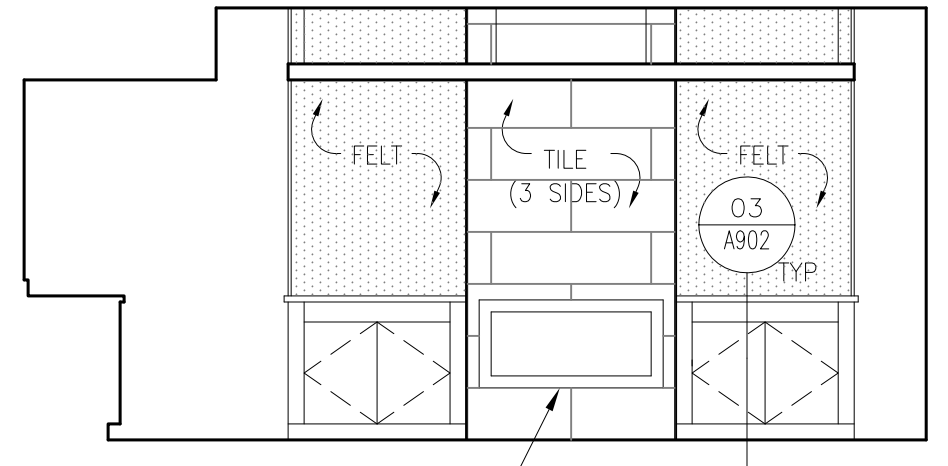
05 CORRIDOR - WEST ELEVATION
 SCALE 1/4" = 1'-0"



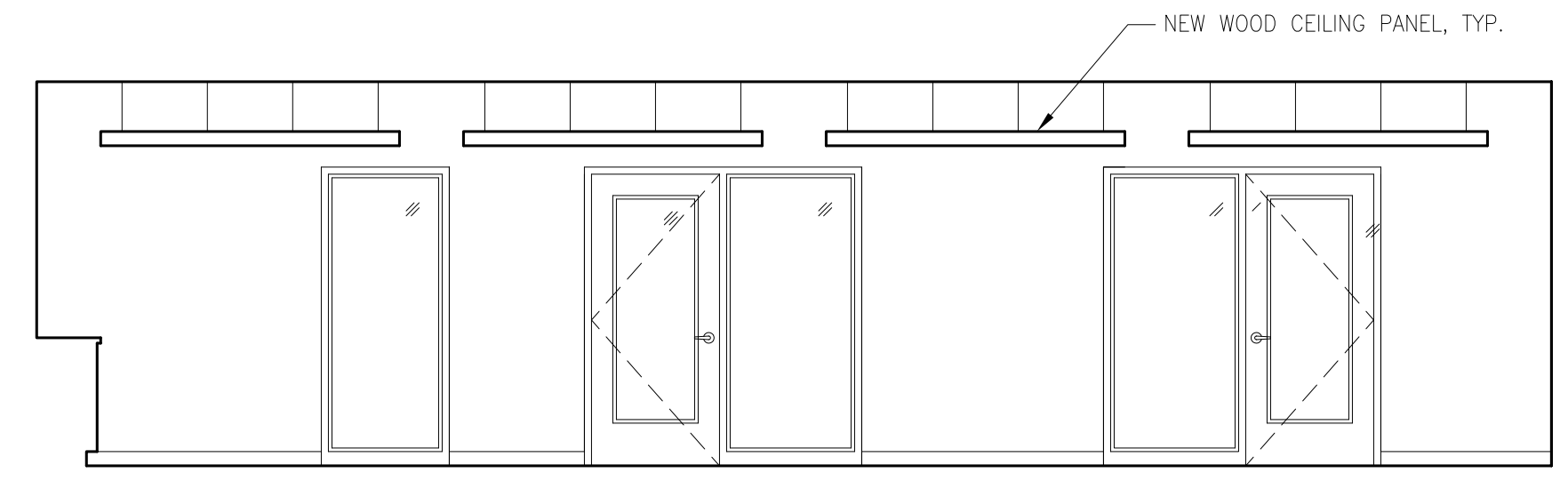
04 LOUNGE - EAST ELEVATION
 SCALE 1/4" = 1'-0"



03 LOUNGE - SOUTH ELEVATION
 SCALE 1/4" = 1'-0"



02 LOUNGE - WEST ELEVATION
 SCALE 1/4" = 1'-0"



01 LOUNGE - NORTH ELEVATION
 SCALE 1/4" = 1'-0"

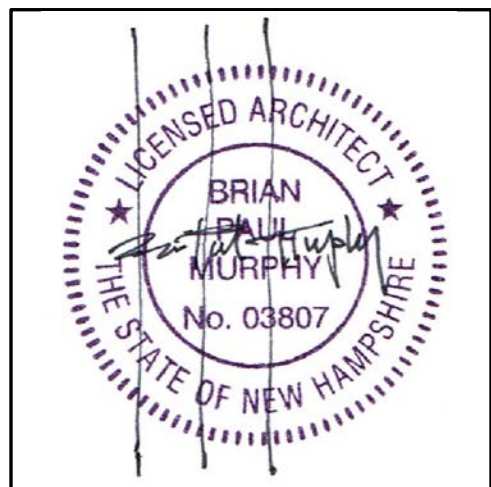
INTERIOR ELEVATIONS

PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
REVIEWED BY:	BPM

A702

PROJECT PHASE:
 ISSUED FOR BID

1 2 3 4 5 6 7 8 9 10 11 12



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B
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J

CITY OF PORTSMOUTH
 1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

128 COTTAGE ST.
 PORTSMOUTH, NH

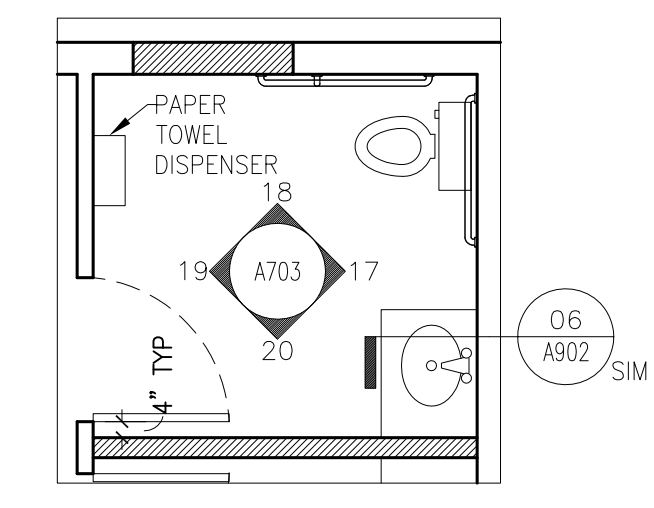
REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
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4	ISSUED FOR BID	02/15/2019

BATH INTERIOR ELEVATIONS

PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
REVIEWED BY:	BPM

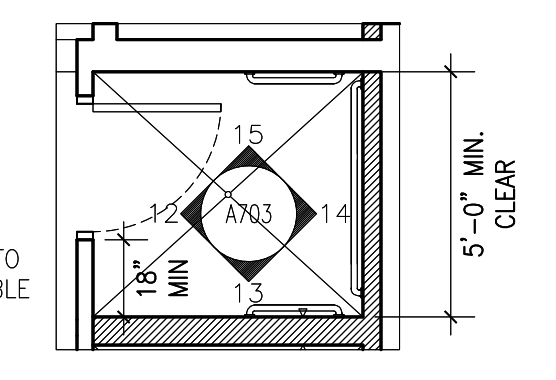
A703

PROJECT PHASE:
ISSUED FOR BID



NOTE: ALL BATHROOM ACCESSORIES TO BE MOUNTED AT ADA ACCESSIBLE HEIGHT; COORDINATE WITH ARCHITECT.

16 RESTROOM
 SCALE 1/4" = 1'-0"

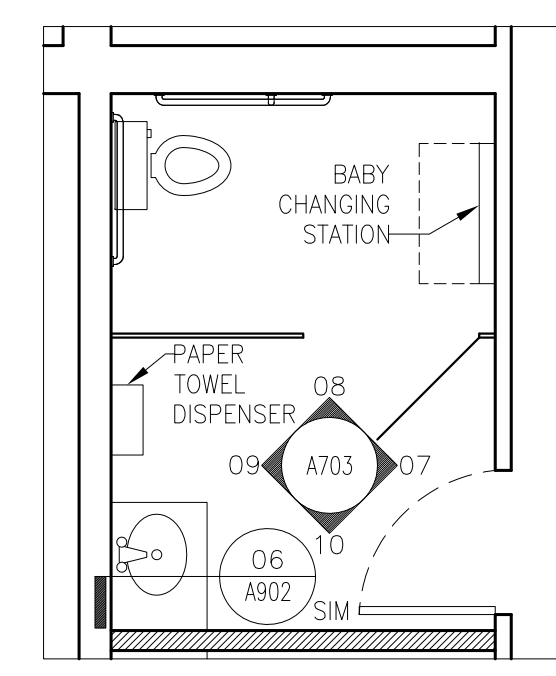


NOTE: ELEVATIONS SIMILAR @ SHOWER ROOMS 113, 114, 115, & 116.

ALL SHOWERS TO HAVE TILED FLOOR SLOPED TO DRAIN.

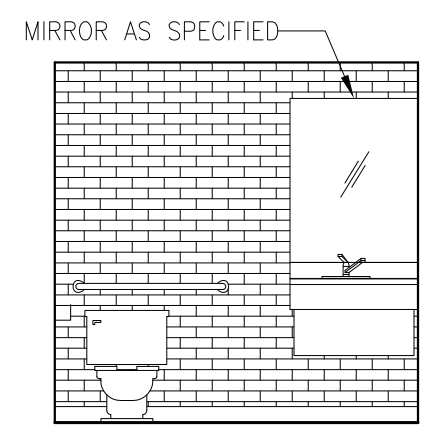
ALL BATHROOM ACCESSORIES TO BE MOUNTED AT ADA ACCESSIBLE HEIGHT; COORDINATE WITH ARCHITECT.

11 SHOWER ROOM 115
 SCALE 1/4" = 1'-0"

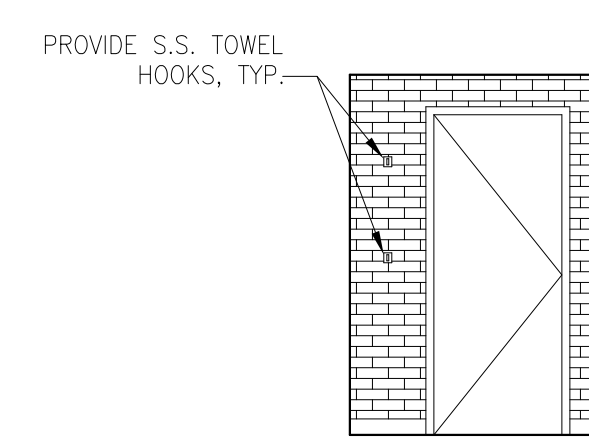


NOTE: ALL BATHROOM ACCESSORIES TO BE MOUNTED AT ADA ACCESSIBLE HEIGHT; COORDINATE WITH ARCHITECT.

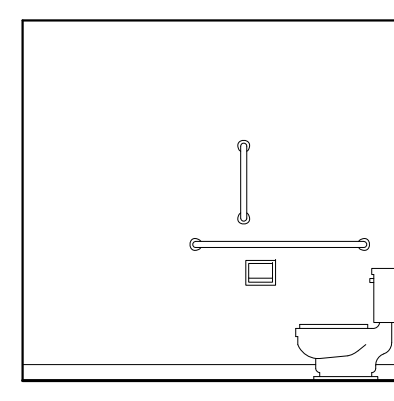
06 ENLARGED PLAN - FAMILY RESTROOM
 SCALE 1/4" = 1'-0"



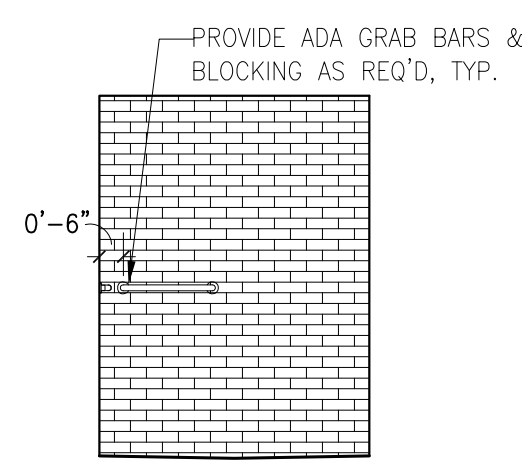
17 SOUTH ELEV - RESTROOM
 SCALE 1/4" = 1'-0"



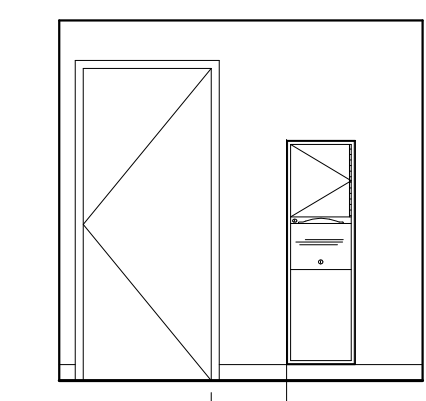
12 NORTH ELEV - SHOWER ROOM 115
 SCALE 1/4" = 1'-0"



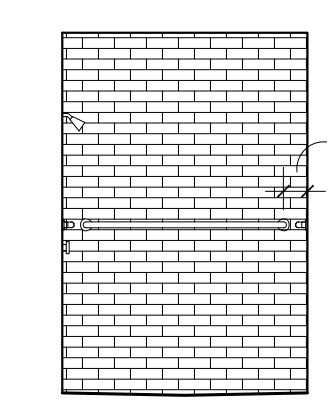
18 EAST ELEV - RESTROOM
 SCALE 1/4" = 1'-0"



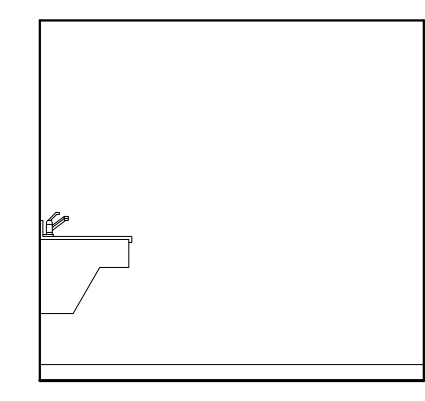
13 EAST ELEV - SHOWER ROOM 115
 SCALE 1/4" = 1'-0"



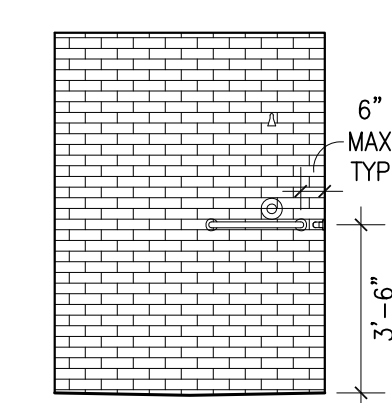
19 NORTH ELEV - RESTROOM
 SCALE 1/4" = 1'-0"



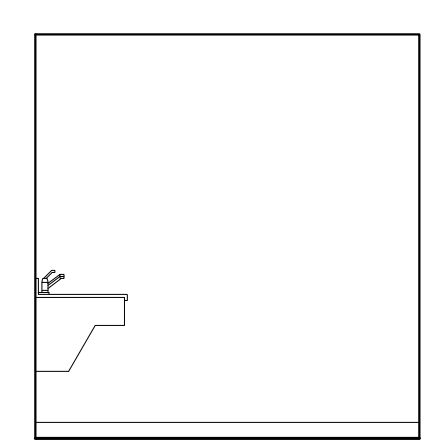
14 SOUTH ELEV - SHOWER ROOM 115
 SCALE 1/4" = 1'-0"



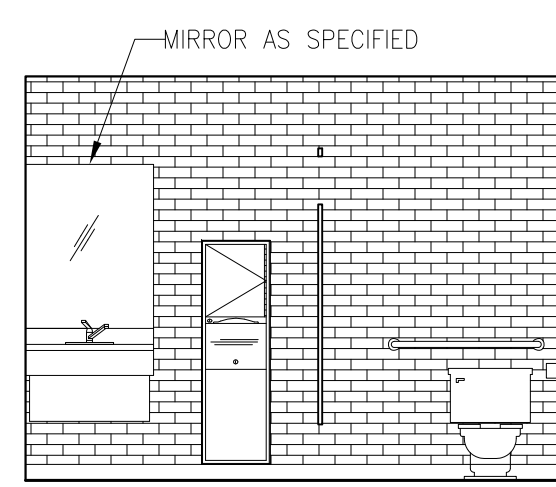
20 WEST ELEV - RESTROOM
 SCALE 1/4" = 1'-0"



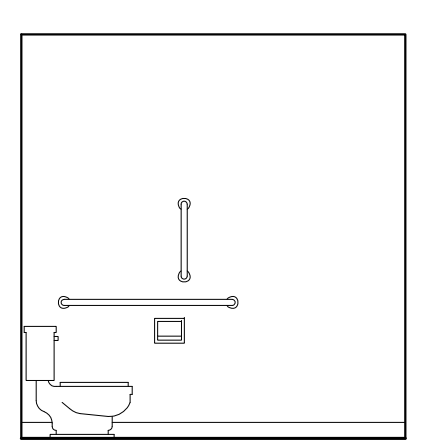
15 WEST ELEV - SHOWER ROOM 115
 SCALE 1/4" = 1'-0"



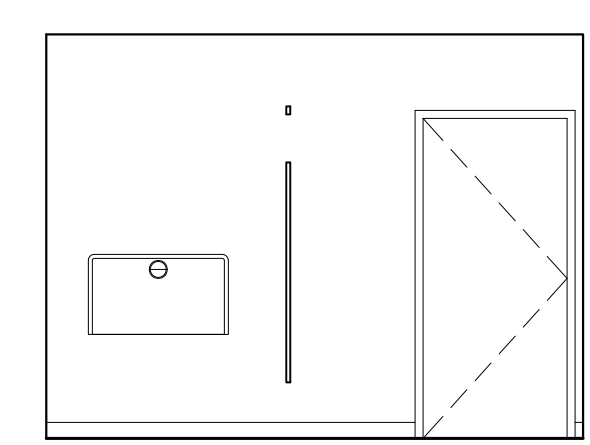
10 FAMILY RESTROOM
 SCALE 1/4" = 1'-0"



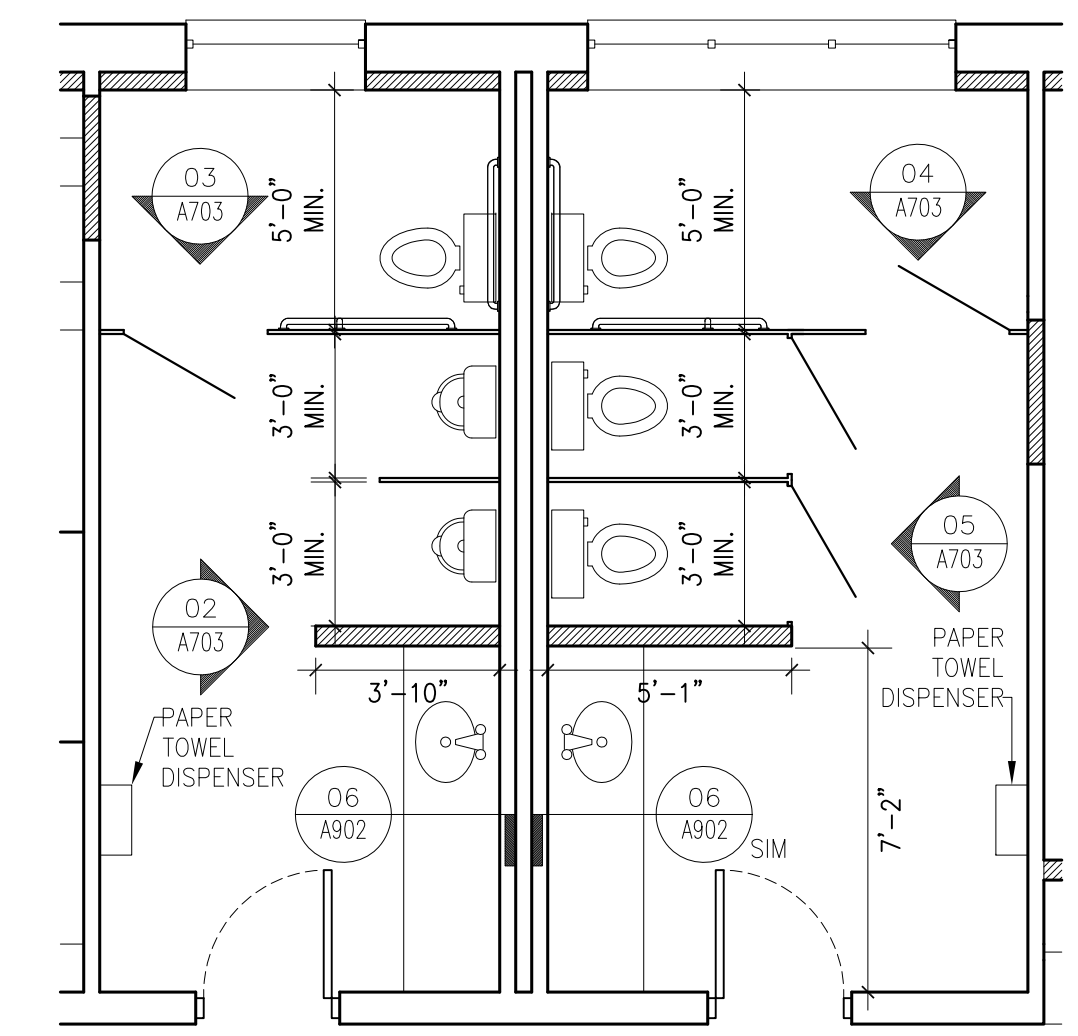
09 FAMILY RESTROOM
 SCALE 1/4" = 1'-0"



08 FAMILY RESTROOM
 SCALE 1/4" = 1'-0"

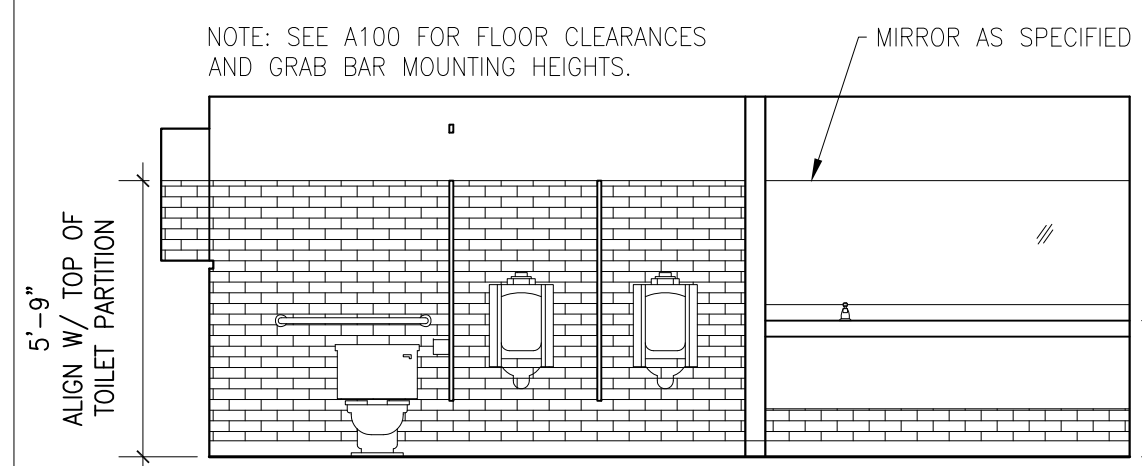


07 FAMILY RESTROOM
 SCALE 1/4" = 1'-0"

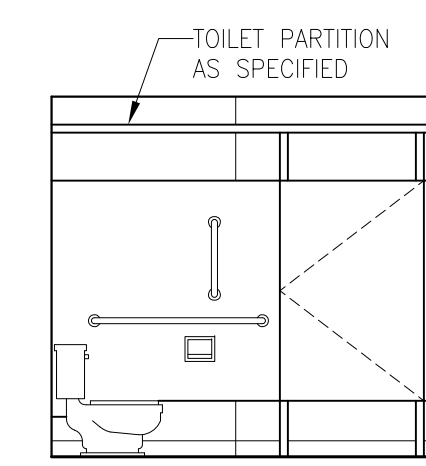


NOTE: ALL BATHROOM ACCESSORIES TO BE MOUNTED AT ADA ACCESSIBLE HEIGHT; COORDINATE WITH ARCHITECT.

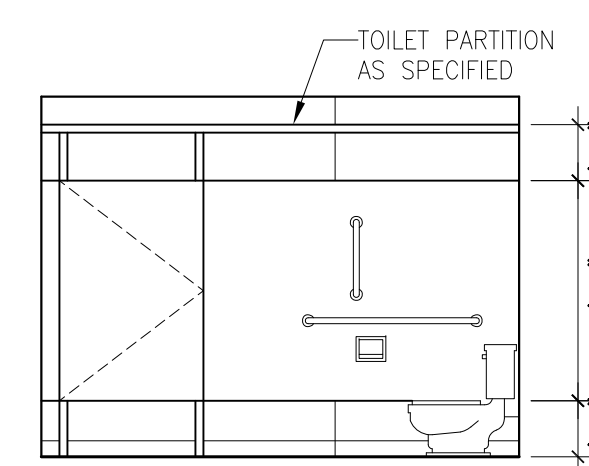
01 ENLARGED PLAN - MEN'S AND WOMEN'S RESTROOMS
 SCALE 1/4" = 1'-0"



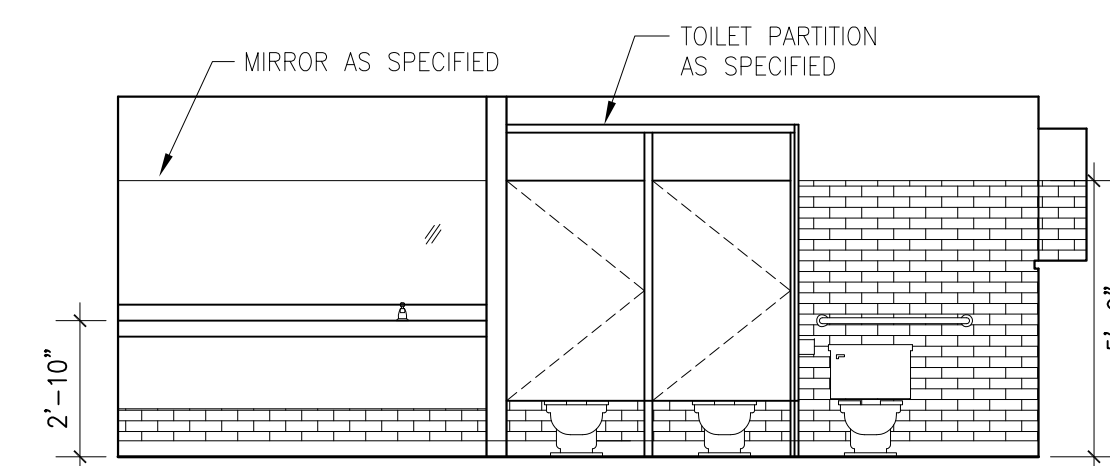
02 WEST ELEV - MEN'S ROOM
 SCALE 1/4" = 1'-0"



03 SOUTH ELEV - MEN'S ROOM
 SCALE 1/4" = 1'-0"



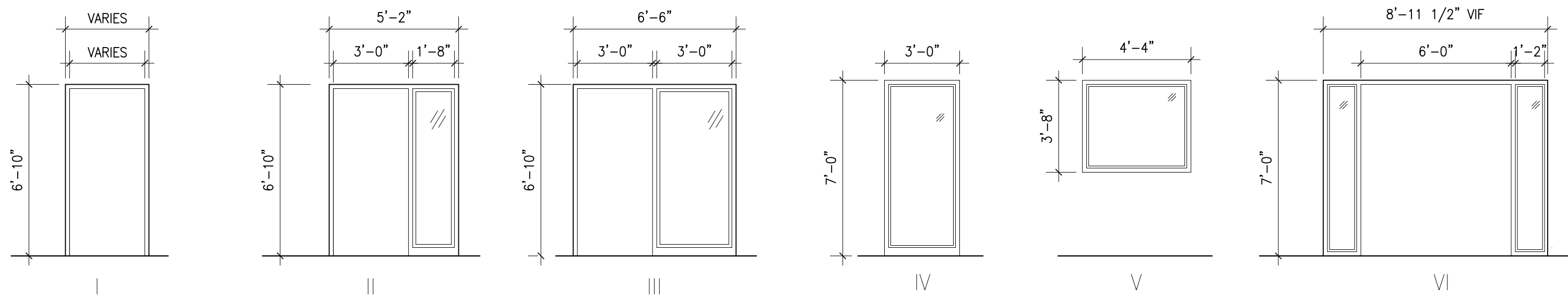
04 SOUTH ELEV - WOMEN'S ROOM
 SCALE 1/4" = 1'-0"



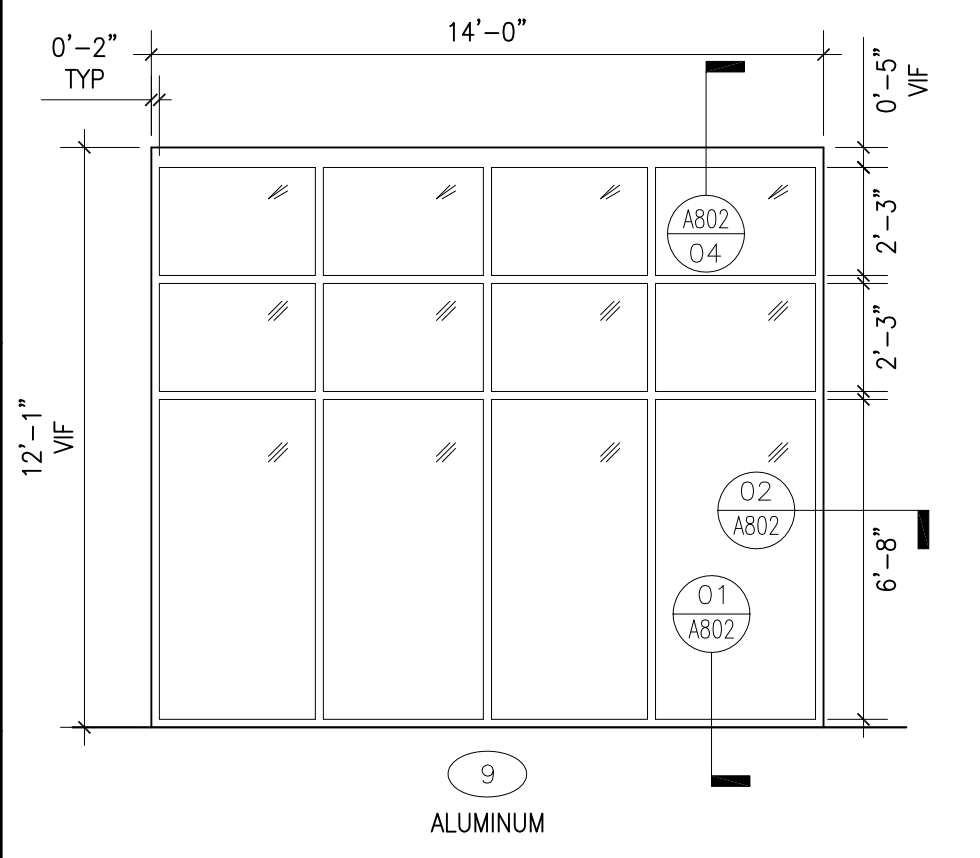
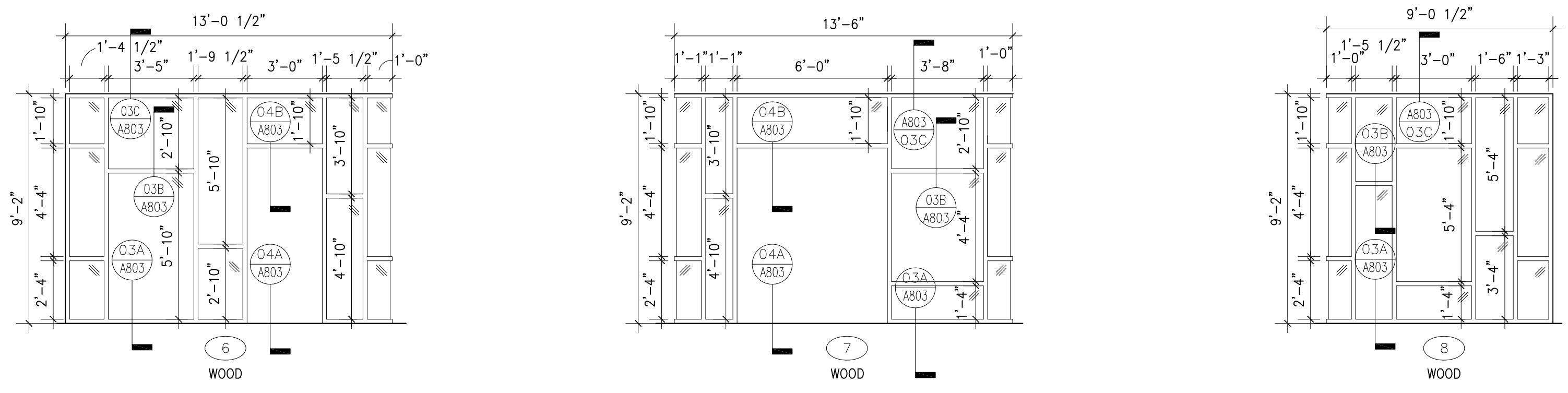
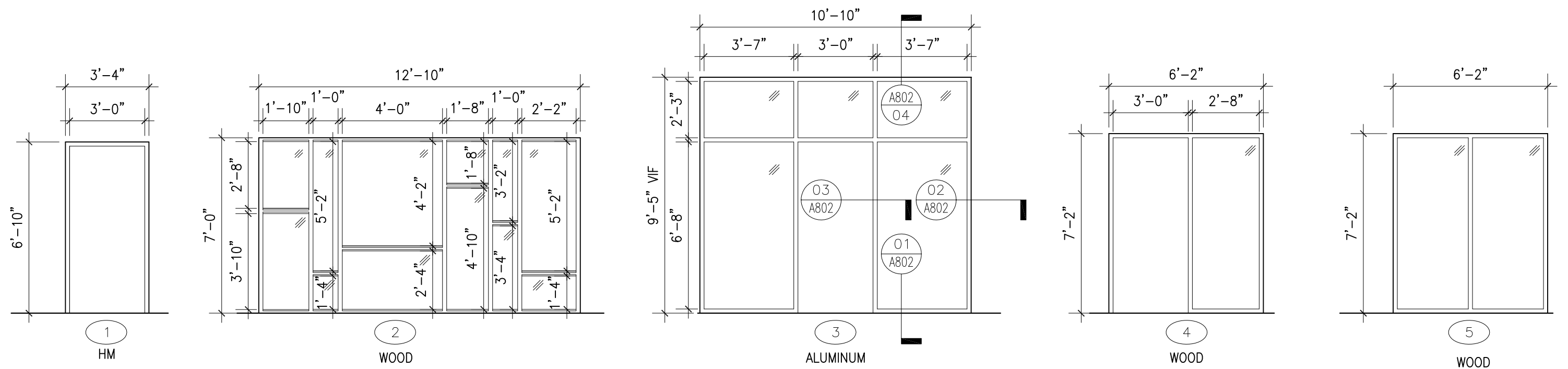
05 EAST ELEV - WOMEN'S ROOM
 SCALE 1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12

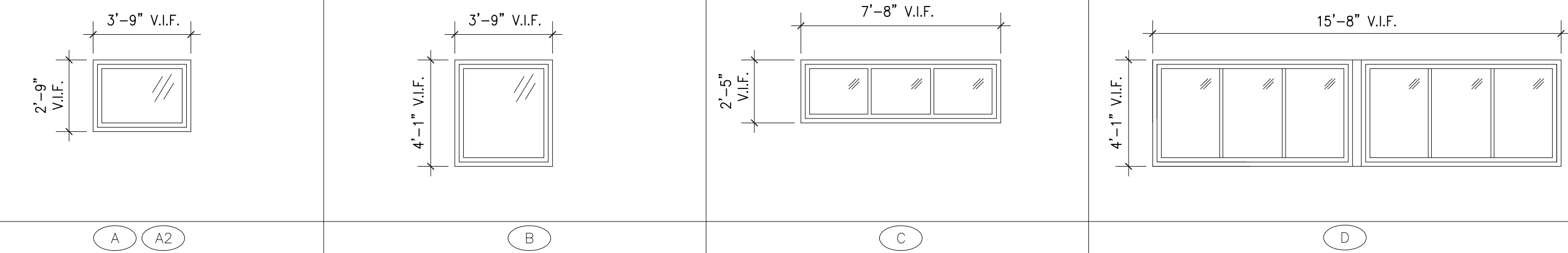
INTERIOR FRAME TYPES



EXTERIOR DOOR AND WINDOW FRAME TYPES



WINDOW TYPES



DOOR SCHEDULE

NOTE: ALL NEW & EXISTING HM FRAMES TO BE PAINTED

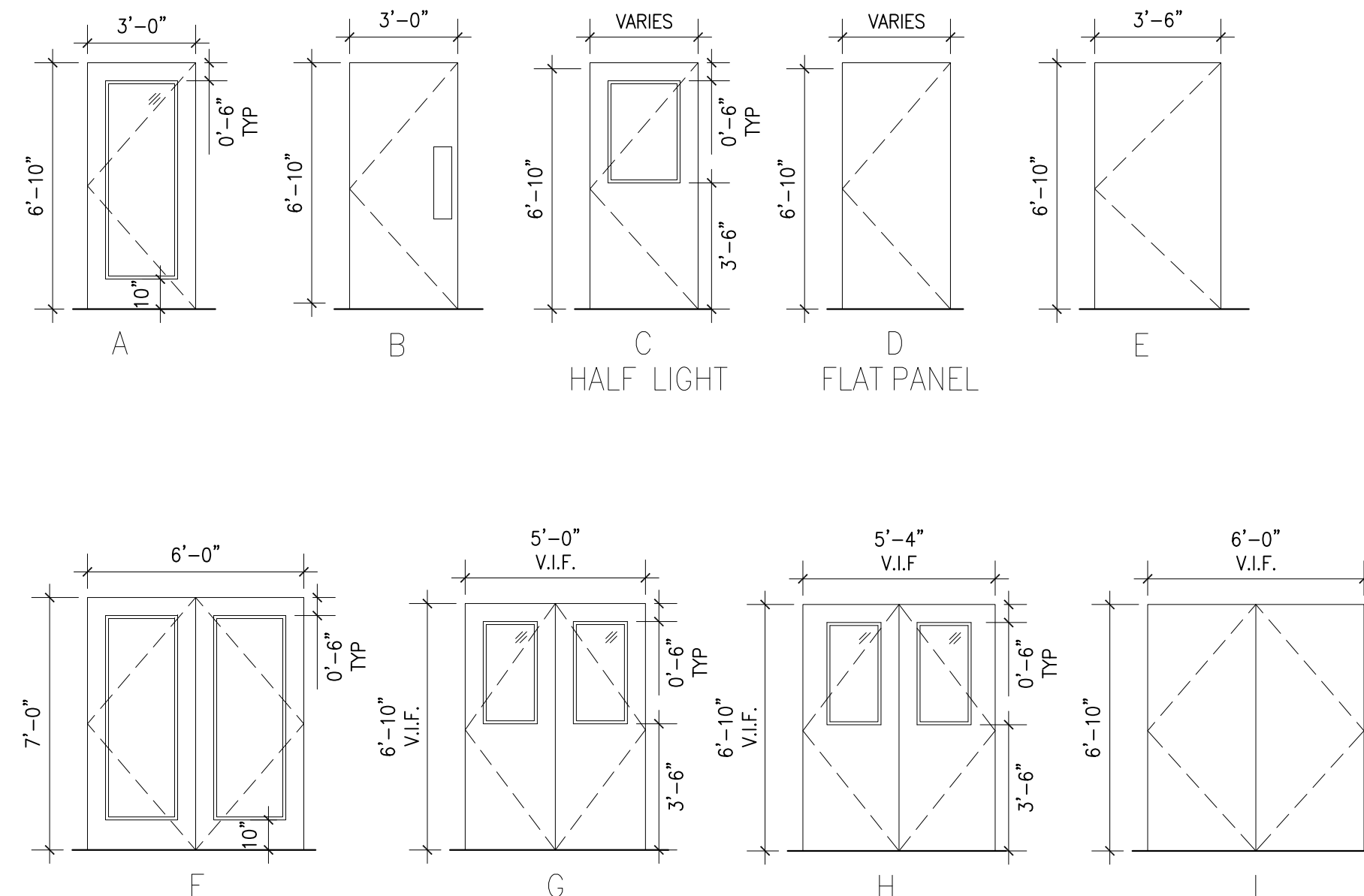
DOOR#	LOCATION: FROM-TO	SWING	SIZE: WxHxD	MATERIAL	ELEV	THRSHLD	#	FRAME MATERIAL	JAMB DETAIL	HEAD DETAIL	REMARKS
000	CORRIDOR COO TO EXTERIOR	DBL	5'-4" x 6'-10"	HM	H	-	-	EX HM	EX	EX	V.I.F.
001.1	CORRIDOR C01 TO CORRIDOR C00	DBL	5'-4" x 6'-10"	WD	H	-	-	EX HM	EX	EX	V.I.F.
001.2	CORRIDOR C01 TO CORRIDOR C02	DBL	5'-0" x 6'-10"	WD	G	-	-	EX HM	EX	EX	V.I.F.
002	CORRIDOR C02 TO EXTERIOR	LH	3'-0" x 7'-0"	ALUM	A	12	3	ALUM	03	04	
100.1	ENTRY TO EXTERIOR	RH	3'-0" x 7'-0"	WOOD ST.	A	02/A803	6	WOOD	04A-B/A803		WOOD STILE DOOR - DURATHERM
100.2	ENTRY TO EXTERIOR	DBL	6'-0" x 7'-0"	WOOD ST.	F	02/A803	7	WOOD	04A-B/A803		WOOD STILE DOOR - DURATHERM
100.3	ENTRY TO CORRIDOR C01	DBL	6'-0" x 7'-0"	WD	C	-	-	VI HM	07	08	
101A	ACTIVITY ROOM A TO CORRIDOR C01	RHR	3'-0" x 6'-10"	WD	C	-	-	EX HM	EX	EX	V.I.F.
101B	ACTIVITY ROOM B TO CORRIDOR C01	LHR	3'-0" x 6'-10"	WD	C	-	-	EX HM	EX	EX	V.I.F.
102A	STORAGE AREA TO ACTIVITY ROOM B	LH	3'-0" x 6'-10"	WD	D	-	-	I HM	10	09	
103.1	LOUNGE TO EXTERIOR	LH	3'-0" x 7'-0"	WOOD ST.	A	02/A803	4	WOOD	04A-B/A803		WOOD STILE DOOR - DURATHERM
103.2	LOUNGE TO CORRIDOR C01	RHR	3'-0" x 6'-10"	WD	C	-	-	III HM	06	05	
103.3	LOUNGE TO CORRIDOR C01	RH	3'-0" x 6'-10"	WD	C	-	-	III HM	06	05	
104.1	DIR. OFFICE TO CORRIDOR C01	RH	3'-0" x 6'-10"	WD	C	-	-	III HM	06	05	
104.2	DIR. OFFICE TO RECEPTION DESK	RH	3'-0" x 6'-10"	WD	C	-	-	I HM	10	09	
105	MEN'S ROOM TO CORRIDOR C01	LH	3'-0" x 6'-10"	WD	B	-	-	I HM	06	05	
106	CLASSROOM TO CORRIDOR C01	RH	3'-0" x 6'-10"	WD	C	-	-	EX HM	EX	EX	V.I.F.
107	WOMEN'S ROOM TO CORRIDOR C01	LH	3'-0" x 6'-10"	WD	B	-	-	I HM	06	05	
108.1	STORAGE ROOM TO CORRIDOR C01	LH	3'-0" x 6'-10"	WD	C	-	-	EX HM	EX	EX	V.I.F.
108.2	STORAGE ROOM TO CORRIDOR C01	LH	3'-0" x 6'-10"	WD	C	-	-	EX HM	EX	EX	V.I.F.
109	CLASSROOM TO CORRIDOR C01	RH	2'-8" x 6'-10"	WD	C	-	-	EX HM	EX	EX	V.I.F.
110.1	BOILER ROOM TO CORRIDOR C01	LH	3'-0" x 6'-10"	WD	D	-	-	I HM	06	05	90 MINUTE RATED
EX	BOILER ROOM TO EXTERIOR STAR	DBL	-	-	EX	EX	-	EX HM	EX	EX	
111.1	ACTIVITY ROOM C TO CORRIDOR C01	DBL	5'-0" x 6'-10"	WD	G	-	-	EX HM	EX	EX	V.I.F.
111.2	ACTIVITY ROOM C TO CORRIDOR C01	DBL	5'-0" x 6'-10"	WD	G	-	-	EX HM	EX	EX	V.I.F.
111.3	ACTIVITY ROOM C TO CLOSET	DBL	5'-0" x 6'-10"	WD	I	-	-	I HM	10	09	
111.4	ACTIVITY ROOM C TO CLOSET	DBL	5'-0" x 6'-10"	WD	I	-	-	I HM	10	09	
111.5	ACTIVITY ROOM C TO CLOSET	DBL	5'-0" x 6'-10"	WD	I	-	-	I HM	10	09	
112	ELECTRICAL ROOM TO CORRIDOR C01	RH	3'-0" x 6'-10"	WD	D	-	-	EX HM	EX	EX	V.I.F.
113	SHOWER ROOM A TO CORRIDOR C01	LH	3'-0" x 6'-10"	AL/FRP	D	11/A802	I	AL			
114	SHOWER ROOM B TO CORRIDOR C01	LH	3'-0" x 6'-10"	AL/FRP	D	11/A802	I	AL			
115	SHOWER ROOM C TO CORRIDOR C01	RH	3'-0" x 6'-10"	AL/FRP	D	11/A802	I	AL			
116	SHOWER ROOM C TO CORRIDOR C01	LH	3'-0" x 6'-10"	AL/FRP	D	11/A802	I	AL			
117	RESTROOM TO CORRIDOR C02	RH	3'-0" x 6'-10"	WD	D	-	-	I HM	06	05	
118	FAMILY RESTROOM TO CORRIDOR C02	LH	3'-0" x 6'-10"	WD	D	-	-	I HM	06	05	
119	KITCHEN STORAGE TO CORRIDOR C02	RH	3'-6" x 6'-10"	WD	E	-	-	EX HM	EX	EX	V.I.F.
EX	KITCHEN TO EXTERIOR	RH	-	-	EX	EX	-	EX HM	EX	EX	
121.1	ASSEMBLY AREA TO CORRIDOR C02	DBL	6'-0" x 6'-10"	-	EX	EX	-	EX HM	EX	EX	V.I.F.
EX	ASSEMBLY AREA TO KITCHEN	OWRHD	-	-	EX	EX	-	EX	EX	EX	
121.2	ASSEMBLY AREA TO EXTERIOR	LH	3'-0" x 6'-10"	HM	D	12	I	HM	07	08	
EX	ASSEMBLY AREA TO EXTERIOR	RH	4'-0" x 6'-10"	-	EX	EX	-	EX	EX	EX	

WINDOW SCHEDULE

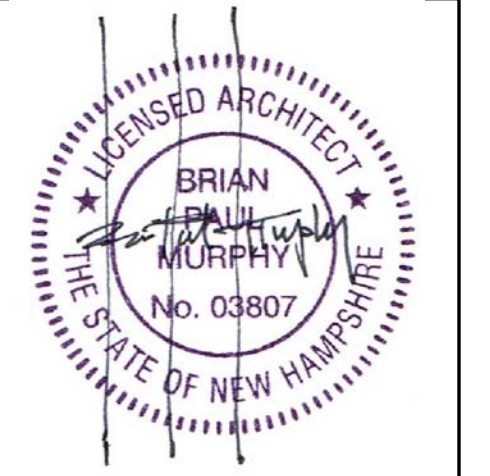
TYPE	MANUFACTURER	MODEL/STYLE#	COLOR/FINISH		NOTES
			INTERIOR	EXTERIOR	
A	MAVRIK	WORKHOUSE CLASSIC - TILT TURN	WHITE	DEEP BLACK	
A2	MAVRIK	WORKHOUSE CLASSIC - TILT TURN	WHITE	DEEP BLACK	FROSTED GLASS (PRIVACY)
B	MAVRIK	WORKHOUSE CLASSIC - TILT TURN	WHITE	DEEP BLACK	
C	MAVRIK	WORKHOUSE CLASSIC - TILT TURN	WHITE	DEEP BLACK	FROSTED GLASS (PRIVACY)
D	MAVRIK	WORKHOUSE CLASSIC - TILT TURN	WHITE	DEEP BLACK	

NOTE: PROVIDE STANDARD TRIPLE PANE GLAZING, INSECT SCREENS, CONCEALED HARDWARE AND OPENING LIMITERS AS SPECIFIED, TYPICAL

DOOR TYPE ELEVATIONS



MANYPENNY | MURPHY ARCHITECTURE
96 FERNMALLOW STREET, PORTSMOUTH, NH 03801 TEL: 603.319.9198



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CENTER**

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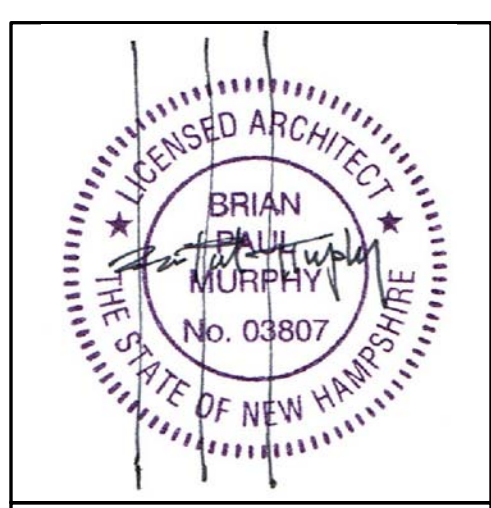
REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
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DOOR & WINDOW SCHEDULE

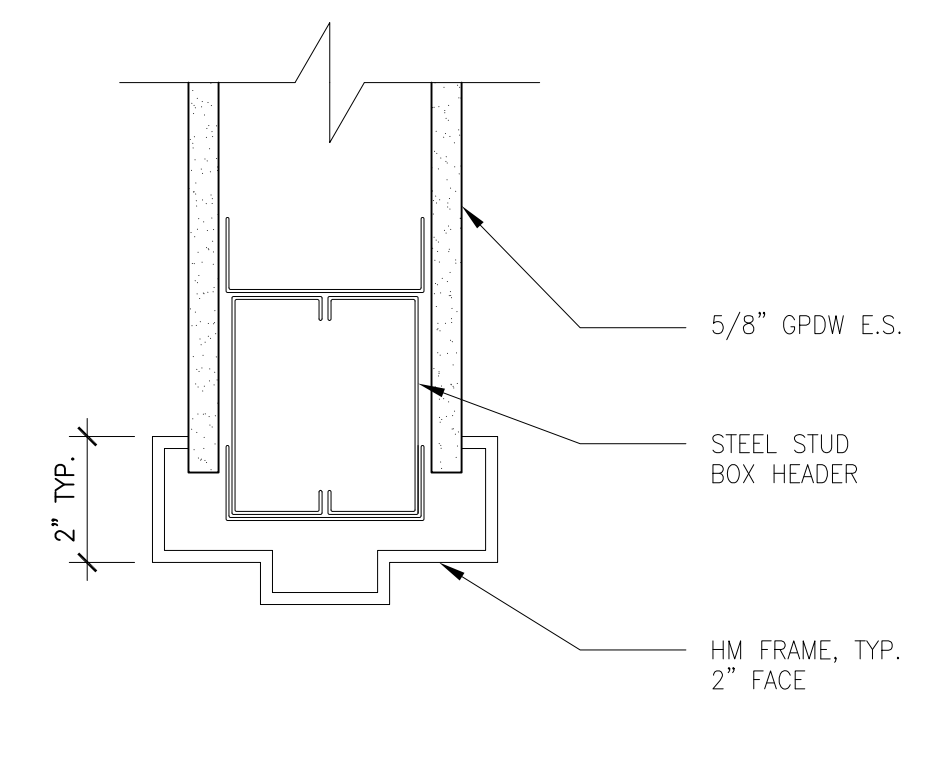
PROJECT NO.: 17002
DATE ISSUED: 02/23/2018
SCALE:
DRAWN BY: ECC
REVIEWED BY: BPM

A801

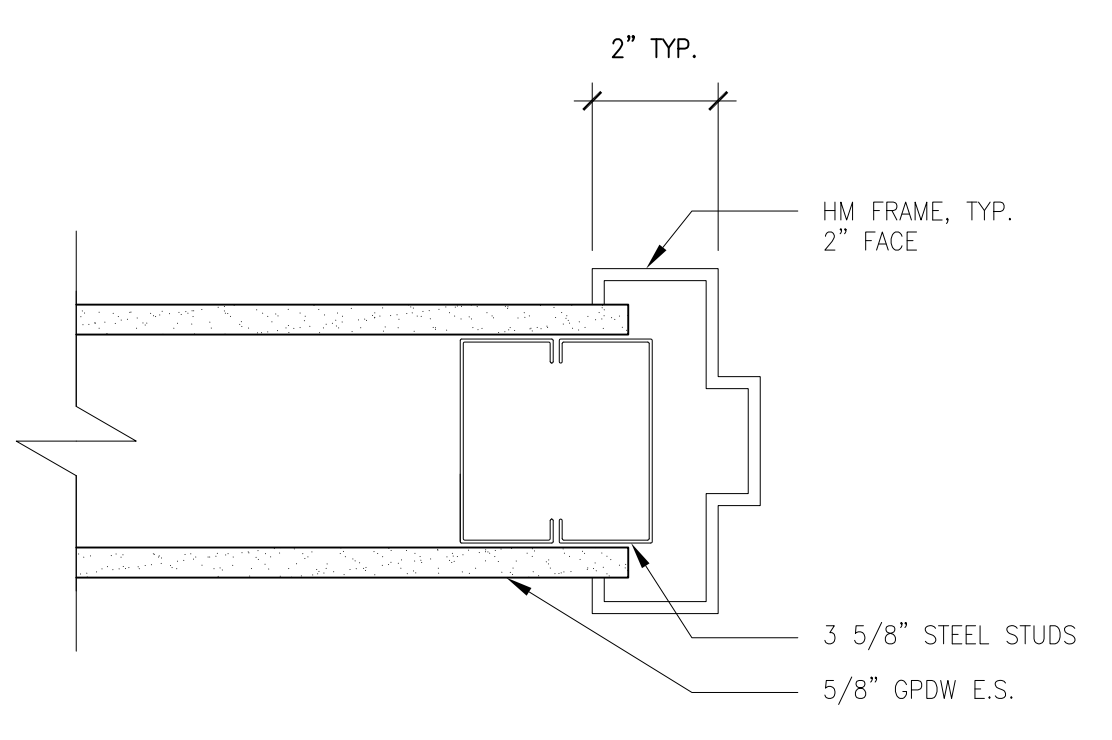
PROJECT PHASE:
ISSUED FOR BID



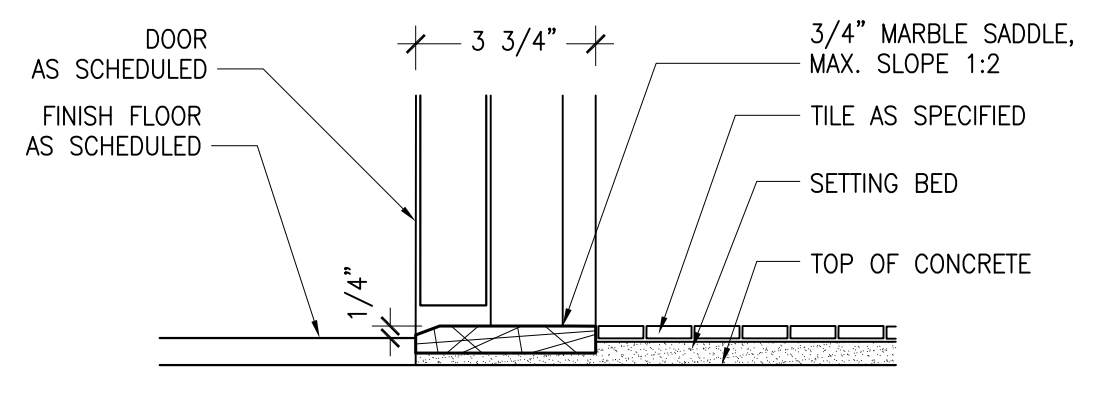
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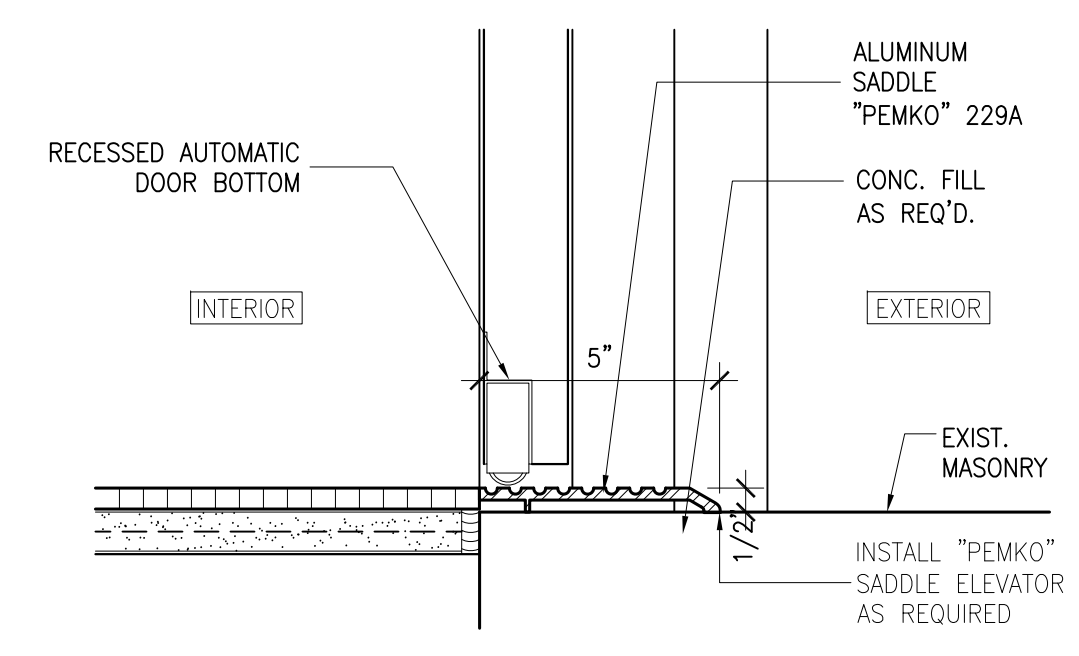
09 HEADER AT GYP BOARD, TYP.
SCALE: 3"=1'-0"



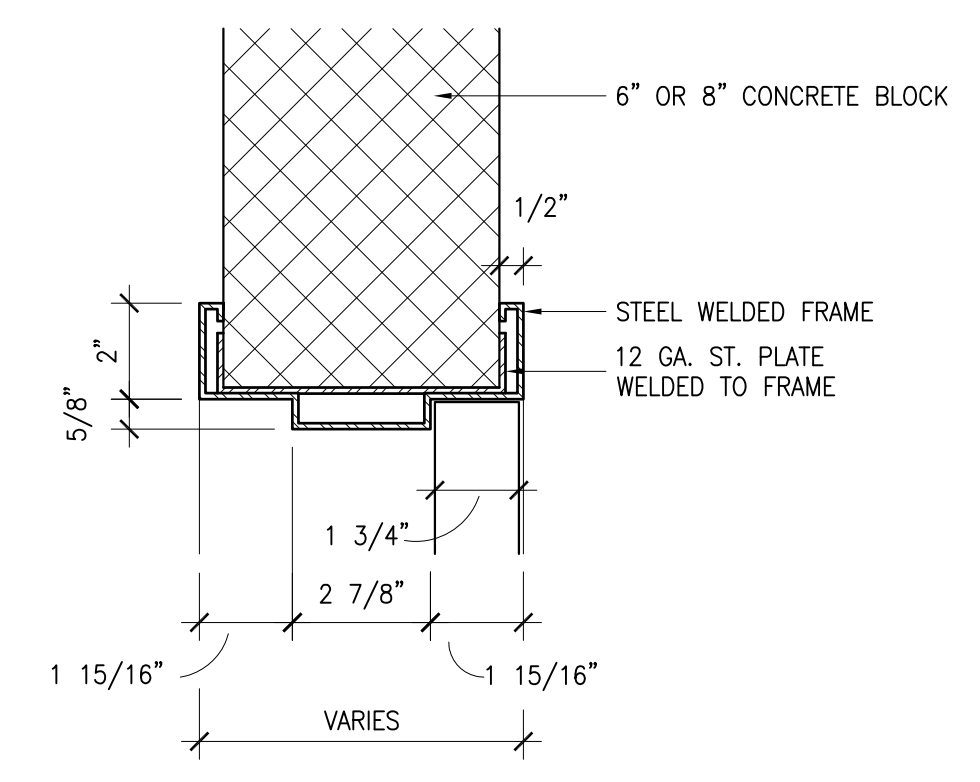
10 JAMB AT GYP BOARD, TYP.
SCALE: 3"=1'-0"



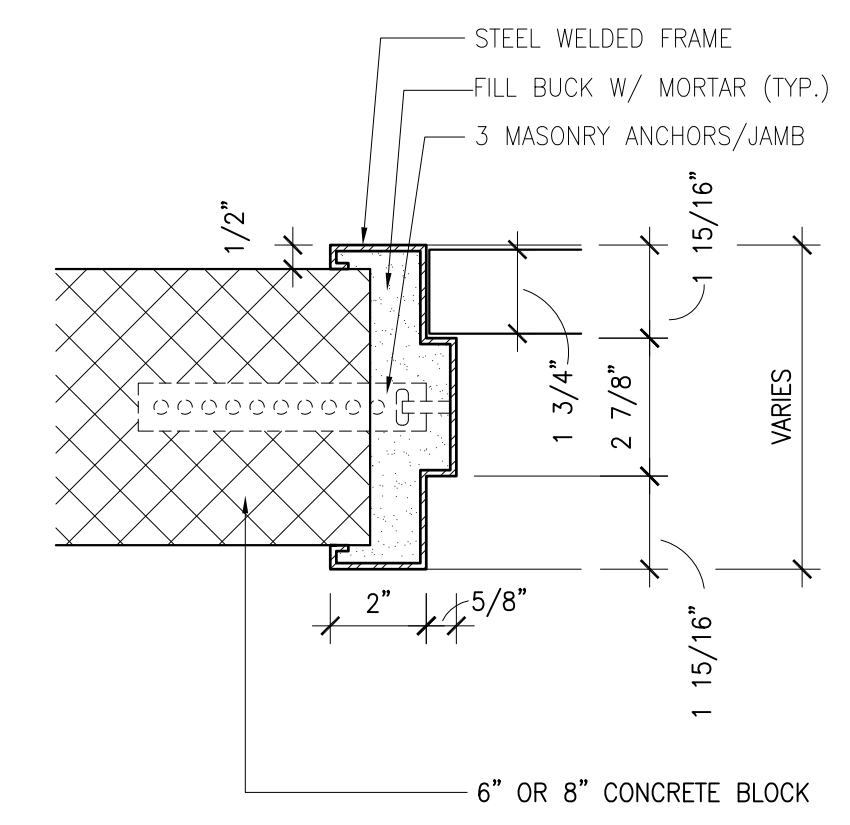
11 DOOR SADDLE @ SHOWER ROOMS
3"=1'-0"



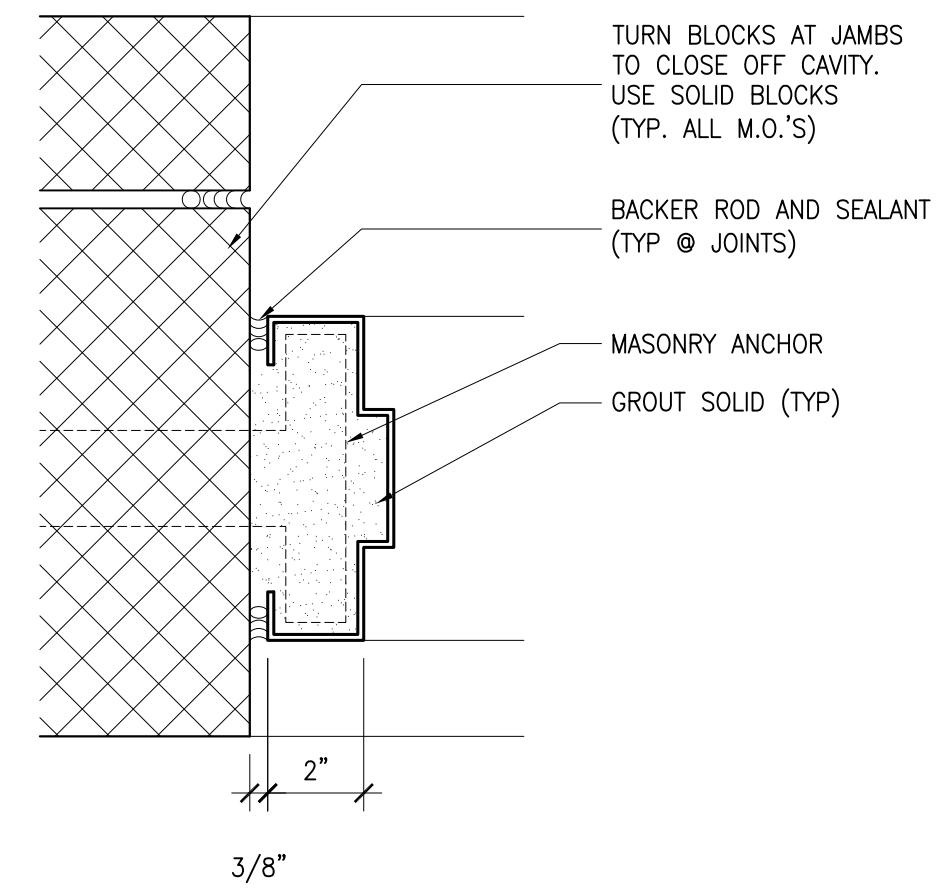
12 ALUMINUM SADDLE AT STOREFRONT DOORS
SCALE: 3"=1'-0"



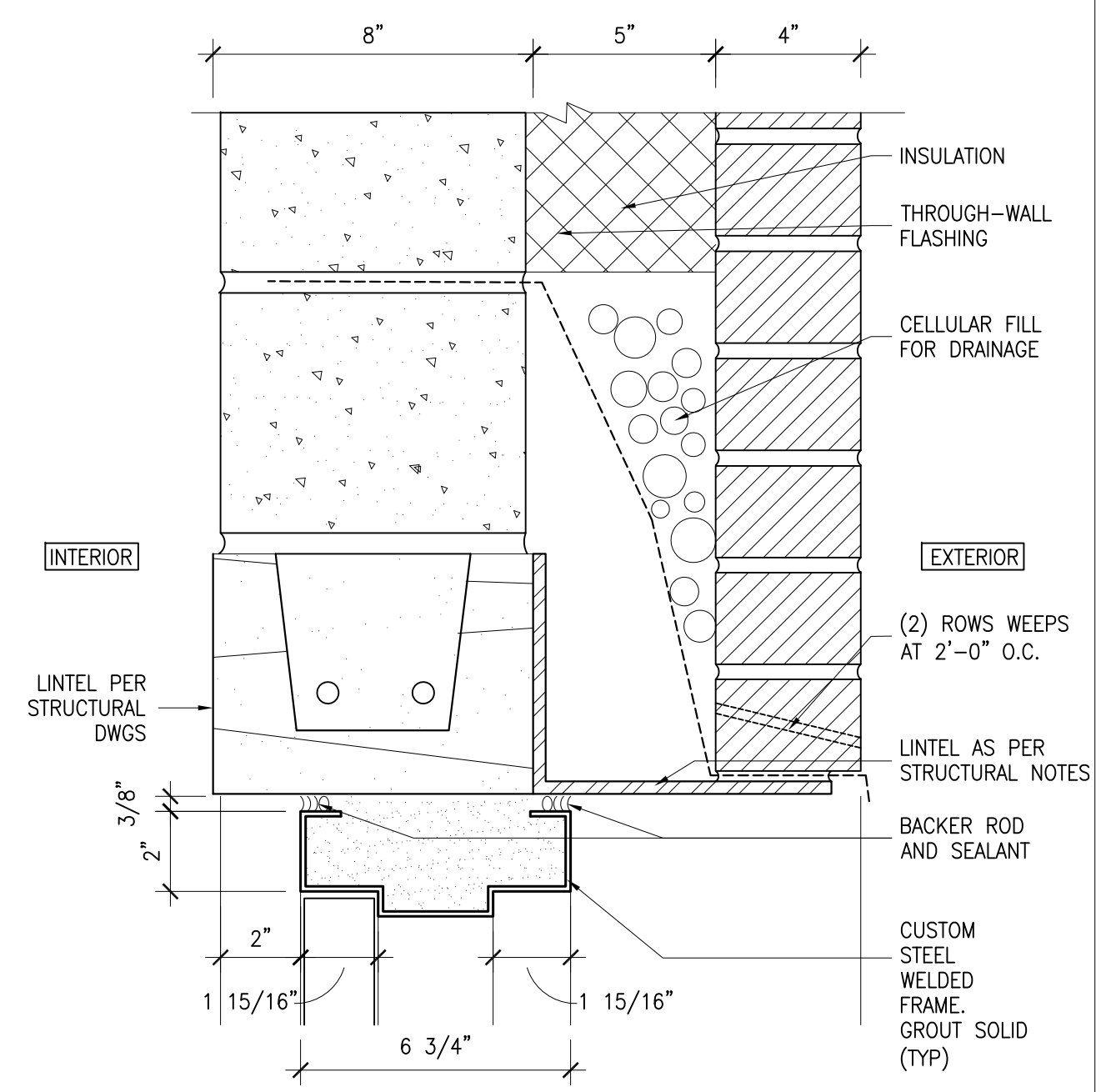
05 HEADER AT CMU
SCALE: 3"=1'-0"



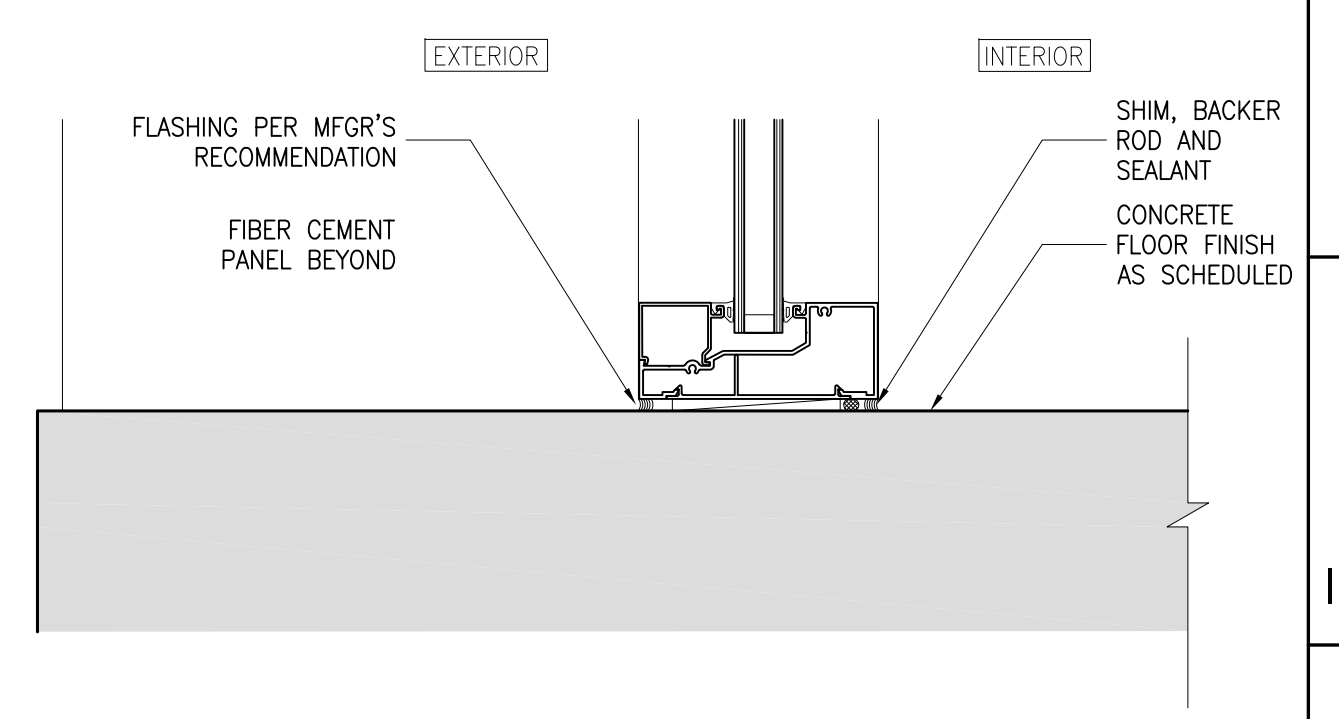
06 JAMB AT CMU
SCALE: 3"=1'-0"



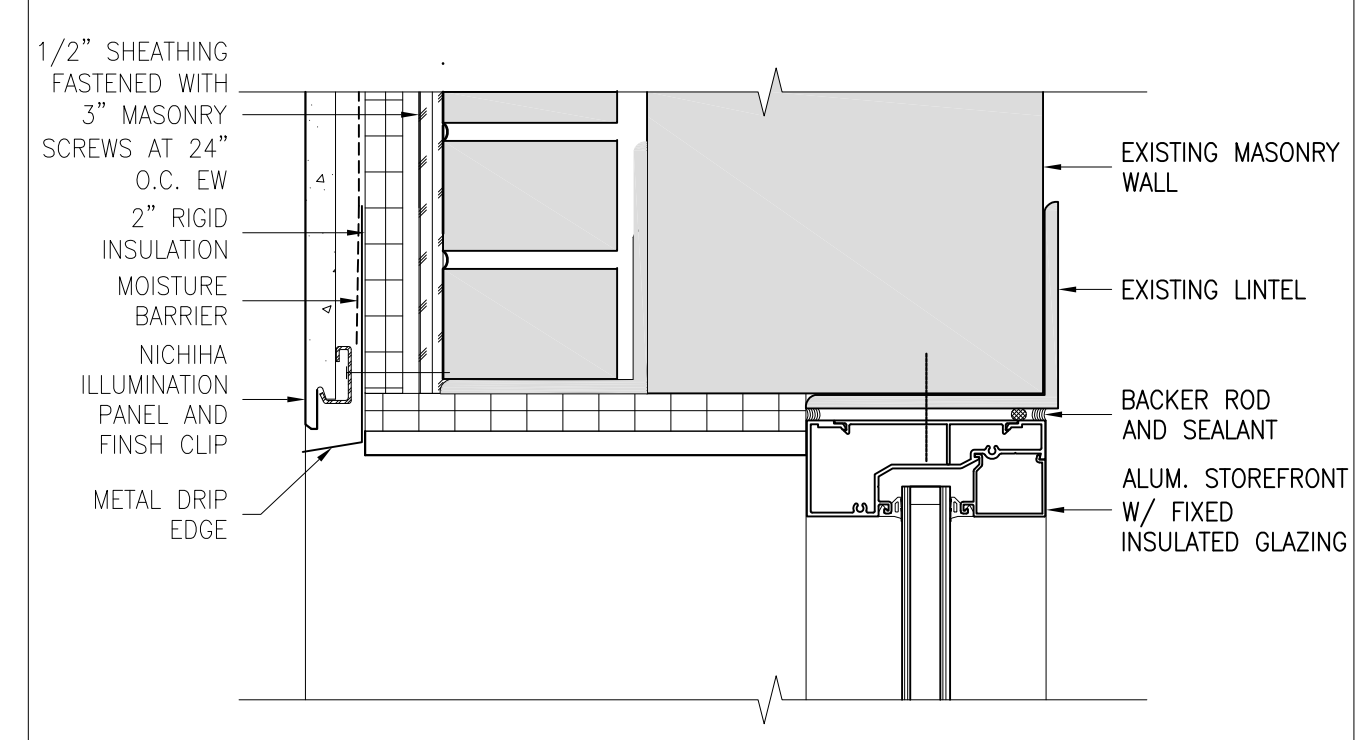
07 JAMB DETAIL @ EXTERIOR WALL
SCALE: 3"=1'-0"



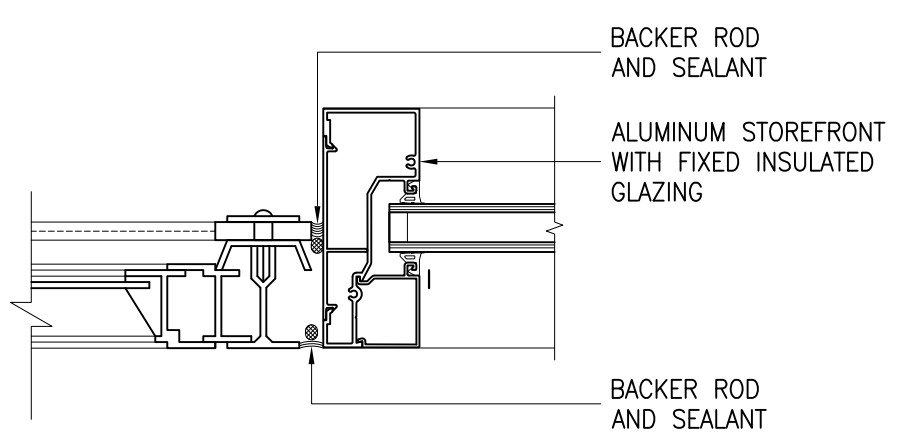
08 HM. FRAME: HEAD @ EXTERIOR WALL
SCALE: 3"=1'-0"



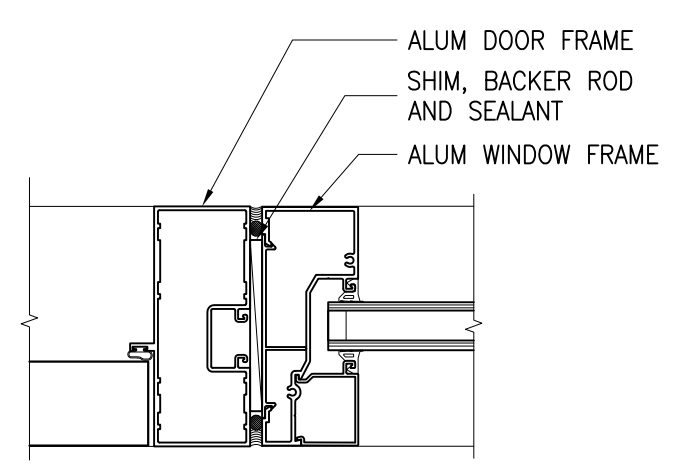
01 ALUMINUM STOREFRONT SILL
SCALE: 3"=1'-0"



02 ALUMINUM STOREFRONT HEAD/JAMB SIM.
SCALE: 3"=1'-0"



03 ALUMINUM DOOR/STOREFRONT JAMB
SCALE: 3"=1'-0"



04 DOOR/WINDOW JAMB DETAIL
SCALE: 3"=1'-0"

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2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/15/2019

DOOR & WINDOW DETAILS

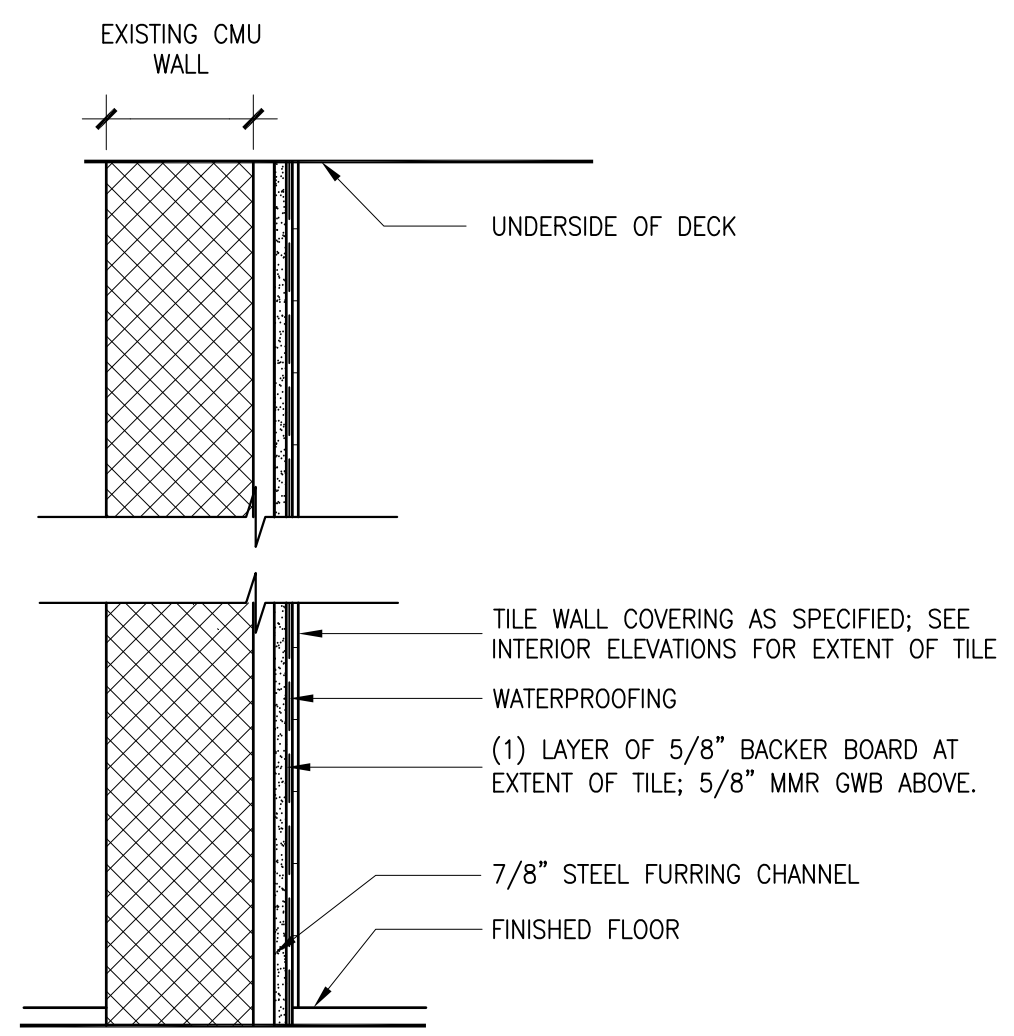
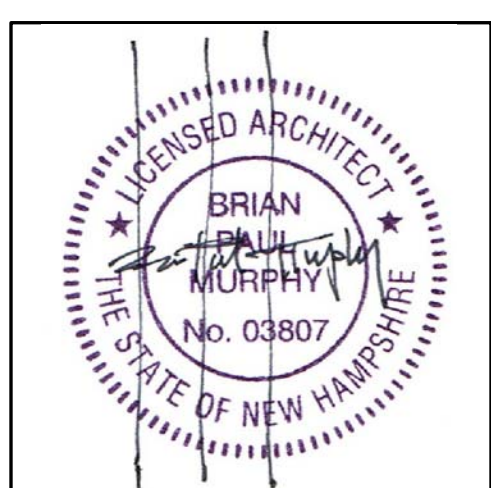
PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
REVIEWED BY:	BPM

A802

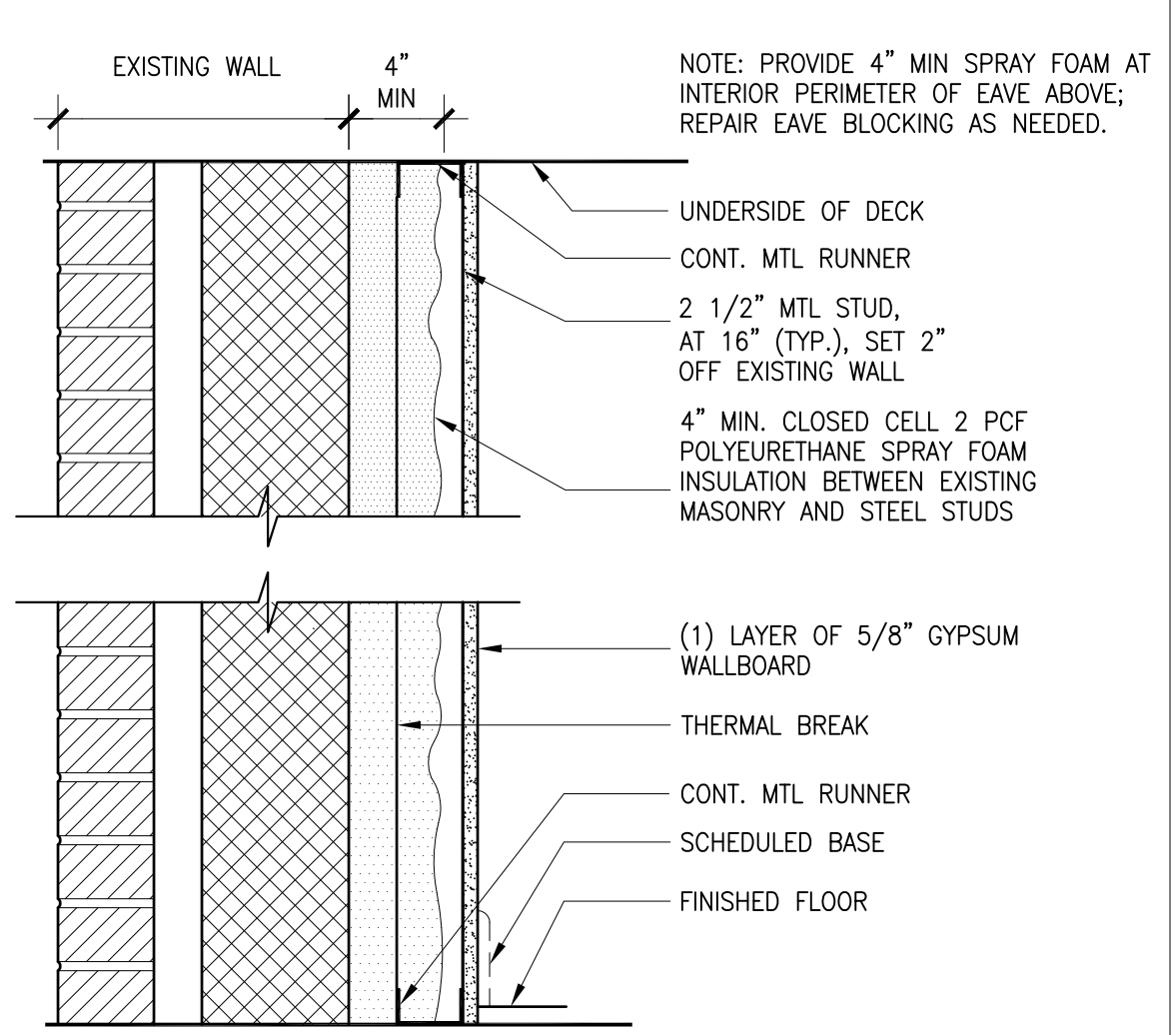
PROJECT PHASE:
ISSUED FOR BID

1 2 3 4 5 6 7 8 9 10 11 12

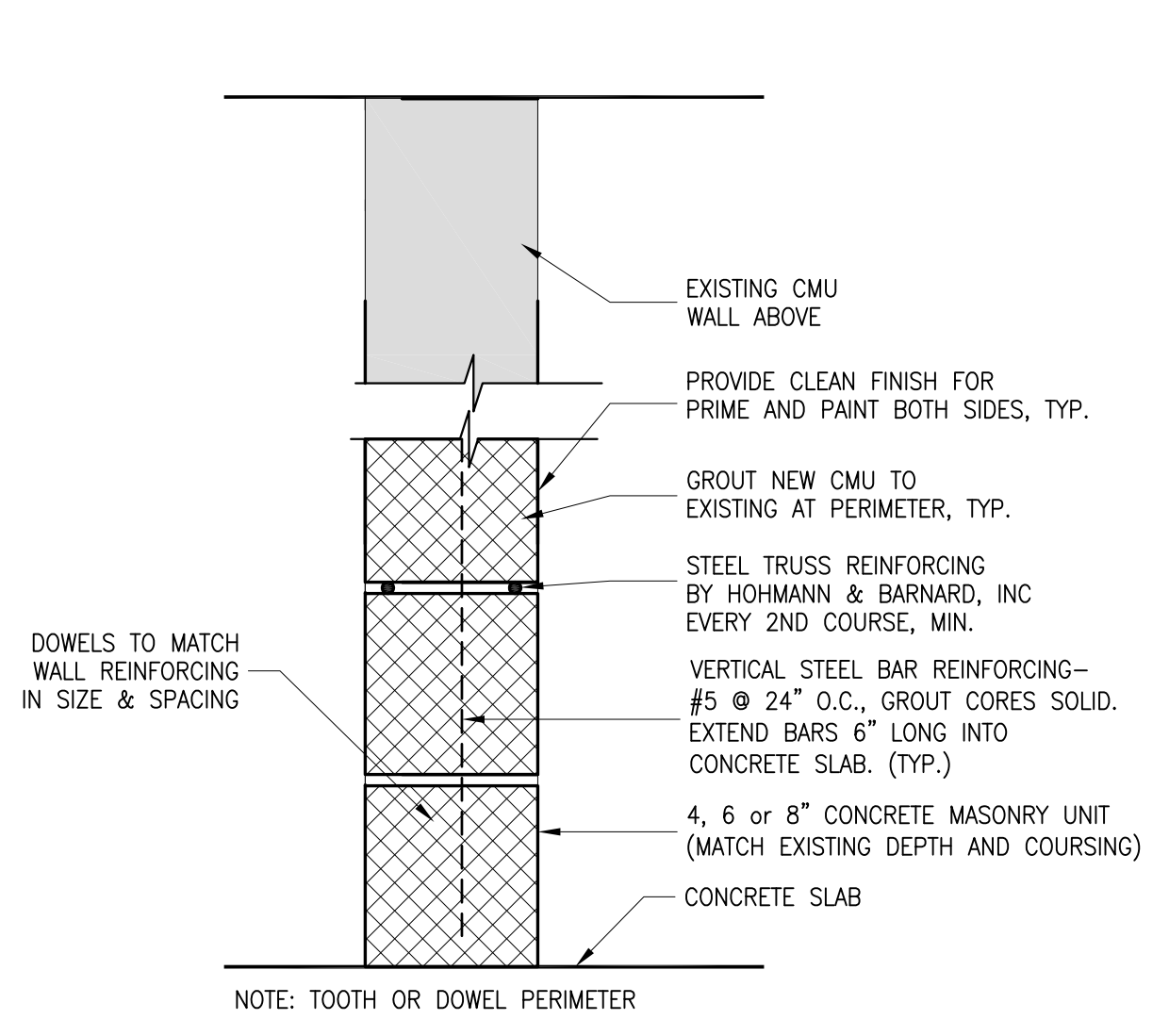
PARTITION TYPES



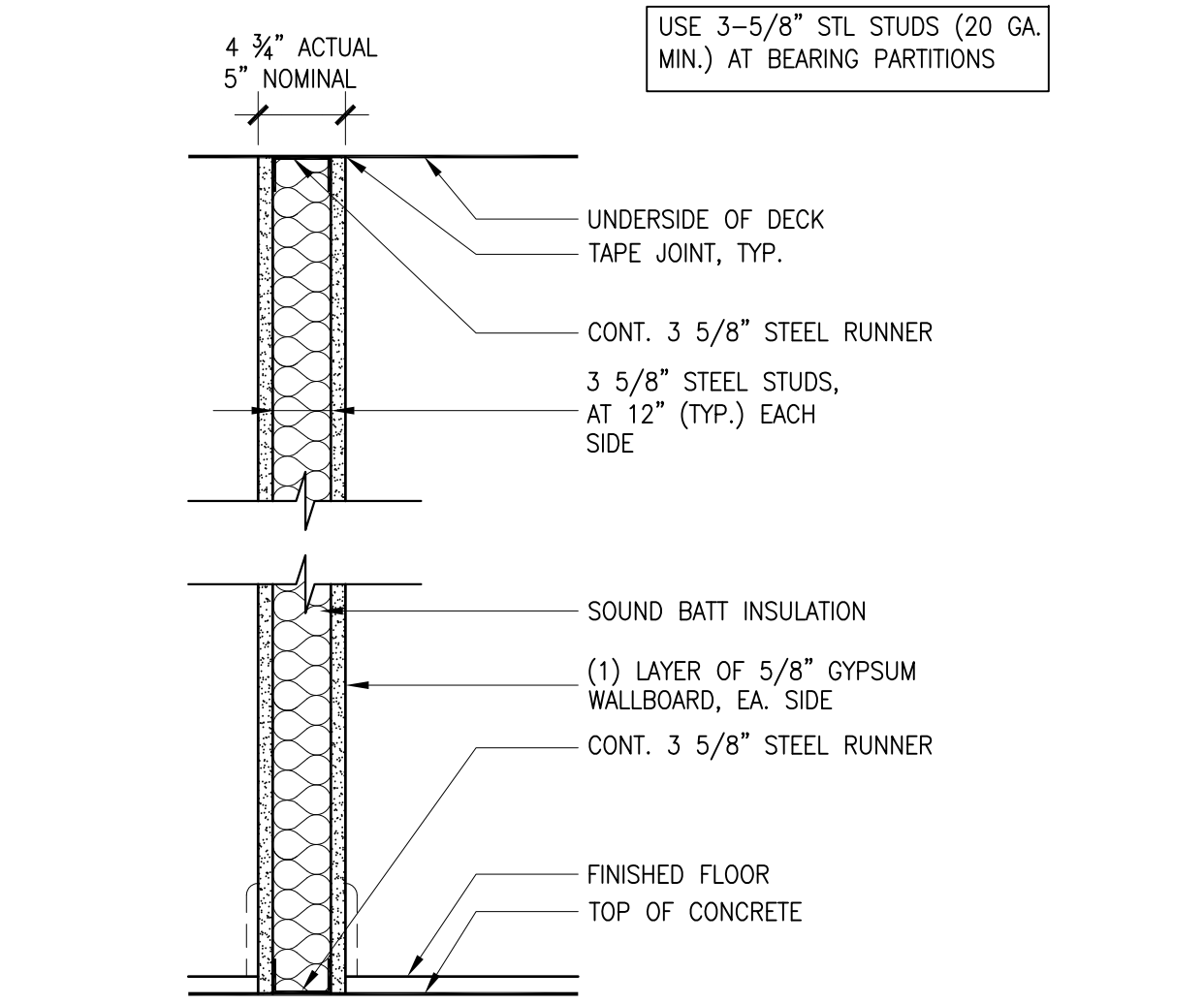
4A 4 **TILE CLAD PARTITION**
 TYPE 4: AS SHOWN
 TYPE 4A: FURRING, BACKER BOARD AND TILE, BOTH SIDES



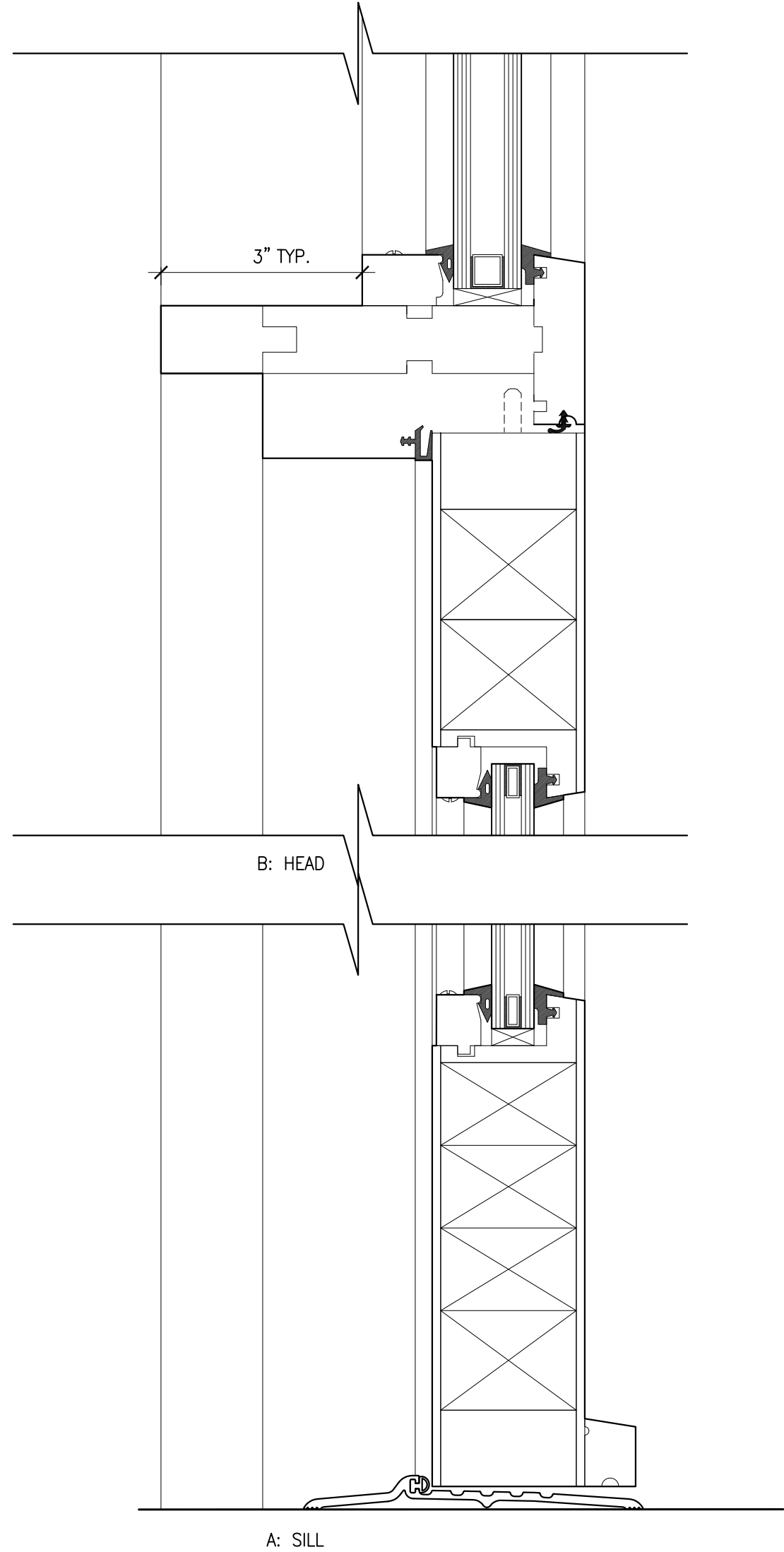
3A 3 **TYPICAL AT EXTERIOR WALL**
 TYPE 3: AS SHOWN
 TYPE 3A: USE (1) LAYER TILE BACKER BOARD IN LIEU OF GWB AT SHOWER SIDE



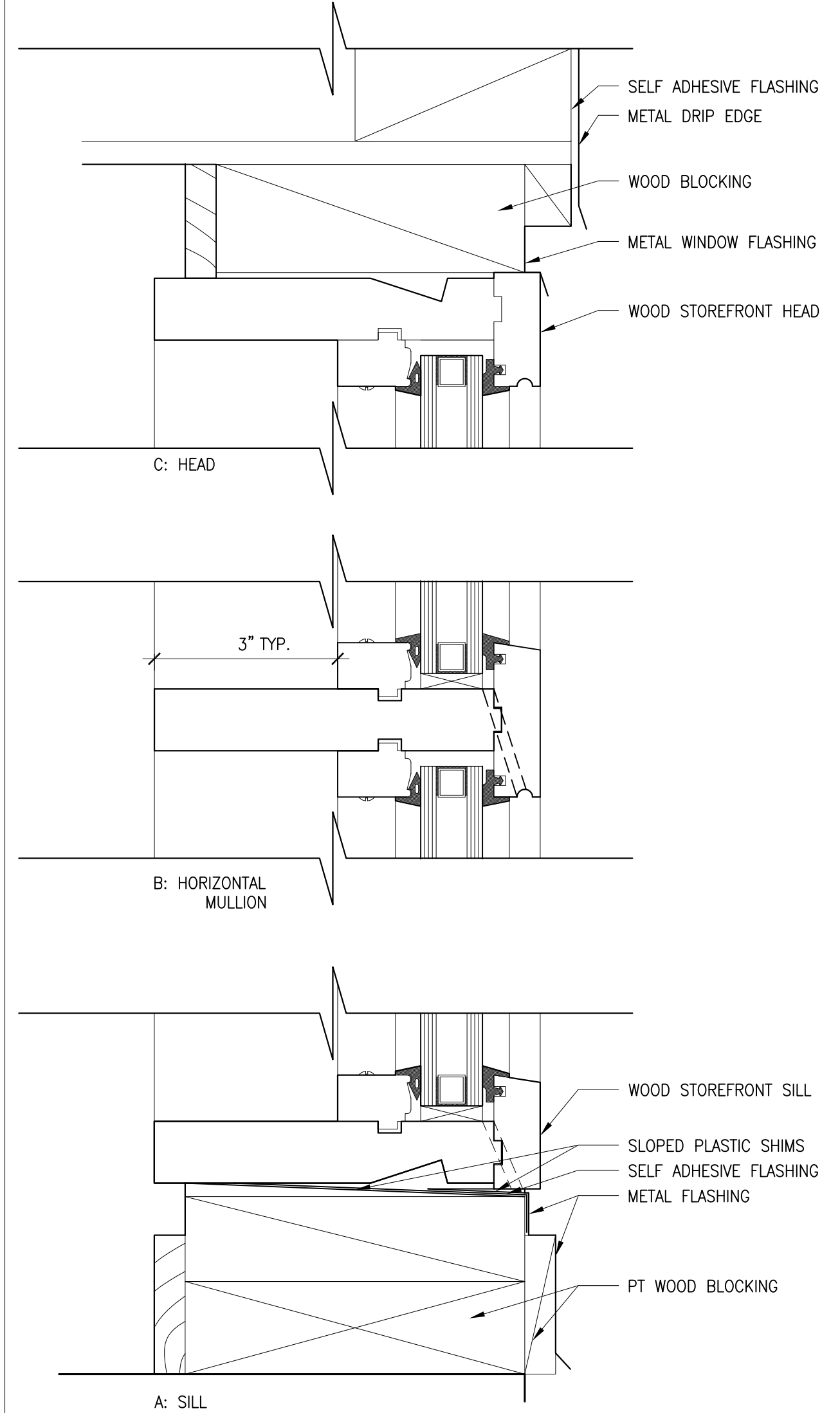
2 **C.M.U. INFILL PARTITION**
 TYPE 2: AS SHOWN



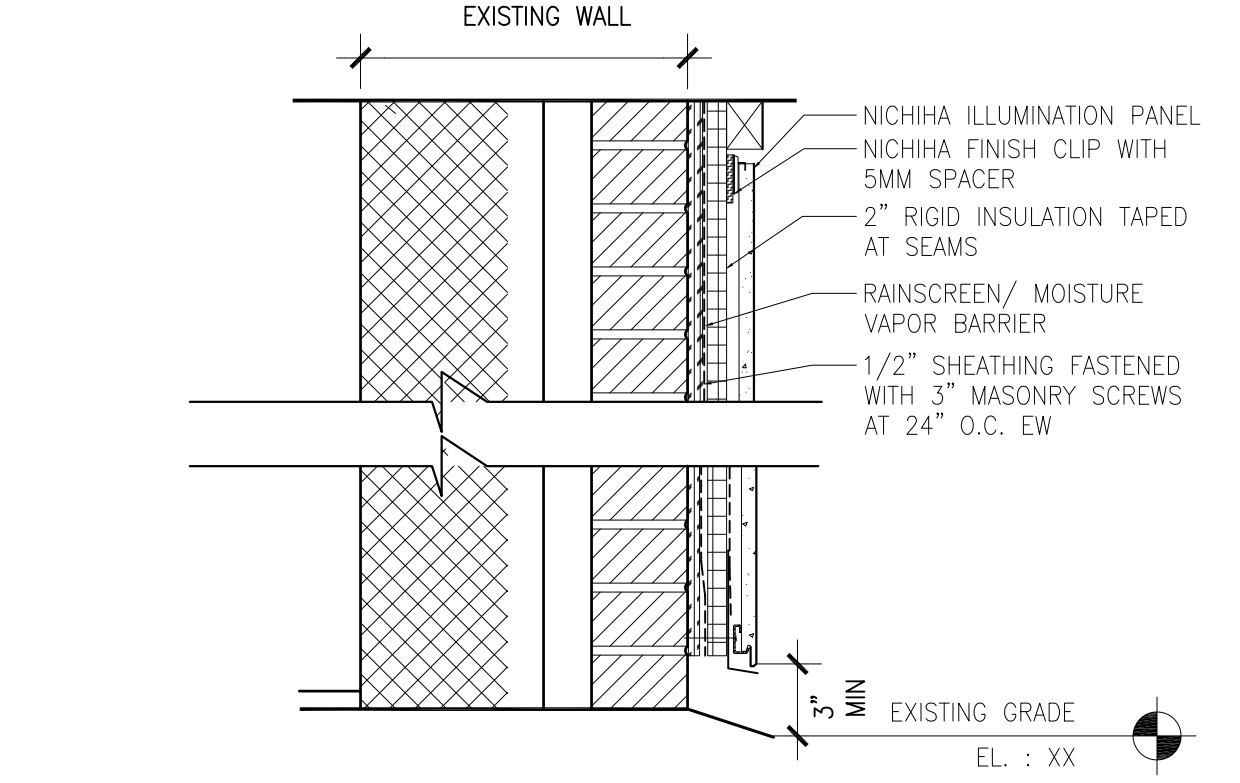
1B 1A 1 **INTERIOR PARTITION**
 TYPE 1: AS SHOWN
 TYPE 1A: USE (1) LA. M-R GWB IN LIEU OF GWB @BATH/KITCHEN SIDE
 TYPE 1B: USE (1) LA. BACKER BOARD IN LIEU OF GWB @BATH SIDE; ADJUST STUD DEPTH TO ACCOMMODATE SHOWER PLUMBING.



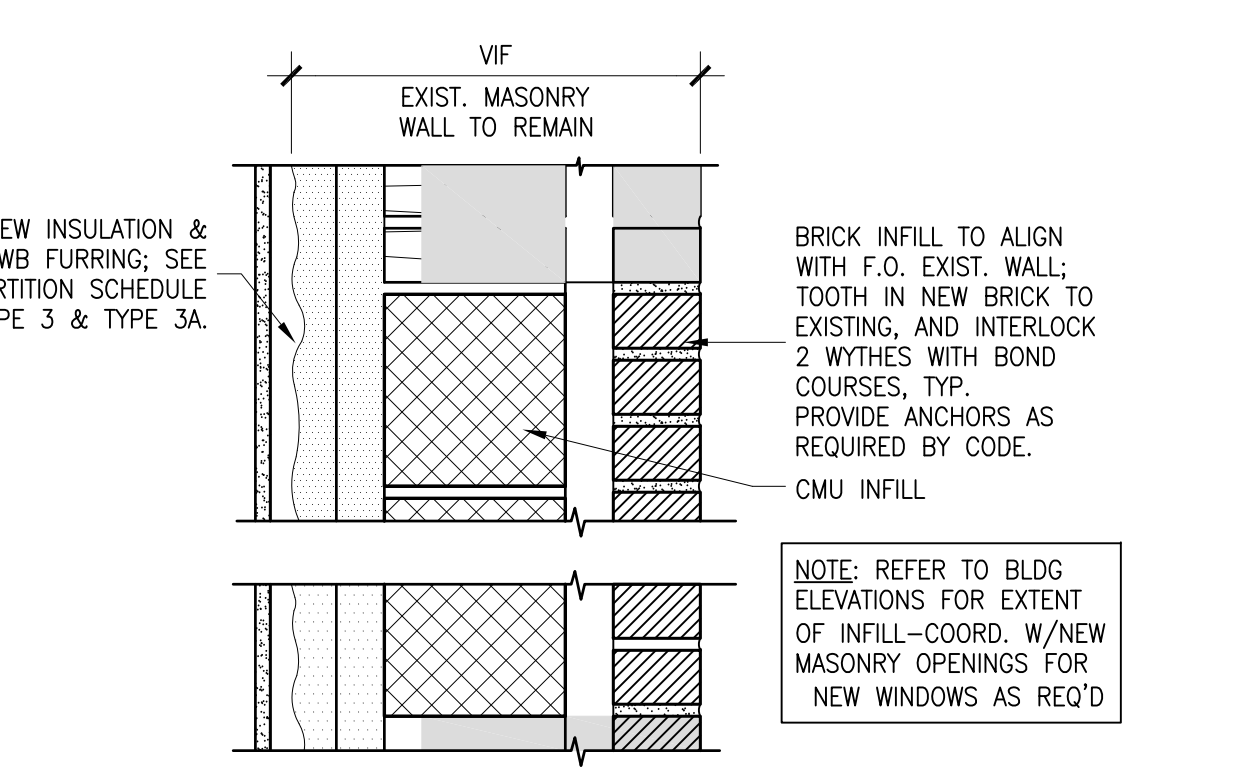
03 **EXTERIOR WOOD DOOR**
 6'-1'-0"



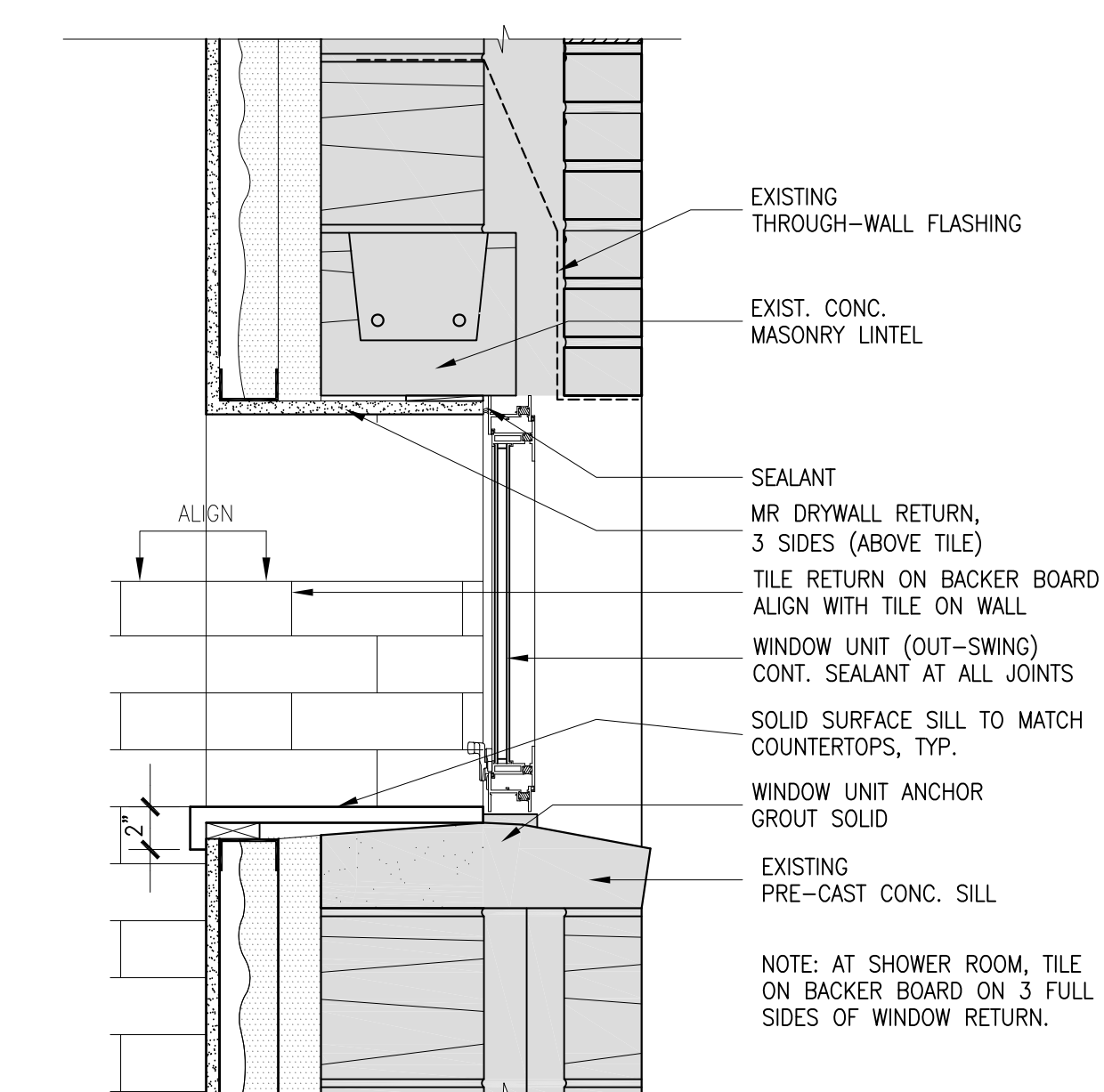
02 **WOOD STOREFRONT - SILL**
 6'-1'-0"



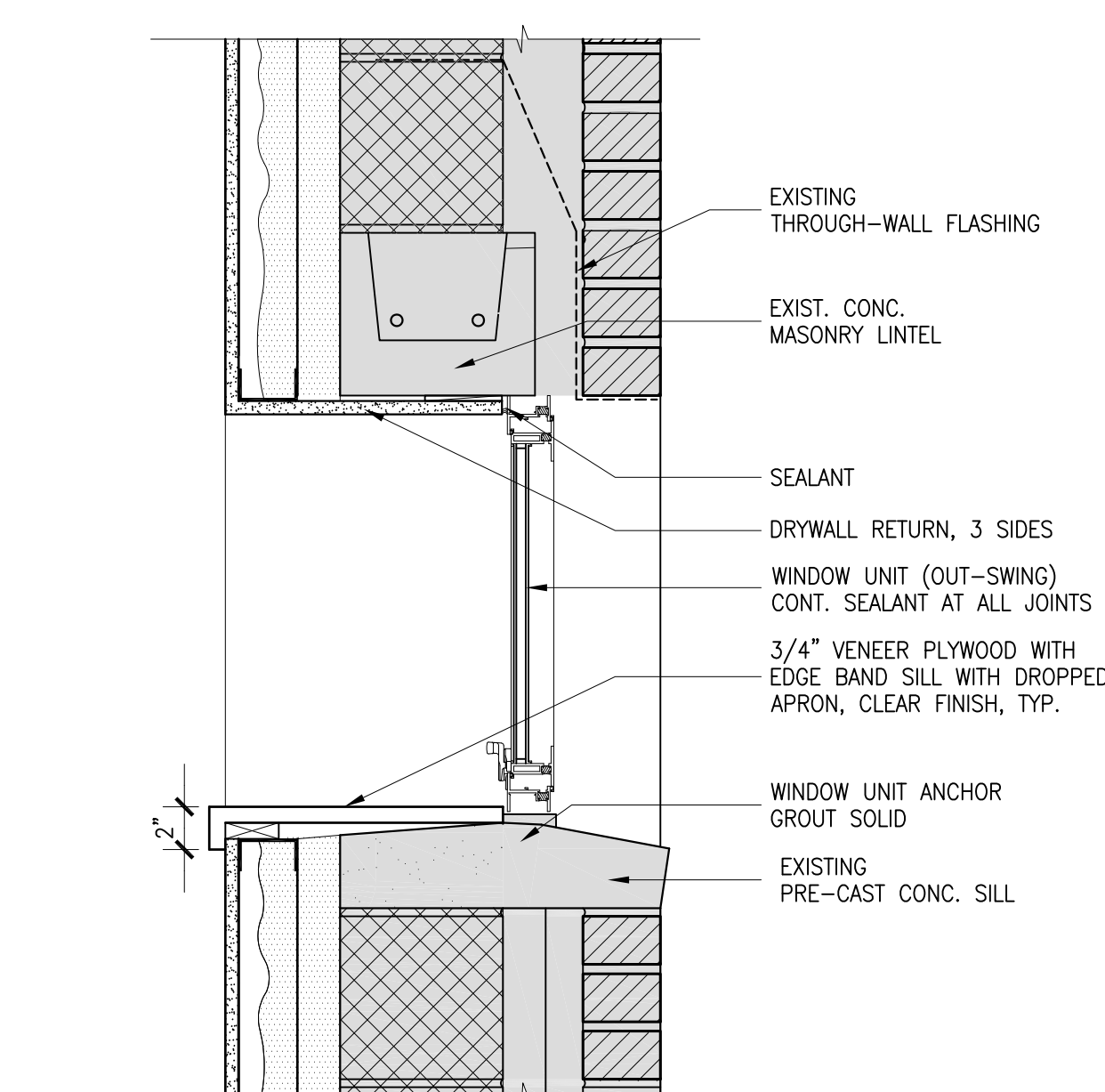
05 **WALL SECTION**
 1 1/2"=1'-0"



04 **SECTION AT M.O. INFILL, TYP.**
 1 1/2"=1'-0"



01A **REPLACEMENT WINDOW DETAIL @ BATHROOM**
 SCALE: 1 1/2"= 1'-0"



01 **REPLACEMENT WINDOW DETAIL**
 SCALE: 1 1/2"= 1'-0"

CITY OF PORTSMOUTH
 1 JUNKINS AVE.
PORTSMOUTH SENIOR ACTIVITY CENTER
 128 COTTAGE ST.
 PORTSMOUTH, NH

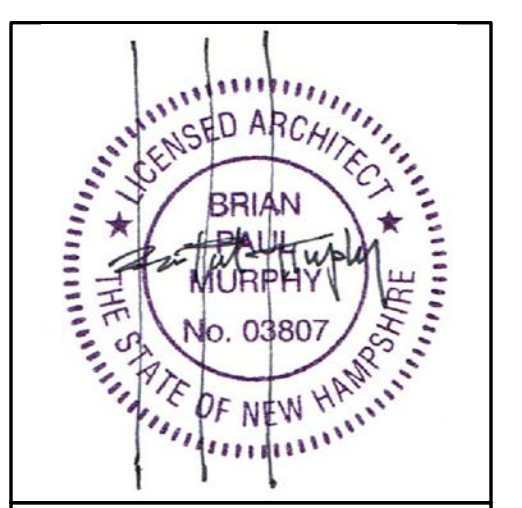
REVISIONS		
No.	DESCRIPTION	DATE
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PARTITION TYPES & DETAILS

PROJECT NO.: 17002
 DATE ISSUED: 02/23/2018
 SCALE:
 DRAWN BY: ECC
 REVIEWED BY: BPM

A803

PROJECT PHASE:
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CITY OF PORTSMOUTH
 1 JUNKINS AVE.

**PORTSMOUTH
 SENIOR ACTIVITY
 CENTER**

128 COTTAGE ST.
 PORTSMOUTH, NH

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FINISH PLAN & SCHEDULE

PROJECT NO.:	17002
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	ECC
REVIEWED BY:	BPM

A901

PROJECT PHASE:
ISSUED FOR BID

FINISH SCHEDULE

RM #	LOCATION	FLOOR	BASE	N WALL	E WALL	S WALL	W WALL	CEILING	REMARKS
C00	CORRIDOR C00	FL-7	RB-1	P-1	P-1	P-1	P-1	C-2, P-3 ABOVE	SEE NOTE 3/A301
C01	CORRIDOR C01	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	P-1	P-1	C-2, P-3 ABOVE	SEE NOTE 3/A301
C02	CORRIDOR C02	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	P-1	P-1	C-2, P-3 ABOVE	SEE NOTE 3/A301
100	ENTRY	FL-7	RB-1	P-1	P-1	P-1	P-1	C-1	
101A	ACTIVITY ROOM A	FL-1, FL-2, FL-3, FL-4	RB-1	-	P-1	P-1	P-1/FELT	C-3, P-3 ABOVE	SEE NOTE 3/A301; SEE 06/A702 FOR EXTEN
101B	ACTIVITY ROOM B	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	-	P-1	C-3, P-3 ABOVE	SEE NOTE 3/A301
102	RECEPTION DESK	FL-1, FL-2, FL-3, FL-4	RB-1	P-1/FELT	P-1	P-1	P-1	C-3, P-3 ABOVE	SEE NOTE 3/A301; SEE 02/A701 FOR EXTEN
102A	STORAGE AREA	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	P-1	P-1	C-3, P-3 ABOVE	SEE NOTE 3/A301
103	LOUNGE	FL-6	RB-1	P-2	P-2	P-2	P-4, CT-1, FELT	C-2, P-3 ABOVE	SEE NOTE 3/A301; SEE 02/A702 FOR EXTEN
104	DIRECTOR'S OFFICE	FL-5	RB-1	P-2	P-2	P-2	P-2	C-3, P-3 ABOVE	SEE NOTE 3/A301
105	MEN'S RESTROOM	FL-1, FL-2, FL-3, FL-4	RB-1, TB-1	P-1	P-1, CT-2	P-1	CT-2	C-1	
106	PRIVACY ROOM	FL-6	RB-1, TB-1	P-2	P-2	P-2	P-2	C-3, P-3 ABOVE	SEE NOTE 3/A301
107	WOMEN'S ROOM	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1, CT-2	P-1	P-1	C-1	
108	STORAGE ROOM	FL-6	RB-1	P-2	P-2	P-2	P-2	C-1	
109	CLASSROOM	FL-6	RB-1	P-2	P-2	P-2	P-2	C-1	
110	BOILER ROOM	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
111	ACTIVITY ROOM C	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	P-1	P-1	C-3, P-3 ABOVE	SEE NOTE 3/A301
112	ELEC. ROOM	FL-3	RB-1	P-1	P-1	P-1	P-1	EXISTING, P-3	
113	SHOWER ROOM A	FL-8	TB-1	CT-2	CT-2	CT-2	CT-2	C-1	
114	SHOWER ROOM B	FL-8	TB-1	CT-2	CT-2	CT-2	CT-2	C-1	
115	SHOWER ROOM C	FL-8	TB-1	CT-2	CT-2	CT-2	CT-2	C-1	
116	SHOWER ROOM D	FL-8	TB-1	CT-2	CT-2	CT-2	CT-2	C-1	
117	RESTROOM	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	P-1	CT-2	C-1	
118	FAMILY RESTROOM	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	P-1	CT-2	C-1	
119	KITCHEN STORAGE	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	P-1	P-1	EXISTING, P-3	
120	KITCHEN	N/A	N/A	P-1	P-1	P-1	P-1	EXISTING, P-3	
121	ASSEMBLY AREA	FL-1, FL-2, FL-3, FL-4	RB-1	P-1	P-1	P-1	P-1	N/A	

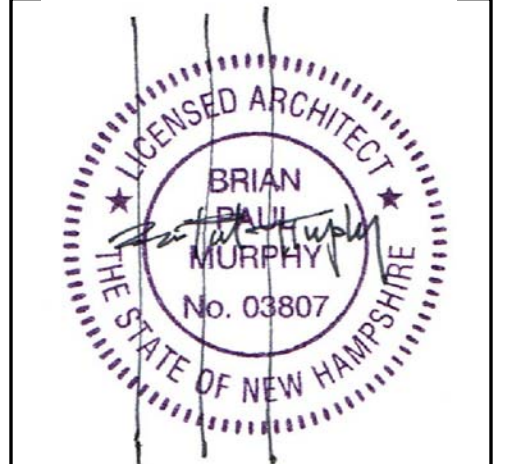
FINISH KEY

FINISH	DESCRIPTION	MANUFACTURER	MODEL/STYLE #	COLOR/ FINISH	NOTES
FLOOR					
FL-1	MARMOLEUM	FORBO	CONCRETE	MOON	
FL-2	MARMOLEUM	FORBO	FRESCO	NATURAL CORN	
FL-3	MARMOLEUM	FORBO	FRESCO	GOLDEN SAFFRON	
FL-4	MARMOLEUM	FORBO	FRESCO	AFRICAN DESERT	
FL-4A	MARMOLEUM	FORBO	FRESCO	RED COPPER	
FL-5	FLOTEX	FORBO	PINSTRIP	OXFORD CIRCUS	ASHLAR PATTERN, COORD. W/ ARCH
FL-6	FLOTEX	FORBO	PINSTRIP	COVENT GARDEN	ASHLAR PATTERN, COORD. W/ ARCH
FL-7	CORAL	FORBO	DUO	BLACK DIAMOND	
FL-8	FLOOR TILE	DALTILE	FABRIQUE	GRIS LINEN P690	2X2 MOSAIC
BASE					
TB-1	TILE BASE	DALTILE	MODERN DIMENSIONS	ARCTIC WHITE MATTE, 0790	BULLNOSE, AS SPEC'D
RB-1	RUBBER BASE	JOHNSONITE	TRADITIONAL	36 MANATEE	
CEILING					
C-1	GWB				PAINT P-3, TYP.
C-2	WD	HUNTER DOUGLAS	NATURA NEO-LINEAR	WARM MAPLE 9002	EDGE TRIM, AS SPECIFIED
C-3	ACT	ARMSTRONG	ULTIMA		EDGE TRIM, AS SPECIFIED
PAINT					
P-1	PAINT	SHERWIN WILLIAMS	TYP. 3-COAT, AS SPEC'D	GREEK VILLA, SW 7551	WALL & HM FRAMES
P-2	PAINT	SHERWIN WILLIAMS	TYP. 3-COAT, AS SPEC'D	POPULAR GRAY, SW 6071	WALL & HM FRAMES
P-3	PAINT	SHERWIN WILLIAMS	TYP. 3-COAT, AS SPEC'D	CEILING BRIGHT WHITE #7007	CEILING, EXPOSED DUCTWORK AND STRUCTURE
P-4	PAINT	SHERWIN WILLIAMS	TYP. 3-COAT, AS SPEC'D	RESTRAINED GOLD, SW 6129	ACCENT WALLS
CERAMIC TILE					
CT-1	WALL TILE	PORCELANOSA	RUGONE	ALUMINIO PV	
CT-2	WALL TILE	DALTILE	MODERN DIMENSIONS	ARCTIC WHITE MATTE	4 1/4X12 3/4 FIELD TILE
COUNTER TOP					
	COUNTER TOP	CAESARSTONE		COSMOPOLITAN WHITE 5130	

- FL-1
- FL-2
- FL-3
- FL-4
- FL-4A
- FL-5
- FL-6
- FL-7
- FL-8



01 FINISH PLAN
 NOT TO SCALE



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PORTSMOUTH SENIOR ACTIVITY CENTER

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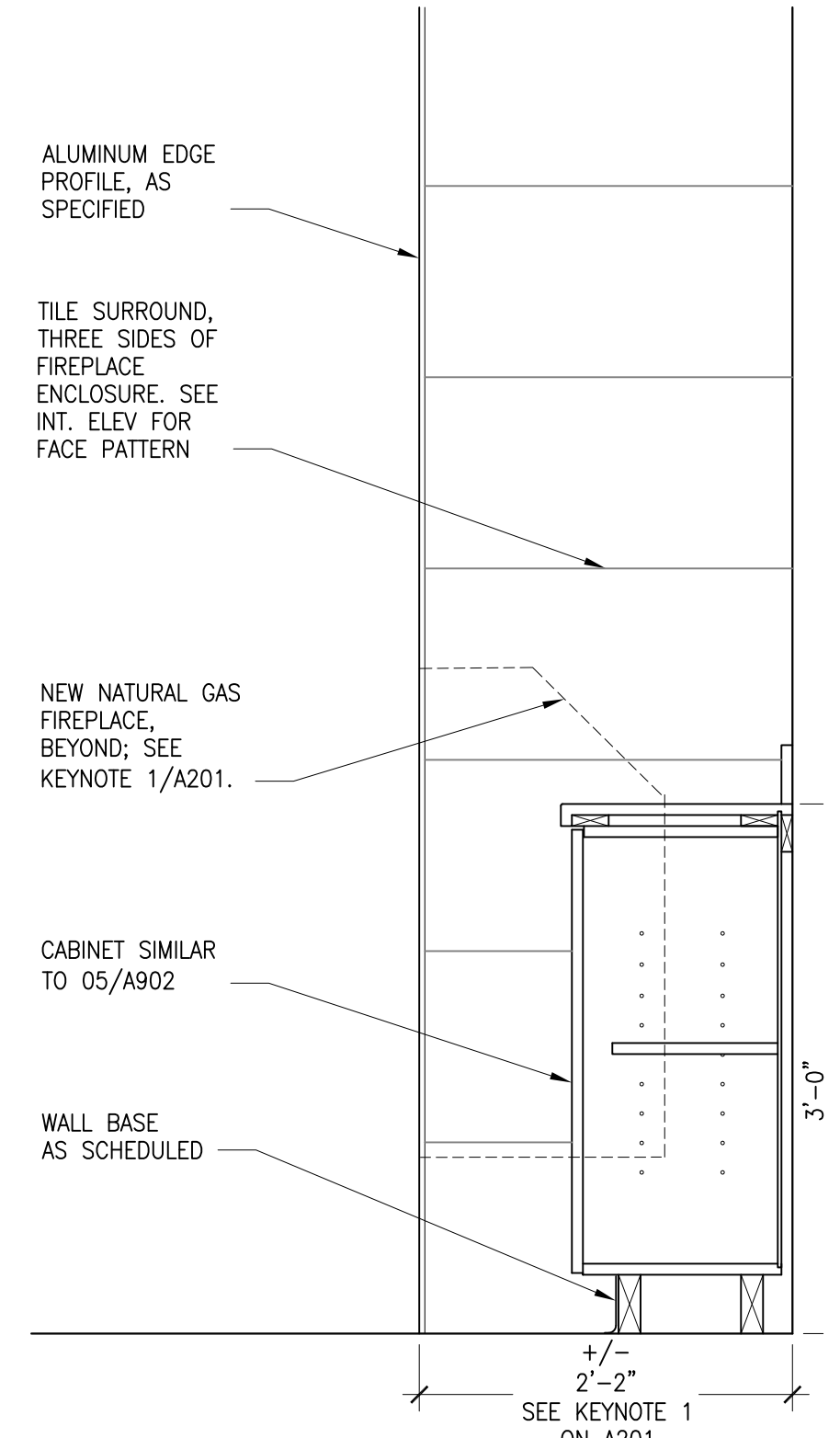
INTERIOR DETAILS

PROJECT NO.:	17002
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DRAWN BY:	ECC
REVIEWED BY:	BPM

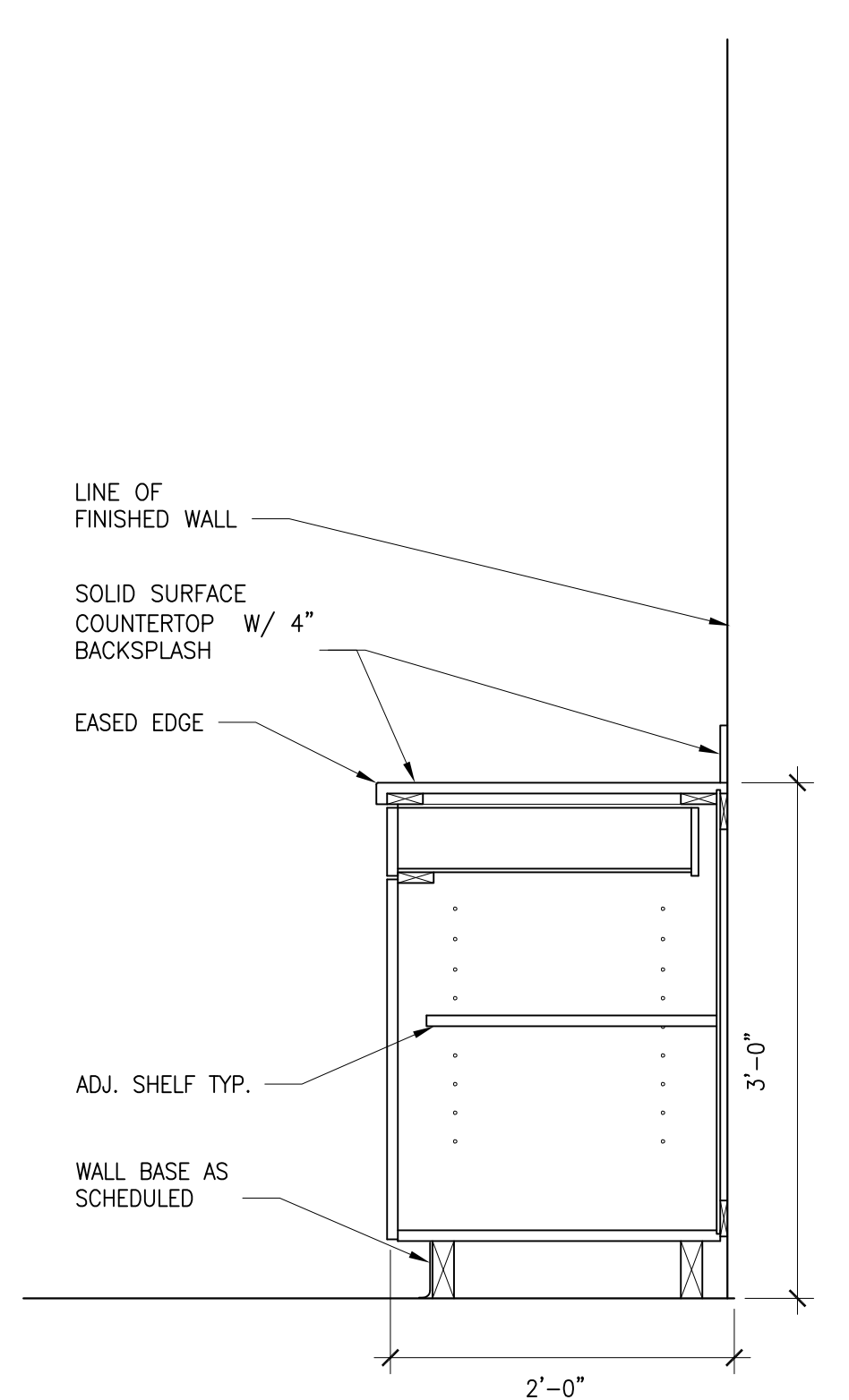
A902

PROJECT PHASE:
ISSUED FOR BID

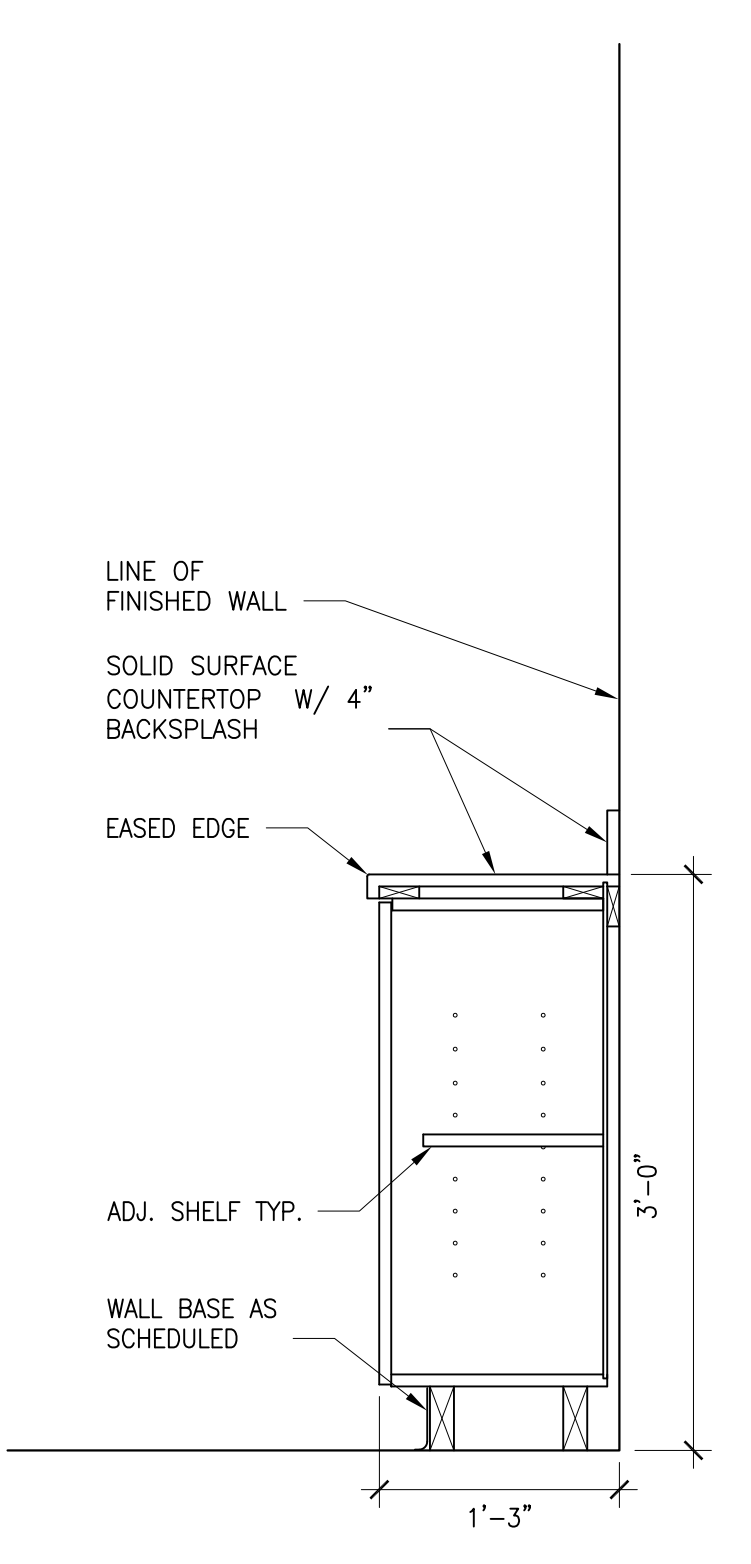
A
B
C
D
E
F
G
H
I
J



03 MW STORAGE AT ACTIVITY ROOM & LOUNGE
 SCALE 1" = 1'-0"

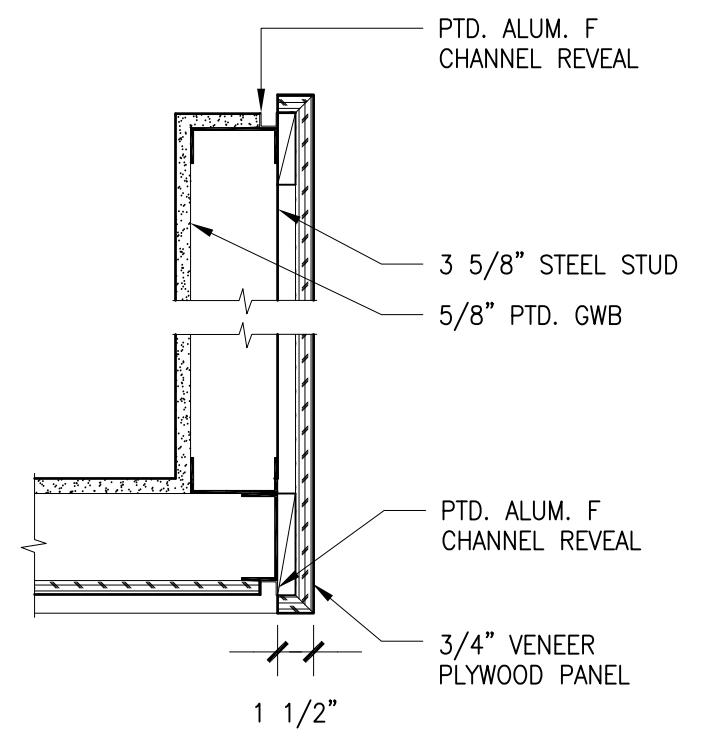


04 MILLWORK DETAIL AT KITCHENETTE
 SCALE 1" = 1'-0"

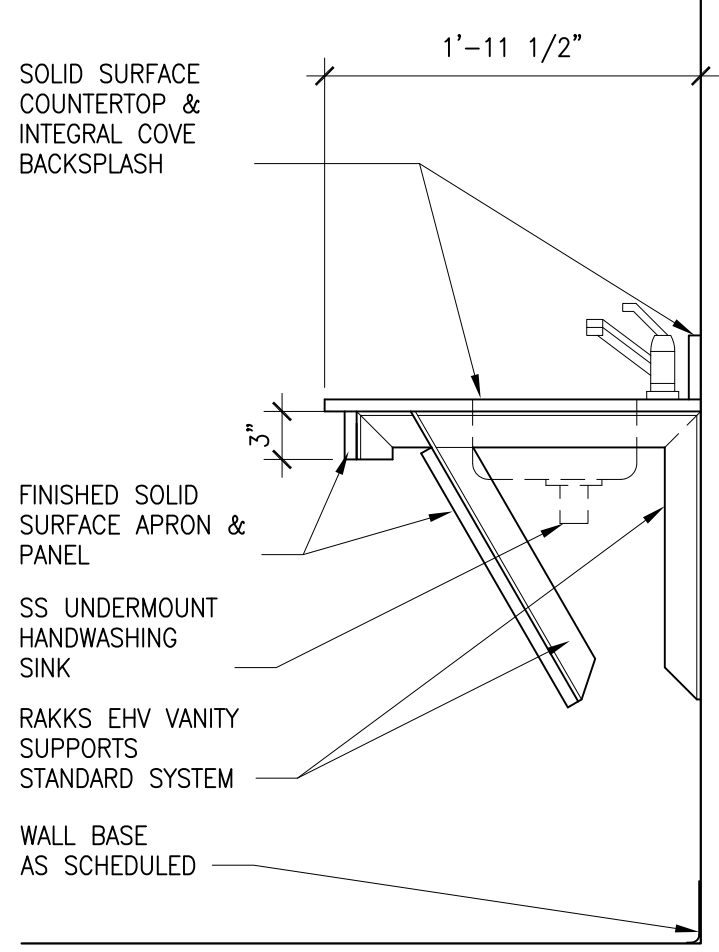


05 MILLWORK STORAGE
 SCALE 1" = 1'-0"

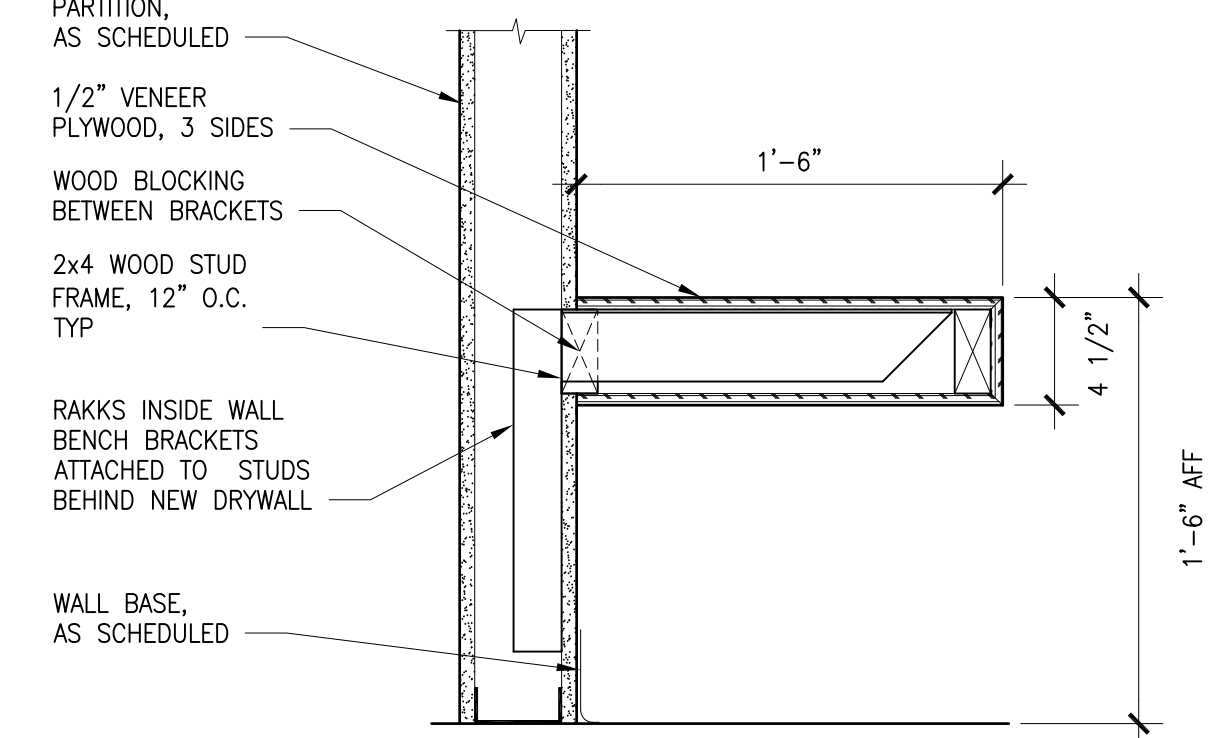
NOTE: PROVIDE LOCKING MECHANISM AT CABINET DOUBLE DOORS AS REQUIRED; FINAL LOCATIONS TO BE CONFIRMED BY OWNER IN SHOP DRAWINGS.



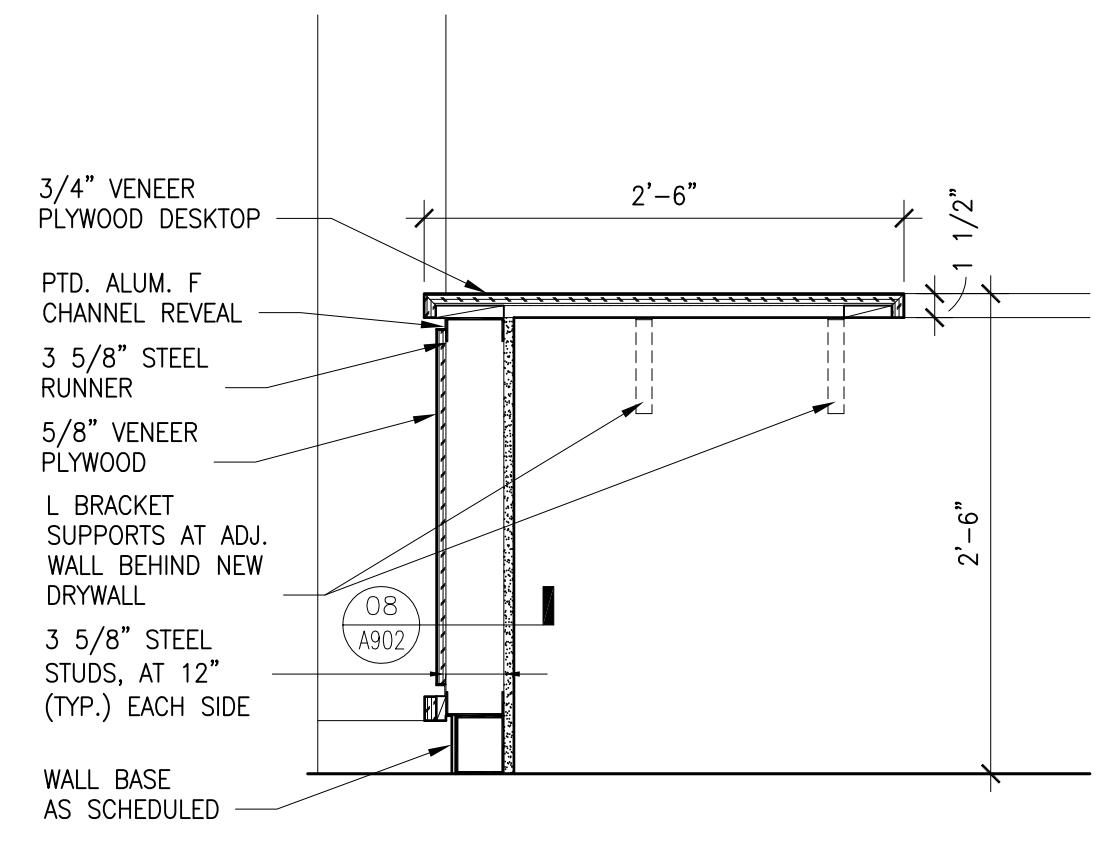
08 RECEPTION DESK DTL
 SCALE 1 1/2" = 1'-0"



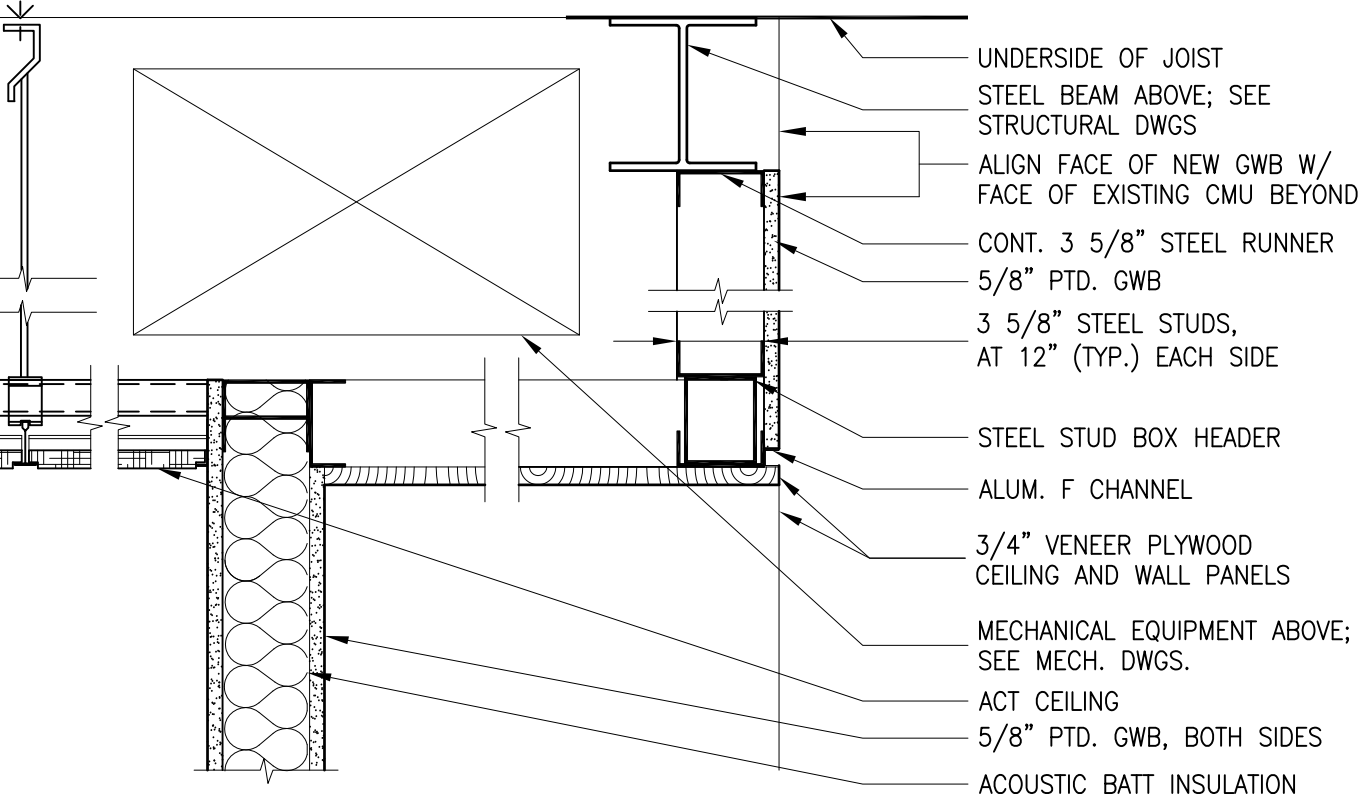
06 VANITY AT BATHROOM
 SCALE 1" = 1'-0"



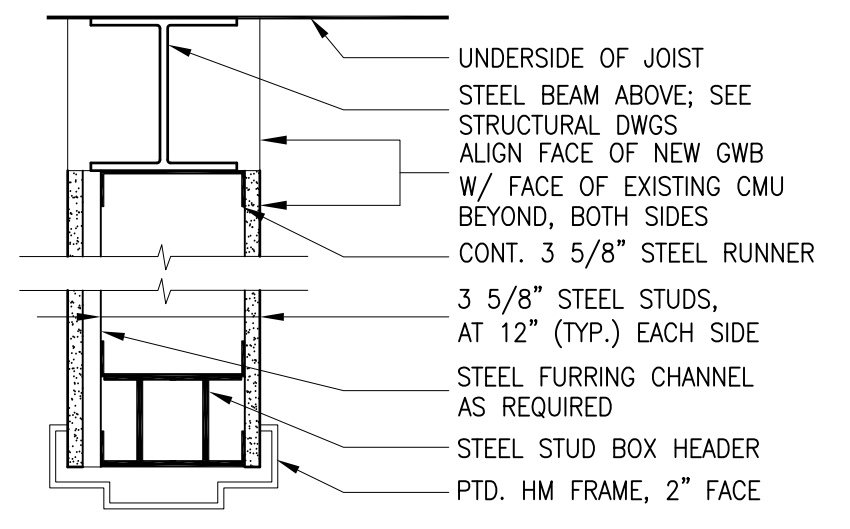
09 FLOATING BENCH DTL
 SCALE 1 1/2" = 1'-0"



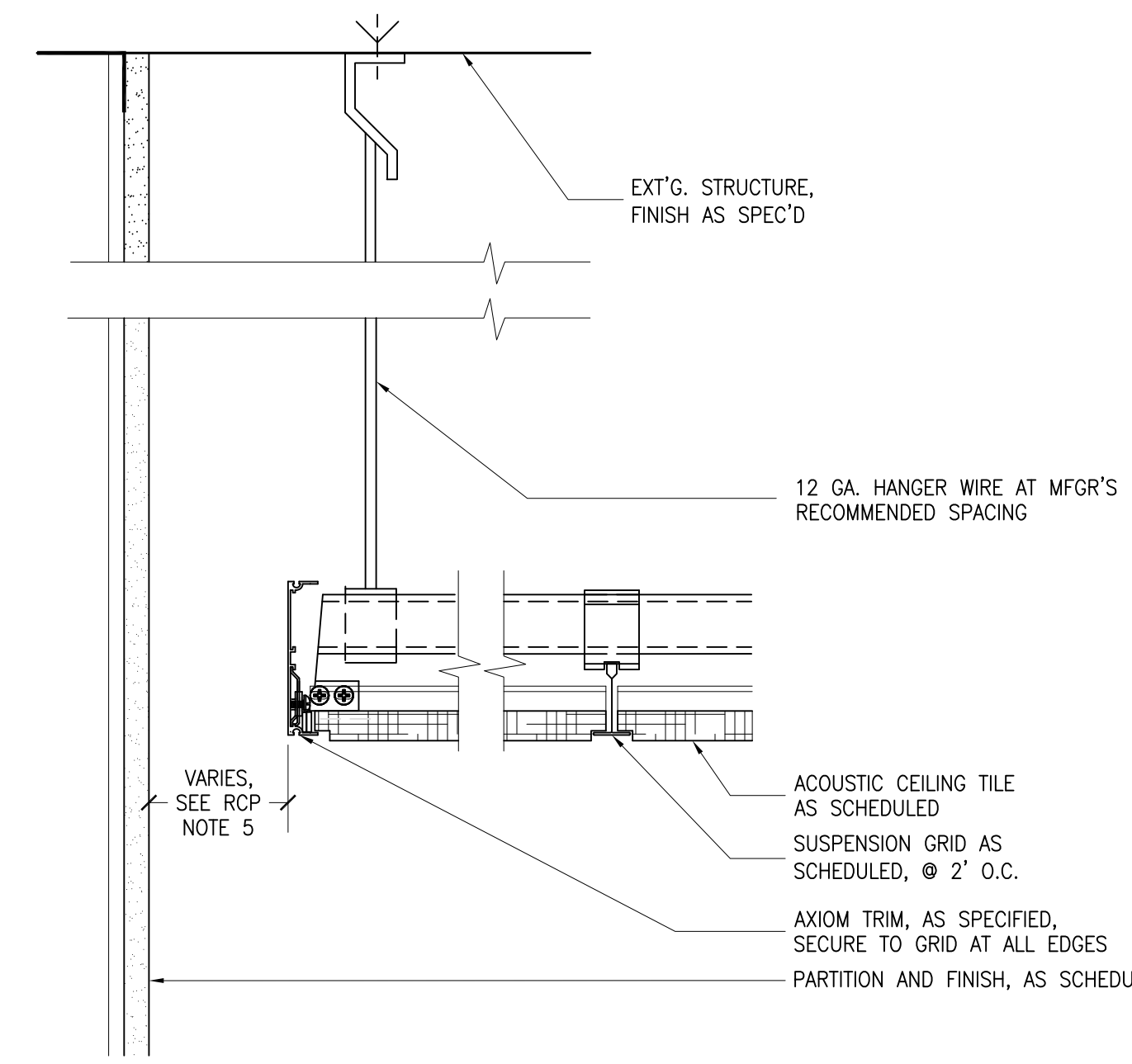
07 RECEPTION DESK
 SCALE 1" = 1'-0"



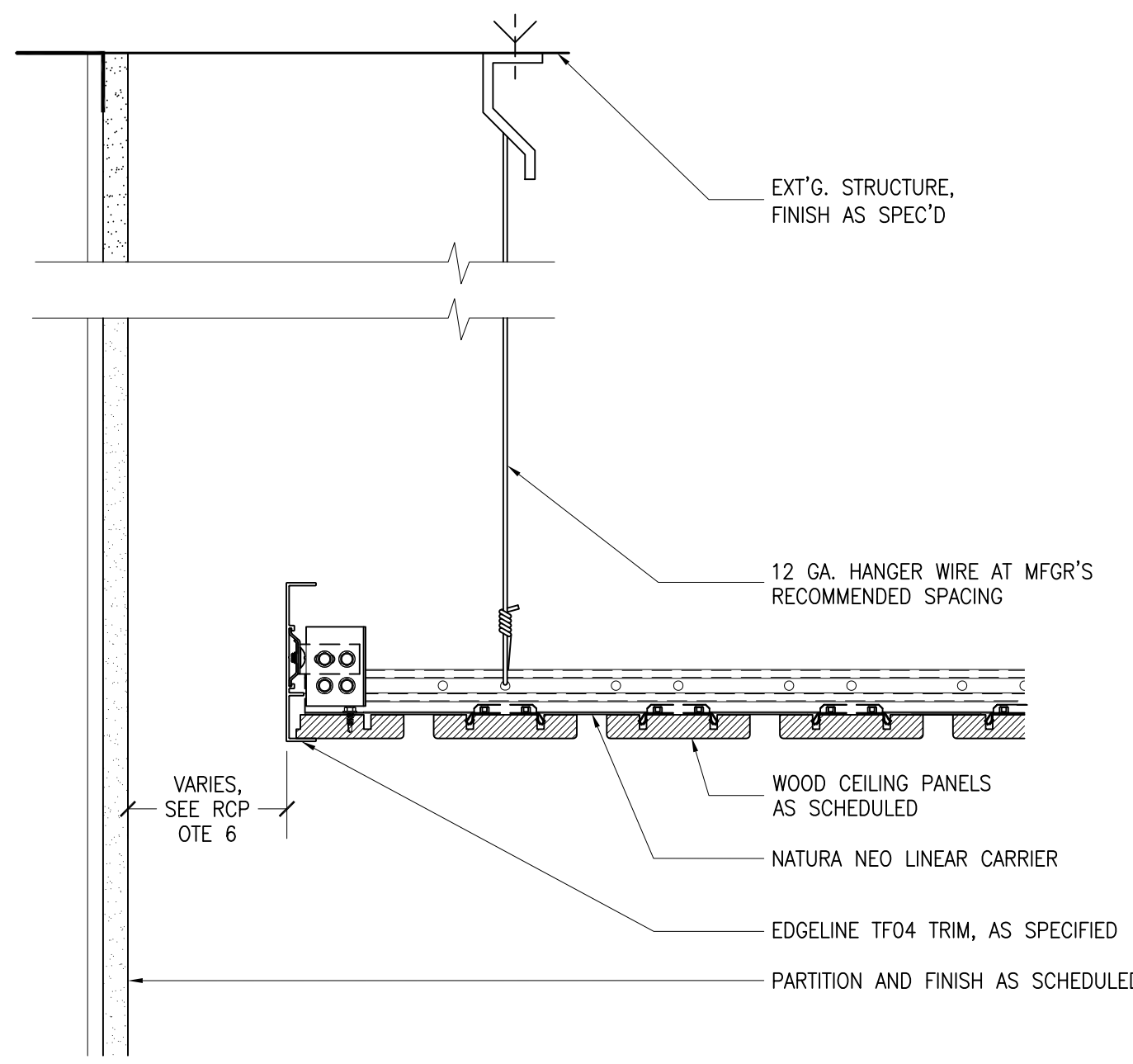
02B DETAIL AT CORRIDOR WALL OPENING
 SCALE: 1 1/2" = 1'-0"



02A DETAIL AT CORRIDOR WALL OPENING, TYP
 SCALE: 1 1/2" = 1'-0"



01 ACOUSTIC TILE CEILING DETAIL, TYP.
 SCALE: 3" = 1'-0"



01A SUSPENDED WOOD CEILING DETAIL, TYP.
 SCALE: 3" = 1'-0"

1 2 3 4 5 6 7 8 9 10 11 12

GENERAL NOTES

1. THE FOLLOWING NOTES ARE INTENDED TO BE USED AS OUTLINED STRUCTURAL SPECIFICATIONS FOR THIS PROJECT. THE REFERENCED STANDARDS ARE CONSIDERED TO BE PART OF THE WORK.
2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH PROJECT SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.
3. ALL DIMENSIONS, EXISTING CONDITIONS, AND AS-BUILT CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
4. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE S- DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
5. SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE STRUCTURAL ENGINEER. THE STRUCTURAL ENGINEER RESERVES THE RIGHT TO INTERPRET DETAILS TO ADDRESS OTHER PROJECT CONDITIONS.
6. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
7. IN ACCORDANCE WITH THE NEW HAMPSHIRE BUILDING CODE/INTERNATIONAL BUILDING CODE (2009 EDITION, SECTION 1704.1), A STATEMENT OF SPECIAL INSPECTIONS IS REQUIRED AS A CONDITION FOR PERMIT ISSUANCE BY THE LOCAL CODE OFFICIAL. THIS STATEMENT SHALL INCLUDE A COMPLETE LIST OF MATERIALS AND WORK REQUIRING SPECIAL INSPECTIONS, THE INSPECTIONS TO BE PERFORMED AND A LIST OF THE INDIVIDUALS, APPROVED AGENCIES AND FIRMS INTENDED TO BE RETAINED FOR CONDUCTING SUCH INSPECTIONS.

SUBMITTALS

1. THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF THE WORK, INCLUDING DESCRIPTION OF SHORING, AND CONSTRUCTION METHODS AND SEQUENCING WHERE APPLICABLE. NO PERFORMANCE OF THE WORK INCLUDING, BUT NOT LIMITED TO, SHORING AND DEMOLITION OF EXISTING STRUCTURE, OR FABRICATION OR ERECTION OF NEW STRUCTURAL ELEMENTS, SHALL COMMENCE WITHOUT REVIEW OF THE SHOP DRAWINGS BY THE ARCHITECT OR CONSTRUCTION MANAGER AND ENGINEER. CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR REVIEW.
2. REQUIRED SUBMITTALS SHALL INCLUDE:
CONCRETE MIX DESIGN
CONCRETE REINFORCING INCLUDING BAR SUPPORTS
STRUCTURAL STEEL FRAMING FABRICATION DRAWINGS
STRUCTURAL STEEL CONNECTION DESIGN
GLULAM FRAMING FABRICATION DRAWINGS, INCLUDING CONNECTIONS.

TESTING

1. OWNER WILL ENGAGE A QUALIFIED TESTING AGENCY TO CONDUCT PERIODIC TESTS TO CONFIRM CONSTRUCTION IS IN CONFORMANCE WITH SPECIFIED PROCEDURES AND SPECIFICATIONS.
2. TESTING SHALL INCLUDE
STRUCTURAL FILL GRADATION AND COMPACTION
CONCRETE SLUMP, TEMPERATURE, AIR CONTENT AT POINT OF PLACEMENT
CONCRETE COMPRESSION TESTS
STRUCTURAL STEEL FIELD BOLTED CONNECTIONS
STRUCTURAL STEEL FIELD WELDED CONNECTION
3. TEST RESULTS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW WITHIN 72 HOURS OF COMPLETION OF EACH TEST.

DESIGN LOADS

1. BUILDING CODE:
NEW HAMPSHIRE STATE BUILDING CODE
INTERNATIONAL BUILDING CODE, 2009 EDITION
INTERNATIONAL EXISTING BUILDING CODE, 2009 EDITION
ASCE 7-05 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
2. DESIGN FLOOR LIVE LOADS:
CORRIDOR FIRST FLOOR: 100 PSF
OFFICES: 50PSF
3. DESIGN ROOF SNOW LOAD:
GROUND SNOW LOAD (Pg): 50 PSF
SNOW EXPOSURE FACTOR (Ce): 1.0
SNOW LOAD IMPORTANCE FACTOR (Is): 1.0
SNOW LOAD THERMAL FACTOR (Ct): 1.1 (1.2 AT CANOPY)
FLAT ROOF SNOW LOAD (Pf): 42 PSF + DRIFT
4. DESIGN WIND LOAD:
BASIC WIND SPEED: 100 MPH
WIND LOAD IMPORTANCE FACTOR (Iw): 1.0
WIND EXPOSURE: B
INTERNAL PRESSURE COEFFICIENT: ±0.18
COMPONENTS & CLADDING PER ASCE 7-05
5. DESIGN SEISMIC LOADS:
EQUIVALENT LATERAL FORCE PROCEDURE
SEISMIC OCCUPANCY CATEGORY: II
SEISMIC IMPORTANCE FACTOR (Ie): 1.0
MAPPED SPECTRAL RESPONSE ACCELERATIONS:
Ss: 0.357
S1: 0.076
SEISMIC SITE CLASS: D (UNKNOWN)
SPECTRAL RESPONSE COEFFICIENTS:
Sds: 0.360
Sd1: 0.126
SEISMIC DESIGN CATEGORY: C
BASIC SEISMIC FORCE RESISTING SYSTEM:
VESTIBULE: STEEL SYSTEMS NOT SPECIFICALLY DETAILED FOR SEISMIC RESISTANCE.
CANOPY: CANTILEVERED COLUMNS SYSTEM DETAILED TO CONFORM TO THE REQUIREMENTS FOR TIMBER FRAME.
RESPONSE MODIFICATION FACTOR (R): VESTIBULE: 3.0
CANOPY: 1.5
SEISMIC RESPONSE COEFFICIENT (Cs): VESTIBULE: 0.12
CANOPY: 0.24
6. EXISTING BUILDING ALTERATION LEVEL 3, LIMITED STRUCTURAL ALTERATION MINOR MODIFICATIONS TO THE LATERAL SYSTEM.
- MOST LOCATIONS THE DEMAND TO CAPACITY RATIO INCREASE IS LESS THEN 10%
- IN LOCATIONS WHERE THE INCREASE IS MORE, THE SYSTEM IS CAPABLE OF RESISTING REDUCED IBC LOADS FOR UNREINFORCED MASONRY SYSTEMS WITH THE REPAIRS SHOWN IN THE DRAWINGS.

FOUNDATION NOTES (SOIL SUPPORTED)

1. FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH INVESTIGATION BY AECM. THE RECOMMENDATIONS OF THE REPORT ARE PART OF THIS WORK. REFER TO THIS REPORT FOR SPECIFIC RECOMMENDATIONS.
2. FOUNDATION DESIGN IS BASED ON SHALLOW SPREAD FOOTINGS BEARING ON SUITABLE UNDISTURBED NATIVE SOILS AND/OR NEW COMPACTED STRUCTURAL FILL EXTENDING TO UNDISTURBED NATIVE SOIL.
3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY EXISTING SOIL CONDITIONS AND TO BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING PLACEMENT OF FOUNDATIONS. NO FILL FOR BUILDING SUPPORT SHALL BE PLACED UNTIL SUBGRADES HAVE BEEN OBSERVED AND APPROVED BY THE GEOTECHNICAL ENGINEER.
4. ALLOWABLE BEARING CAPACITY OF 2000 PSF.
5. EXTEND BOTTOM OF EXTERIOR FOOTINGS AT LEAST 4.6 FEET BELOW THE FINAL EXTERIOR GRADE FOR PROTECTION AGAINST FROST.
6. ALL PAVEMENT AND UNCONTROLLED GRANULAR FILL SHALL BE REMOVED FROM THE AREA OF THE PLANNED FOUNDATION TO AT LEAST 4 FEET BEYOND THE FOOTING LIMIT.
7. COMPACTED STRUCTURAL FILL SHALL BE USED TO BACKFILL TO THE DESIGN FOOTING SUBGRADE AND BENEATH ALL SLABS ON GRADE. STRUCTURAL FILL SHALL BE A CLEAN SAND-GRAVEL MIXTURE MEETING THE FOLLOWING GRADATION:

SCREEN OR SIEVE SIZE	PERCENT PASSING
6 INCH	100
3 INCH	90-100
1/4 INCH	25-90
NO. 40	0-30
NO. 200	0-5
8. STRUCTURAL FILL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS AND SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D1557, MODIFIED PROCTOR TEST. COMPACT ADJACENT TO FOUNDATION WALLS SUPPORTING UNBALANCED FILL (RETAINING WALLS) TO 94 TO 96 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D1557. HAND OPERATED EQUIPMENT SHALL BE USED FOR COMPACTION WITHIN 8 FEET OF NEW FOUNDATION WALL.
9. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS RETAINING EARTH, UNLESS WALLS ARE ADEQUATELY BRACED TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.
10. PROVIDE PVC DRAINPIPE AROUND THE PERIMETER OF THE STRUCTURE. LOCATE AT THE BOTTOM OF THE FOUNDATION WALLS AND PROVIDE POSITIVE GRAVITY FLOW TO PROPERLY DESIGNED OUTLET. REFER TO SITE DRAWINGS FOR ADDITIONAL INFORMATION.
11. SOILS EXPOSED AT THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHALL BE PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION, SUCH AS DISTURBANCE FROM RAIN OR FROST. SURFACE RUNOFF SHALL BE DRAINED AWAY FROM THE EXCAVATIONS. SHALL BE ADEQUATELY PROTECTED FROM RAINFALL OR FREEZING CONDITIONS. GROUNDWATER SHALL BE ANTICIPATED FOR EXCAVATIONS AND APPROPRIATE DEWATERING MEASURES SHALL BE EMPLOYED.
12. SLOPE FOOTING EXCAVATIONS AS REQUIRED FOR STABILITY AND SAFETY IN ACCORDANCE WITH OSHA REQUIREMENTS. PROVIDE SHEETING OR SHORING IN ACCORDANCE WITH OSHA GUIDELINES. BRACED EXCAVATIONS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE.

TIMBER NOTES

1. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE AITC TIMBER CONSTRUCTION MANUAL - LATEST EDITION, AND THE AF & PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) LATEST EDITION.
2. UON INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED. MINIMUM GRADE N01/N02 SPRUCE-PINE-FIR KILN DRIED TO 19% MAXIMUM MOISTURE CONTENT UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
3. ENGINEERED WOOD PRODUCTS SHALL BE AS SPECIFIED ON THE DRAWINGS. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES. MANUFACTURER AND PRODUCT SHALL BE:

TRUS-JOIST: I-JOIST (TJI), PARALLAM (PSL), MICROLAM (LVL), TIMBERSTRAND (LSL)
BOISE: I-JOIST (BCI), VERSALAM (LVL)
4. SUBSTITUTIONS OF ENGINEERED WOOD MATERIALS OTHER THAN THOSE SPECIFIED WILL BE PERMITTED ONLY WITH WRITTEN CERTIFICATION FROM THE MANUFACTURER THAT SUBSTITUTED ITEMS "MEETS OR EXCEEDS" ALL PROPERTIES OF SPECIFIED PRODUCT, INCLUDING ENGINEERING AND DURABILITY CHARACTERISTICS. SUBSTITUTIONS ARE SUBJECT TO APPROVAL BY THE ARCHITECT AND ENGINEER.
5. PRESSURE TREATED LUMBER SHALL BE USED FOR SILL MEMBERS, EXTERIOR EXPOSURE, OR WHERE SHOWN ON THE DRAWINGS. TIMBER SHALL BE SOUTHERN YELLOW PINE TREATED WITH CCA OR ACQ TO 0.4 #/CF IN ACCORDANCE WITH AWWA C-18. ACZA IS STRICTLY PROHIBITED.
6. ALL ROOF SHEATHING SHALL BE APA PERFORMANCE-RATED. PROVIDE 5/8" THICK CD-X ROOF SHEATHING (U.N.O.) SHEATHING SHALL BE NAILED TO THE FRAMING AS FOLLOWS, U.N.O.:

TYPICAL PANEL FASTENING (U.N.O.)
A. ROOFS: 8d NAILS AT 6" O.C. AT SUPPORTED PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
7. FASTENING NOT SPECIFIED SHALL CONFORM WITH IBC (2009) TABLE 2304.9.1. NAIL FASTENERS SHALL MEET THE REQUIREMENTS OF ASTM F1667. UNLESS NOTED OTHERWISE, NAILS REFERENCED ON DRAWINGS ARE TO BE COMMON NAILS WITH DIMENSIONS AS FOLLOWS:

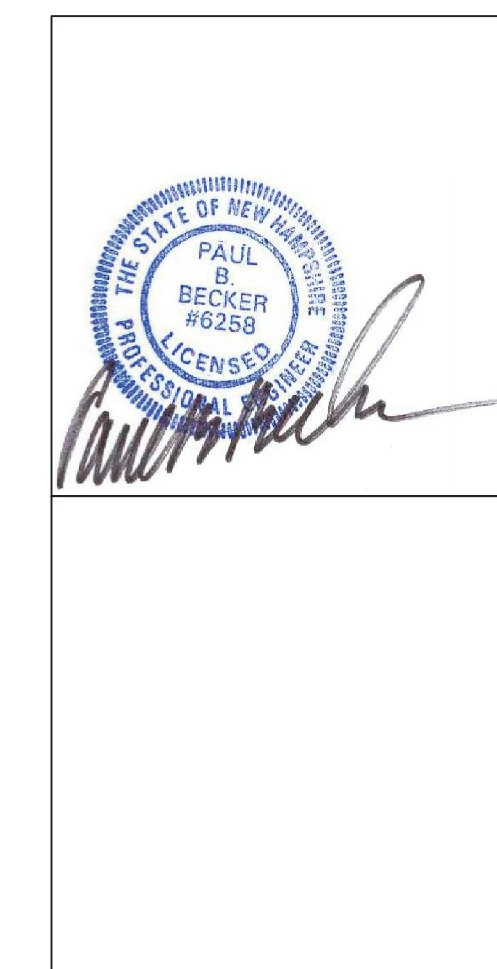
6d: 2" LONG BY 0.113" DIAMETER SHANK WITH 0.266" DIAMETER HEAD
8d: 2 1/2" LONG BY 0.131" DIAMETER SHANK WITH 0.281" DIAMETER HEAD
10d: 3" LONG BY 0.148" DIAMETER SHANK WITH 0.312" DIAMETER HEAD
12d: 3 1/4" LONG BY 0.148" DIAMETER SHANK WITH 0.312" DIAMETER HEAD
16d: 3 1/2" LONG BY 0.162" DIAMETER SHANK WITH 0.344" DIAMETER HEAD
20d: 4" LONG BY 0.192" DIAMETER SHANK WITH 0.406" DIAMETER HEAD
30d: 4 1/2" LONG BY 0.207" DIAMETER SHANK WITH 0.438" DIAMETER HEAD
8. ALL TIMBER CONNECTION HARDWARE (JOIST HANGERS, POST BASES, SHEARWALL HOLDDOWNS, ETC) SHALL BE AS INDICATED ON THE DRAWINGS AND MANUFACTURED BY SIMPSON STRONG-TIE. ALL CONNECTION HARDWARE SHALL BE HOT-DIPPED GALVANIZED G-90 (U.N.O.). CONNECTION HARDWARE USED IN CONTACT WITH PRESERVATIVE TREATMENT SHALL BE GALVANIZED G185 (ZMAX) USE FASTENERS AND HANGERS OF SAME MATERIAL & COATING. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES.
9. FASTENERS USED IN CONTACT WITH PT LUMBER SHALL BE HOT DIPPED GALVANIZED (ASTM A153), STAINLESS STEEL, OR OTHER FINISH AS APPROVED BY THE ENGINEER.

GLUED-LAMINATED (GLULAM) TIMBER NOTES

1. SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
2. ALL GLULAM TIMBER SHALL BE IN ACCORDANCE WITH THE AITC TIMBER CONSTRUCTION MANUAL - LATEST EDITION, AND THE AF&PA NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) - LATEST EDITION.
3. SUBMIT ALL PRODUCT INFORMATION FOR REVIEW. FRAMING MEMBERS SHALL BE PROVIDED AS FOLLOWS U.N.O.:

BEAMS: SOUTHERN PINE 24F-V3, E=1800 ksi OR BETTER. UNBALANCED LAY-UP.
COLUMNS: SOUTHERN PINE 24F, E=1800 ksi OR BETTER. BALANCED LAY-UP.
4. ALL BEAMS AND COLUMNS EXPOSED TO VIEW, PROVIDE GLULAM OF ARCHITECTURAL GRADE COMPLYING WITH AITC 110. GLULAM TO RECEIVE STAIN FINISH, COORD WITH ARCH.
5. ALL BEAMS AND COLUMNS TO RECEIVE PRESERVATIVE TREATMENT TO COMPLY WITH AWWA U1, CATEGORY 3B.
6. ALL STEEL CONNECTORS TO BE HOT DIP GALVANIZED WITH FLAT BLACK POWDER COAT FINISHED.

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REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018

GENERAL NOTES

PROJECT NO.:	4217
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	MSK
REVIEWED BY:	CAB

PROJECT PHASE:
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CONCRETE NOTES

- CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318 LATEST)," AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301-LATEST)". THESE PUBLICATIONS ARE AVAILABLE THROUGH THE AMERICAN CONCRETE INSTITUTE (248) 848-3800.
 - GENERAL CONTRACTOR, CONSTRUCTION MANAGER AND/OR OWNER'S CLERK OF THE WORKS SHALL HAVE AVAILABLE ON SITE AT ALL TIMES A COPY OF ACI "FIELD REFERENCE MANUAL SP-15 (LATEST)". THIS PUBLICATION IS AVAILABLE THROUGH THE AMERICAN CONCRETE INSTITUTE (248) 848-3800.
 - CONCRETE SHALL BE CONTROLLED CONCRETE, PROPORTIONED, MIXED, AND PLACED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ACI 318-LATEST.
 - CONCRETE MIX DESIGN:**
FOOTINGS AND FOUNDATION WALLS:
A. STRENGTH: 3,500 PSI @ 28 DAYS
B. AGGREGATE: 3/4"
C. W/C RATIO: 0.55 MAX
D. ENTRAINED AIR: 6% ± 1 1/2%
E. SLUMP: 4" MAX
INTERIOR SLABS ON GRADE
A. STRENGTH: 3,000 PSI @ 28 DAYS
B. AGGREGATE: 3/4"
C. W/C RATIO: 0.55 MAX
D. ENTRAPPED AIR ONLY (NO ENTRAINMENT)
E. SLUMP: 4" MAX
EXTERIOR SLABS ON GRADE:
A. STRENGTH: 5,000 PSI @ 28 DAYS
B. AGGREGATE: 3/4"
C. W/C RATIO: 0.40 MAX
D. ENTRAINED AIR: 6% ± 1 1/2%
E. SLUMP: 4" MAX
- NOTE:**
- ADD AIR ENTRAINING ADMIXTURE AT MANUFACTURER'S PRESCRIBED RATE TO RESULT IN CONCRETE AT POINT OF PLACEMENT HAVING THE ABOVE NOTED AIR CONTENT.
 - ADDITIONAL SLUMP MAY BE ACHIEVED BY THE ADDITION OF A MIDRANGE OR HIGH RANGE WATER REDUCING ADMIXTURE. MAXIMUM SLUMP AFTER ADDITION OF ADMIXTURE SHALL BE 6 INCHES AND 8 INCHES RESPECTIVELY.
- ADJUSTMENT TO CONCRETE MIXES: MIX ADJUSTMENTS MAY BE REQUESTED BY THE CONTRACTOR, WHEN CHARACTERISTICS OF THE MATERIALS, JOB CONDITIONS, WEATHER OR OTHER CIRCUMSTANCES WARRANT, AT NO ADDITIONAL COST TO THE OWNER AS ACCEPTED BY THE ARCHITECT. LABORATORY TEST DATA FOR THE REVISED MIX DESIGN AND STRENGTH DATA MUST BE SUBMITTED AND ACCEPTED BY THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- NOTE:**
- WATER MAY BE ADDED AT THE PROJECT ONLY IF THE MAXIMUM SPECIFIED WATER-CEMENT RATIO AND SLUMP ARE NOT EXCEEDED. CONTRACTOR SHALL HAVE BATCH TICKET INDICATING WATER AND CEMENT MIXED IN THE PLANT, AND SHALL RECORD THE WATER ADDED AS EVIDENCE THAT THE WATER-CEMENT RATIO HAS NOT BEEN EXCEEDED.
 - ADDITIONAL DOSES OF SUPER PLASTICIZER SHOULD BE USED WHEN DELAYS OCCUR AND REQUIRED SLUMP HAS NOT BEEN MAINTAINED. A MAXIMUM OF TWO ADDITIONAL DOSAGES ARE PERMITTED PER ACI 212.3R RECOMMENDATIONS.
- CONCRETE MIXING:
A. JOB-SITE MIXING OF CONCRETE WILL NOT BE PERMITTED.
B. READY-MIX CONCRETE MUST COMPLY WITH THE REQUIREMENTS OF ASTM C94, AND AS SPECIFIED HEREIN. PROVIDE BATCH TICKET FOR EACH BATCH DISCHARGED AND USED IN WORK, INDICATING PROJECT NAME, MIX TYPE, MIX TIME, BATCH QUANTITY, AND PROPORTIONS OF INGREDIENTS.
 - CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
 - PROVIDE PVC SLEEVES WHERE PIPES PASS THROUGH EXTERIOR CONCRETE OR SLABS CAST ON GRADE. ADJACENT SLEEVES SHALL BE SPACED A MINIMUM OF THREE DIAMETERS APART. NO PENETRATIONS SHALL BE MADE THROUGH FOOTINGS WITHOUT WRITTEN PERMISSION FROM ENGINEER.
 - REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315, LATEST EDITION.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE PROVIDED IN FLAT SHEETS. LAP TWO SQUARES AT ALL JOINTS AND TIE AT 3'-0" ON CENTER.
 - COMPLETE SHOP DRAWINGS AND SCHEDULES OF ALL REINFORCING STEEL SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW. PROVIDE AND SCHEDULE ON THE SHOP DRAWINGS ALL NECESSARY ACCESSORIES TO HOLD REINFORCEMENT SECURELY IN POSITION. MINIMUM REQUIREMENTS SHALL BE: HIGH CHAIRS AT 4'-0" O.C. WITH CONTINUOUS # 5 SUPPORT BARS; SLAB BOLSTERS, CONTINUOUS AND 3'-6" O.C.; BEAM BOLSTERS AT 5'-0" O.C.
 - MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:
A. SURFACES CAST AGAINST AND PERMANENTLY IN CONTACT WITH EARTH, 3.0"
B. FORMED SURFACES IN CONTACT WITH EARTH OF EXPOSED TO WEATHER #5 BARS, 5/8" DIAMETER WIRE, AND SMALLER, 1.5" #6 THROUGH #11 BARS, 2.0"
C. SURFACES NOT IN CONTACT WITH EARTH OR EXPOSED TO WEATHER WALLS, SLABS, JOISTS #11 AND SMALLER, 1.0"
 - REINFORCEMENT SHALL BE CONTINUOUS AROUND CORNERS AND AT INTERSECTIONS. PROVIDE LAPPED BARS AT NECESSARY SPLICES OR HOOKED BARS AT DISCONTINUOUS ENDS. SEE SCHEDULE ON S2.1 FOR REQUIRED REBAR LAP SPLICE LENGTHS.
 - WELDING OF REINFORCEMENT IS NOT PERMITTED.
 - FOR ALL OPENINGS IN CONCRETE WALLS AND SLABS, PROVIDE SUPPLEMENTAL REINFORCING AROUND OPENING AS SHOWN ON THE CONTRACT DOCUMENTS TYPICAL DETAILS.
 - PROVIDE A MIN. 15 MIL. POLYOLEFIN GEOMEMBRANE TYPE VAPOR BARRIER UNDER INTERIOR SLABS CAST ON GRADE. SEE TYPICAL DETAILS FOR SPECIFIC UNDERSLAB PREPARATION REQUIREMENTS.

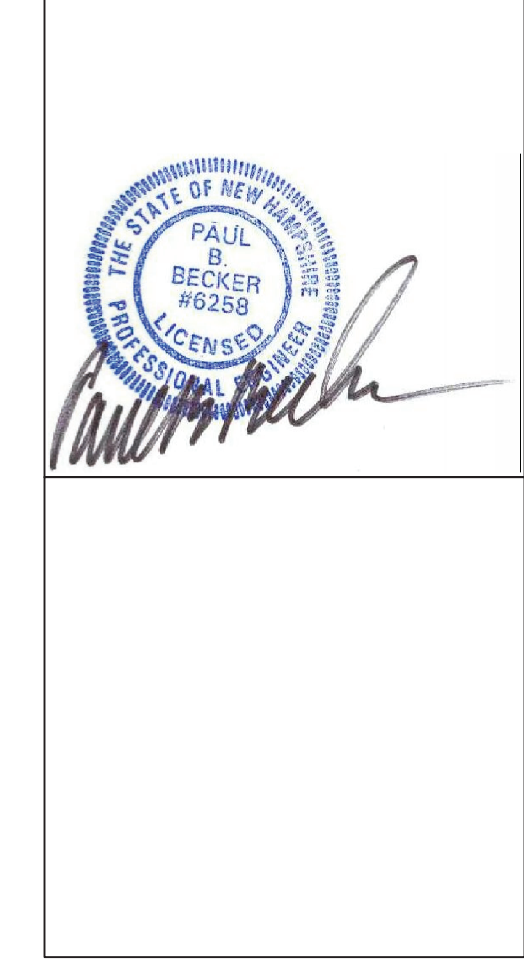
- CONTRACTION/CONTROL JOINTS SHOWN ON DRAWINGS ARE MANDATORY. OMISSIONS, ADDITIONS, OR CHANGES SHALL NOT BE MADE EXCEPT WITH THE SUBMITTAL OF A WRITTEN REQUEST TOGETHER WITH DRAWINGS OF THE PROPOSED JOINT LOCATIONS FOR APPROVAL BY THE STRUCTURAL ENGINEER.
- WHERE CONTROL JOINTS ARE NOT SHOWN, OR WHEN ALTERNATE LOCATIONS ARE PROPOSED, DRAWINGS SHOWING LOCATIONS(S) OF CONTRACTION AND CONTROL JOINTS AND CONCRETE PLACING SEQUENCE SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO PREPARATION OF THE REINFORCEMENT SHOP DRAWINGS.
- SPACING OF CONSTRUCTION OR CONTRACTION JOINTS, UNLESS NOTED OTHERWISE SHALL BE AS FOLLOWS:
A. FOOTINGS AND WALLS MAX LENGTH 40'-0" NOR 15'-0" FROM ANY CORNER**
B. SLABS ON GRADE MAX LENGTH 15'-0"** MAX AREA 900SF** PLACED IN ALTERNATE PANELS
** EXCEED ONLY WHERE INTERMEDIATE CONTRACTION JOINTS ARE PROVIDED. MINIMUM OF 72 HOURS SHALL ELAPSE BETWEEN ADJACENT CONCRETE PLACEMENTS.
- CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS EXCEPT WHERE SHOWN OR NOTED. VERTICAL CONSTRUCTION JOINTS AND STOPS IN CONCRETE WORK SHALL BE MADE AT MIDSPAN OR AT POINTS OF MINIMUM SHEAR.
- ANCHOR RODS SHALL BE HEADED RODS CONFORMING TO ASTM F1554, GRADE 36 KSI WELDABLE STEEL, UNLESS NOTED OTHERWISE ON DRAWINGS. ANCHOR RODS SHALL BE HOT-DIPPED GALVANIZED.
- ALL GROUT BENEATH BASE PLATES & BEARING PLATES SHALL BE 5000 PSI NON-SHRINK GROUT BY U.S. GROUT CORP., OR APPROVED EQUAL.
- SLAB THICKNESSES INDICATED ON THE DRAWINGS ARE MINIMUMS. PROVIDE SUFFICIENT CONCRETE TO ACCOUNT FOR STRUCTURE DEFLECTION, SUBGRADE FLUCTUATIONS, AND TO OBTAIN THE SPECIFIED SLAB ELEVATION AT THE FLATNESS AND LEVELNESS INDICATED.
- INSTALLATION OF REINFORCEMENT SHALL BE COMPLETED AT LEAST 24 HOURS PRIOR TO THE SCHEDULED CONCRETE PLACEMENT. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF COMPLETION AT LEAST 24 HOURS PRIOR TO THE SCHEDULED COMPLETION OF THE INSTALLATION OF REINFORCEMENT.
- ALL ITEMS TO BE EMBEDDED INTO CONCRETE SHALL BE INSTALLED PRIOR TO PLACEMENT OF CONCRETE. PROVIDE ADDITIONAL REINFORCEMENT AND/OR TEMPLATES AS REQUIRED TO ENSURE THE CORRECT POSITIONS OF EMBEDMENTS. "WET SETTING" OF EMBEDMENTS INTO CONCRETE IS STRICTLY PROHIBITED. EMBEDMENTS INCLUDE, BUT NOT BY LIMITATION, REINFORCEMENT, REINFORCING DOWELS, EMBEDDED PLATES, ANCHOR RODS, ANCHOR INSERTS, SLEEVES, LOAD TRANSFER PLATES, DIAMOND DOWELS, AND SHELF BULK HEADS

STRUCTURAL STEEL NOTES

- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN FABRICATIONS, AND ERECTION OF STRUCTURAL STEEL" 13TH EDITION, AND THE "CODE OF STANDARD PRACTICE", LATEST EDITION.
- STRUCTURAL STEEL: STEEL PLATES, SHAPES, AND BARS, SHALL CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE (U.N.O.). STRUCTURAL STEEL SHAPES DESIGNATED ON THE DRAWINGS FOR WIDE-FLANGE SECTIONS: ASTM A992 (ASTM A572 GRADE 50 WITH SPECIAL REQUIREMENTS PER AISC TECHNICAL BULLETIN #3 DATED MARCH, 1997)
- STRUCTURAL TUBING: CONFORM TO ASTM A500 GRADE B, 46 KSI.
- FIELD CONNECTIONS SHALL BE BOLTED USING 3/4" DIAMETER ASTM A325N HIGH STRENGTH BOLTS (U.N.O.).
- WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1-LATEST EDITION. ELECTRODES SHALL CONFORM TO AWS A5.1 E70XX SERIES WITH PROPER ROD TO PRODUCE OPTIMUM WELD (LOW HYDROGEN)
- DESIGN AND DETAIL ALL CONNECTIONS ACCORDING TO AISC STANDARD CONNECTION TABLES. DESIGN STANDARD BEAM CONNECTIONS FOR THE MAXIMUM LOAD CAPACITY OF THE MEMBER. BRACING CONNECTIONS HAVE BEEN DETAILED ON THE DRAWINGS.
- STEEL FINISHES:
- ALL INTERIOR STEEL SHALL BE FABRICATED AND SHIPPED AS PRIMED STEEL.
- ALL EXTERIOR STEEL SHALL BE HOT DIP GALVANIZED.
- SEE CONCRETE NOTES AND DRAWINGS FOR ANCHOR BOLT INFORMATION, TYP.
- COAT ALL COLUMNS, BASEPLATES, AND BRACE ELEMENTS ENCASED IN CONCRETE OR BELOW GRADE WITH BITUMINOUS MASTIC ON TNE MECOL H.B. TNE MECOL (46-465) COAT TAR PAINT.
- PROVIDE 3/8" MINIMUM STIFFENER PLATES EACH SIDE OF BEAM WEB AT BEAMS FRAMING OVER COLUMNS AND AT COLUMNS OVER BEAMS.
- PROVIDE 1/4" THICK LEVELING PLATE AND 1 1/2"± OF NON-SHRINK GROUT UNDER ALL COLUMN BASE PLATES UNLESS OTHERWISE NOTED. LEVELING PLATES SHALL BE SET AND GROUTED PRIOR TO ERECTING COLUMNS.
- PROVIDE ALL MISCELLANEOUS ANGLES, PLATES, ANCHOR BLOTS ETC., SHOWN ON ARCHITECTURAL DRAWINGS FOR SUPPORT OF BLOCKING, PARAPETS, FINISHES, ETC. COORDINATE WITH MISCELLANEOUS METAL FABRICATOR TO ENSURE COMPLETE COVERAGE OF ALL ITEMS.
- PROVIDE L 4 x 4 x 1/4 SLAB SUPPORT ANGLE AS REQUIRED AT COLUMNS WHERE STRUCTURAL MEMBERS DO NOT FRAME IN AT ALL FOUR SIDES.

LINTELS

- THE FOLLOWING LINTELS SHALL BE USED FOR MASONRY OPENINGS, U.N.O. ON DRAWINGS:
MASONRY OPENING LINTEL SIZE
UP TO 3'-0" L 3 1/2 x3 1/2 x 5/16
3'-1" TO 4'-6" L 4 x 3 1/2 x 5/16 (LLV)
4'-7" TO 6'-0" L 5 x 3 1/2 x 5/16 (LLV)
6'-1" TO 8'-0" L 6 x 3 1/2 x 5/16 (LLV)
- PROVIDE ONE ANGLE FOR EACH 4" WALL THICKNESS. FOR 6" WALL THICKNESS, PROVIDE WT OR BUILT-UP SECTION WITH PROPERTIES EQUAL TO OR GREATER THAN 1 1/2 TIMES THE ANGLES PROPERTIES FOR A 4" WALL THICKNESS.
- PROVIDE 8" OF BEARING AT EACH END OF ALL LINTELS.
- ALL EXTERIOR LINTELS SHALL BE HOT-DIPPED GALVANIZED.



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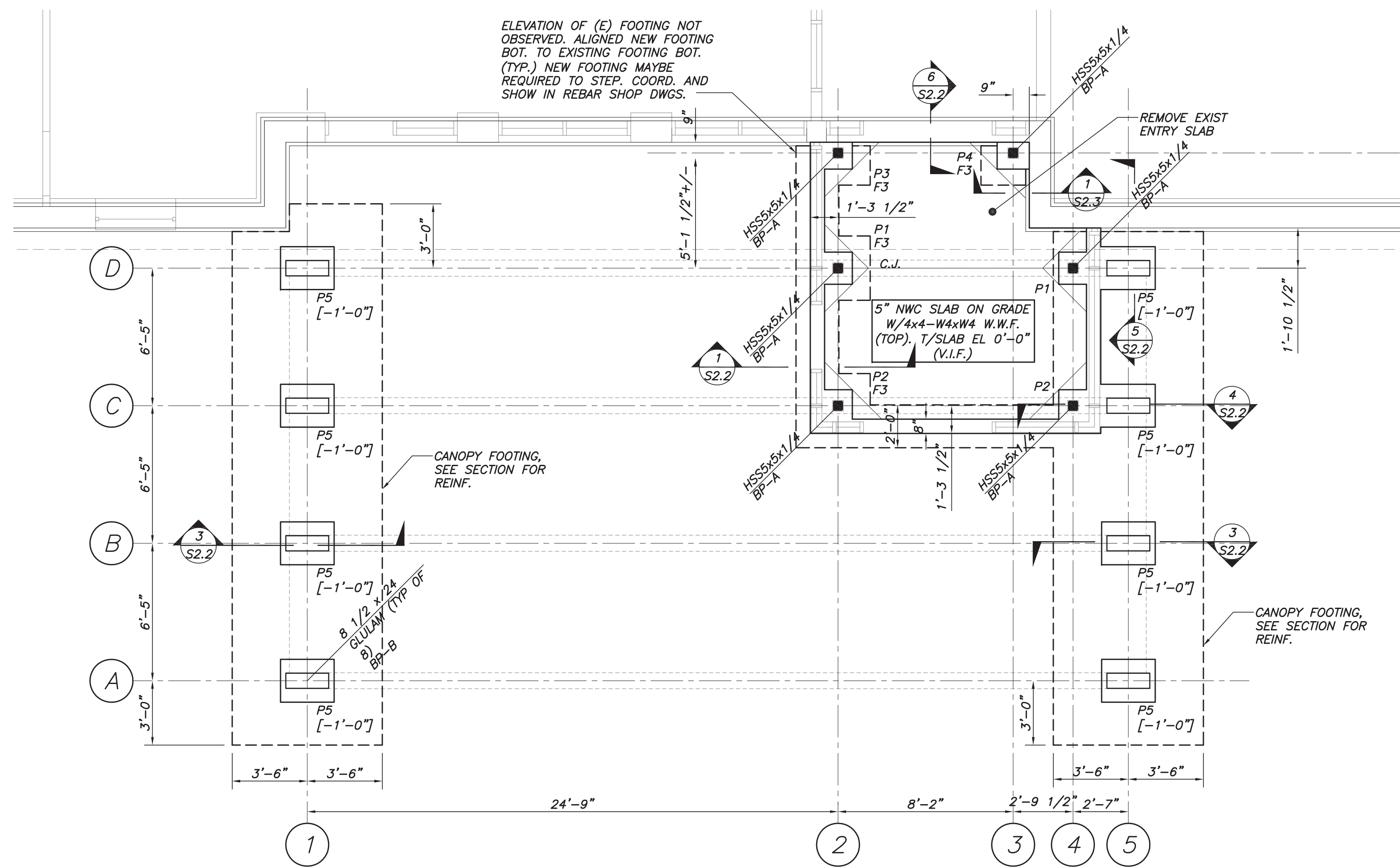
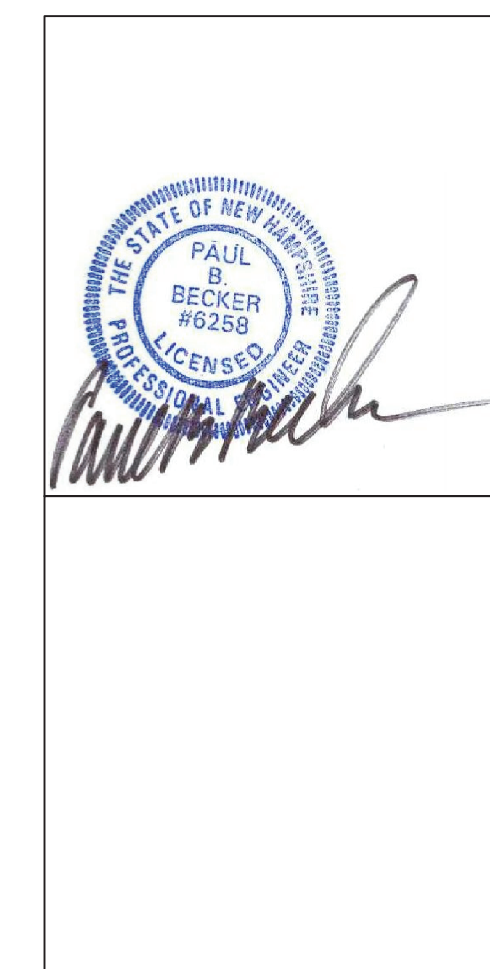
125 COTTAGE ST.
PORTSMOUTH, NH

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	85% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018

GENERAL NOTES

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ELEVATION OF (E) FOOTING NOT OBSERVED. ALIGNED NEW FOOTING BOT. TO EXISTING FOOTING BOT. (TYP.) NEW FOOTING MAYBE REQUIRED TO STEP. COORD. AND SHOW IN REBAR SHOP DWGS.

VESTIBULE FOUNDATION PLAN
1/4"=1'-0"

- NOTES:**
1. TOP OF WALL AND TOP OF PIER ELEVATIONS -0'-8" U.N.O. BY [X'-X"] FROM TOP OF SLAB.
 2. TOP OF FTG EL (-3'-6") BELOW SURROUNDING GRADE U.N.O.
 3. C.J. INDICATES CONTRACTION JOINT, SEE TYPICAL DETAIL DWG S2.1
 4. BP- INDICATES STEEL BASE PLATE. SEE DETAILS DWG S3.1
 5. F- INDICATES CONC SPREAD FOOTING. SEE SCHEDULE THIS DWG.
 6. H.D. INDICATES SHEARWALL HOLDOWN.
 7. P_ INDICATES PIERS. SEE DETAILS ON S2.3

FOOTING SCHEDULE		
MARK	SIZE	REINF
F3	3'-0"x3'-0"x1'-0"	4#4 E.W.B.

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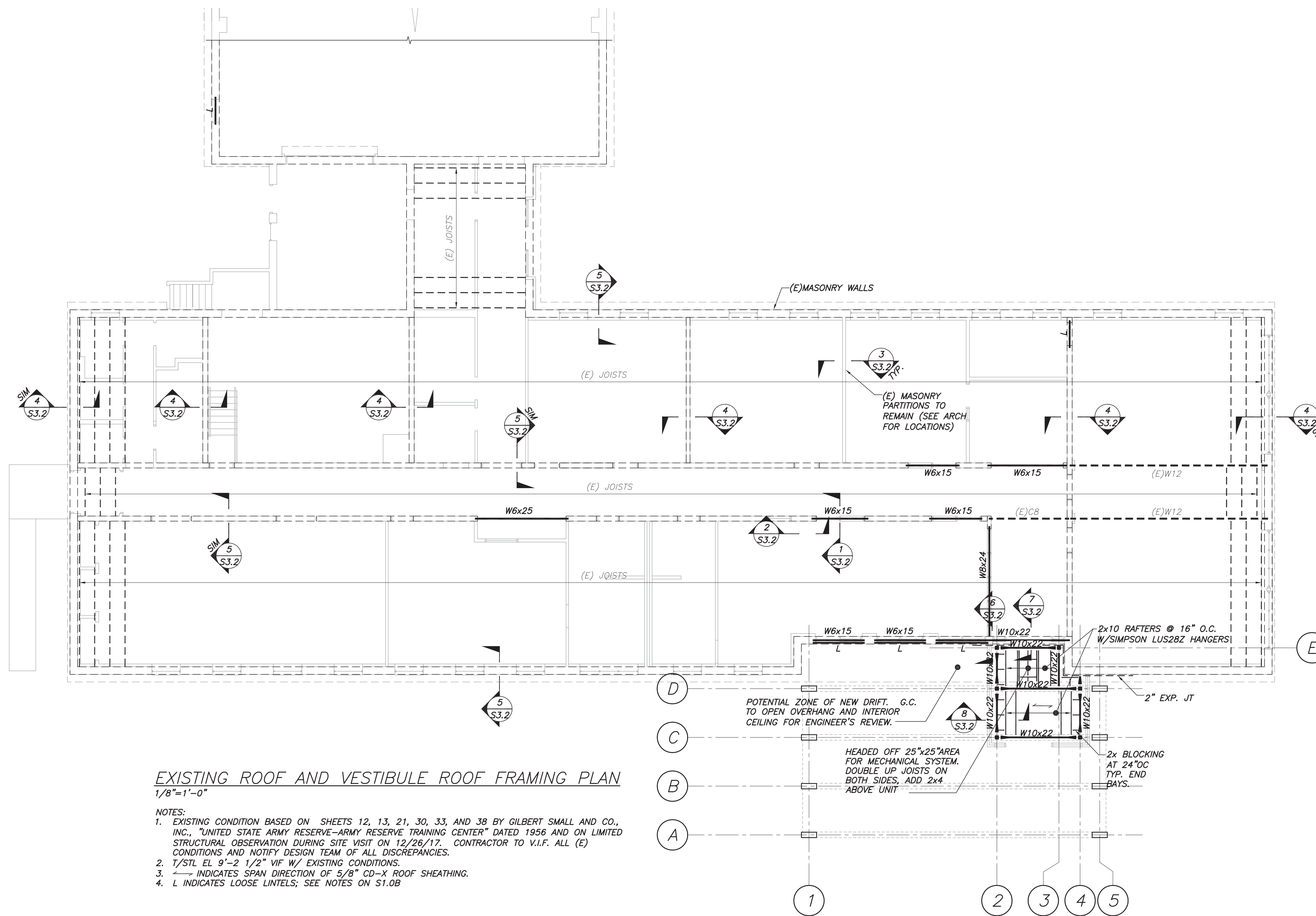
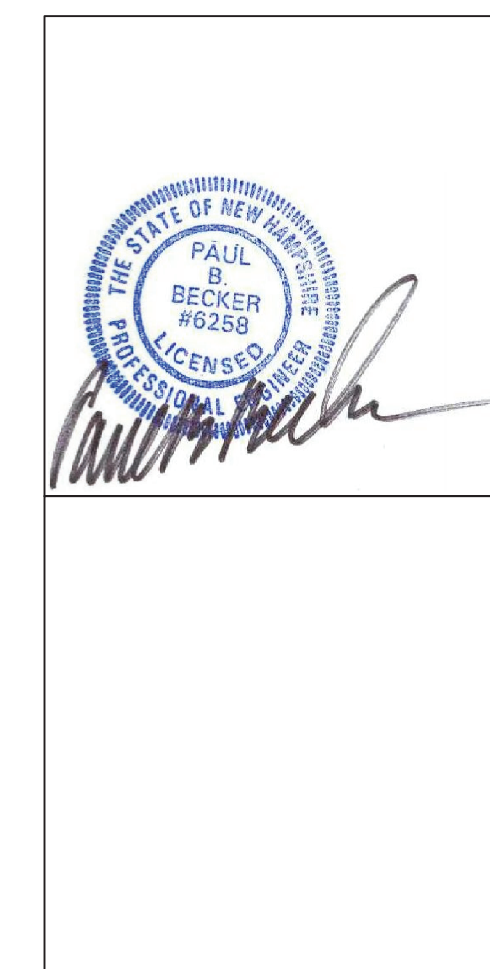
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VESTIBULE FOUNDATION PLAN

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EXISTING ROOF AND VESTIBULE ROOF FRAMING PLAN
1/8"=1'-0"

- NOTES:
1. EXISTING CONDITION BASED ON SHEETS 12, 13, 21, 30, 33, AND 38 BY GILBERT SMALL AND CO., INC., "UNITED STATE ARMY RESERVE-ARMY RESERVE TRAINING CENTER" DATED 1956 AND ON LIMITED STRUCTURAL OBSERVATION DURING SITE VISIT ON 12/26/17. CONTRACTOR TO V.I.F. ALL (E) CONDITIONS AND NOTIFY DESIGN TEAM OF ALL DISCREPANCIES.
 2. T/STL EL 9'-2 1/2" VIF W/ EXISTING CONDITIONS.
 3. ——— INDICATES SPAN DIRECTION OF 5/8" CD-X ROOF SHEATHING.
 4. L INDICATES LOOSE LINTELS; SEE NOTES ON S1.0B

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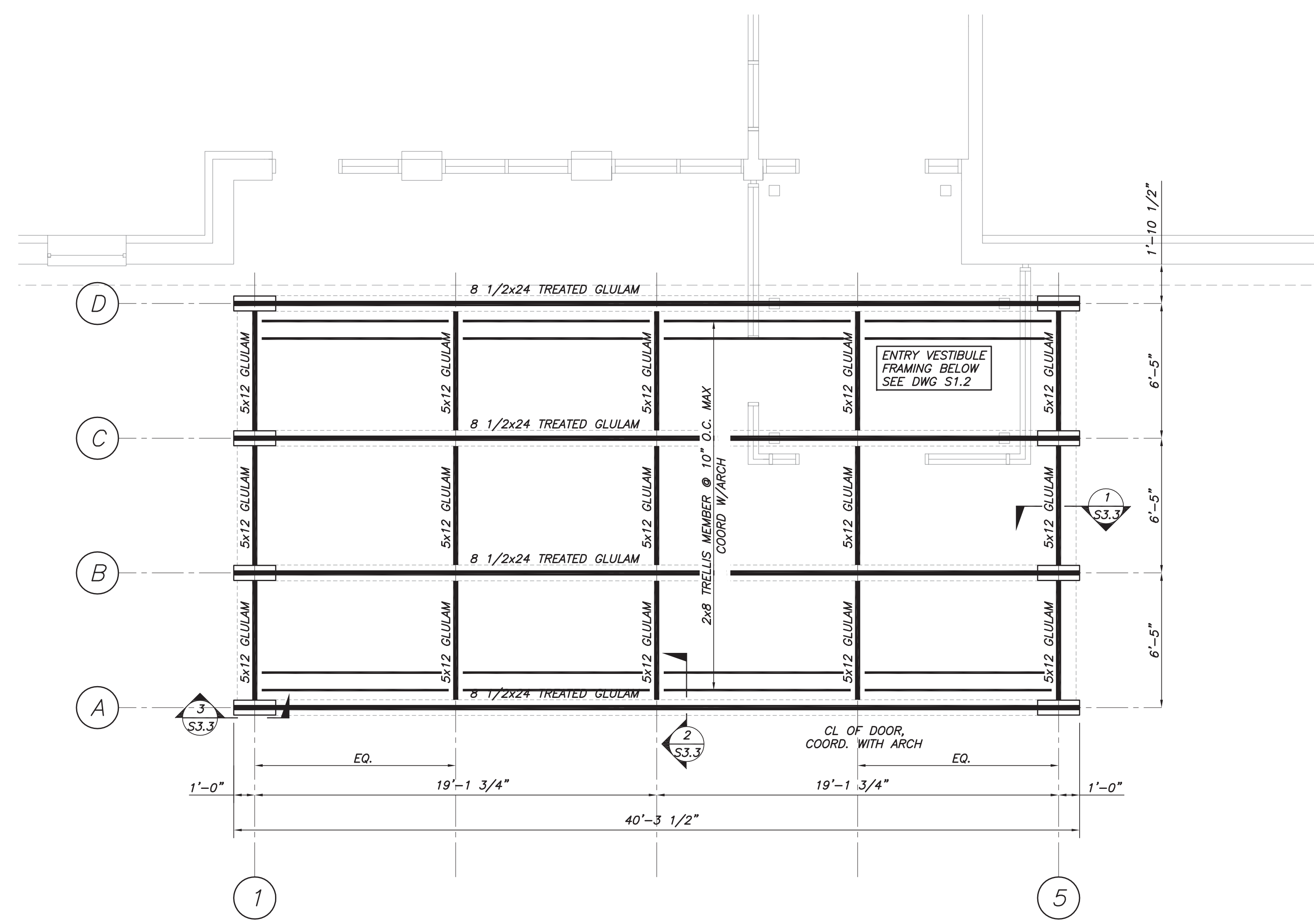
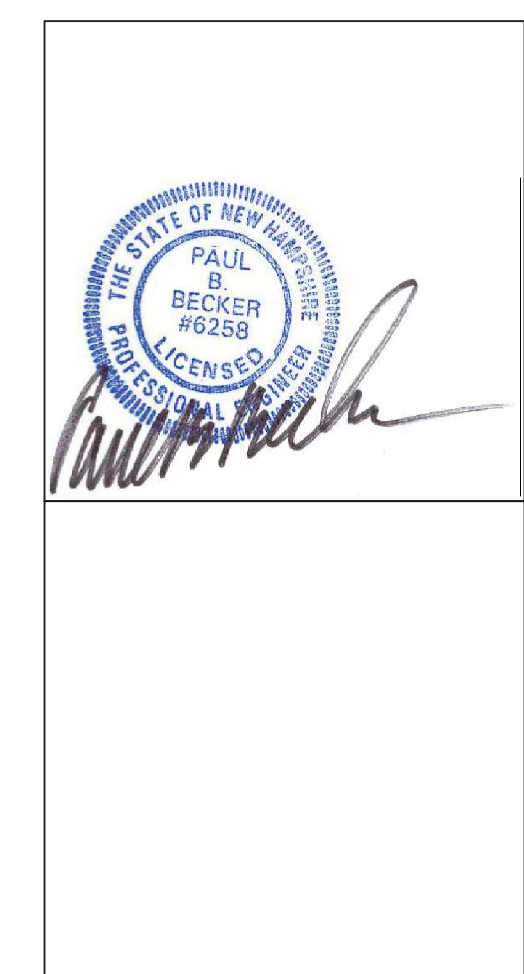
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No.	DESCRIPTION	DATE
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EXISTING ROOF/VESTIBULE ROOF FRAMING PLAN

PROJECT NO.:	4217
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REVIEWED BY:	CAB

PROJECT PHASE:
FOR CONSTRUCTION

1 2 3 4 5 6 7 8 9 10 11 12



CANOPY ROOF FRAMING PLAN
1/4"=1'-0"

- NOTES:**
- CANOPY SLOPES, SEE ARCH DWG FOR ELEVATIONS.
 - ALL GLULAM TO BE TREATED, SEE GENERAL NOTES AND SPECIFICATIONS.
 - TRELIS MEMBER: COORDINATE SPECIFICATIONS AND FINISHES WITH ARCH.

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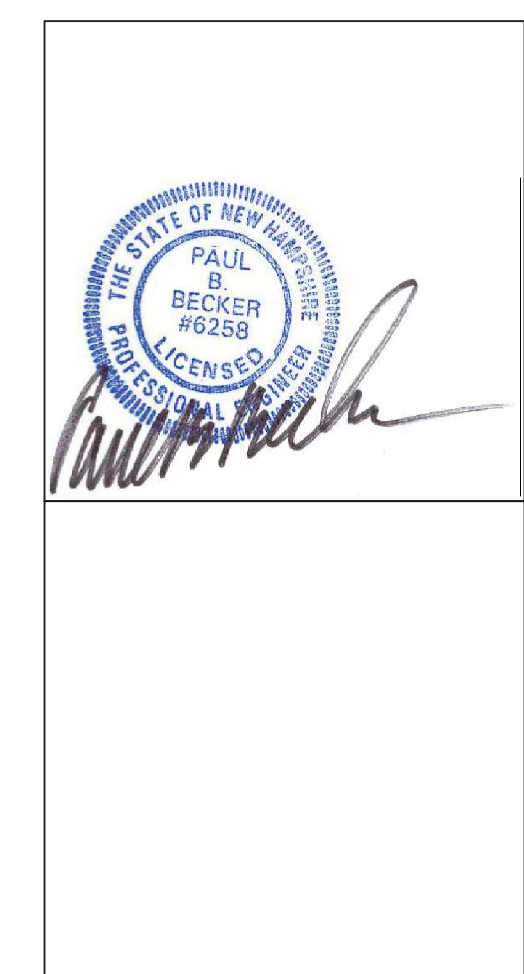
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**CANOPY ROOF
FRAMING PLAN**

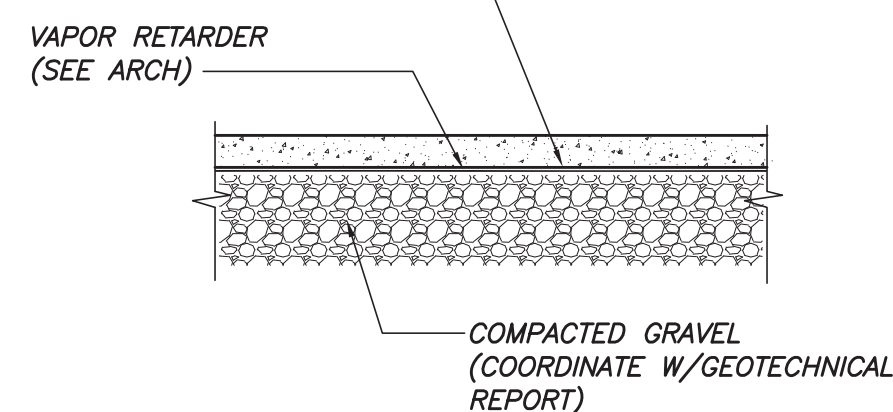
PROJECT NO.: 4217
DATE ISSUED: 02/23/2018
SCALE:
DRAWN BY: MSK
REVIEWED BY: CAB

PROJECT PHASE:
FOR CONSTRUCTION

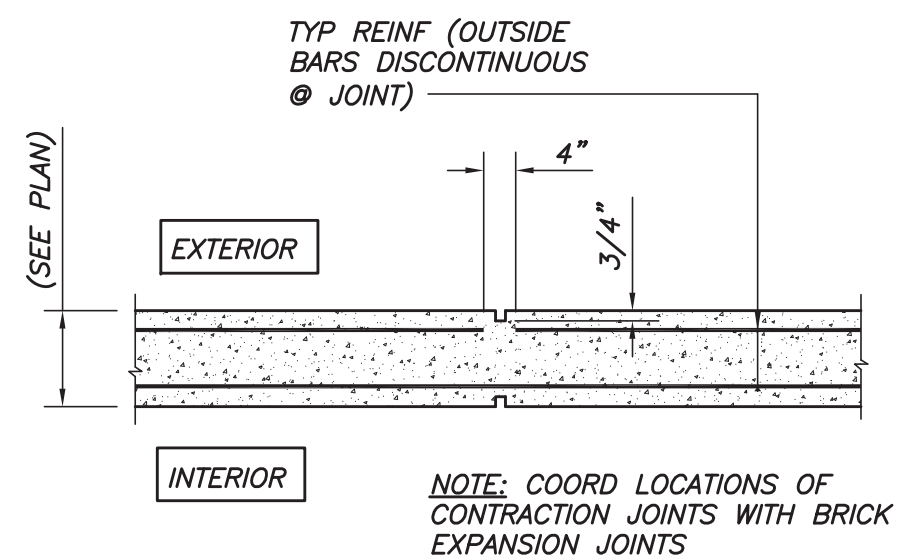
1 2 3 4 5 6 7 8 9 10 11 12



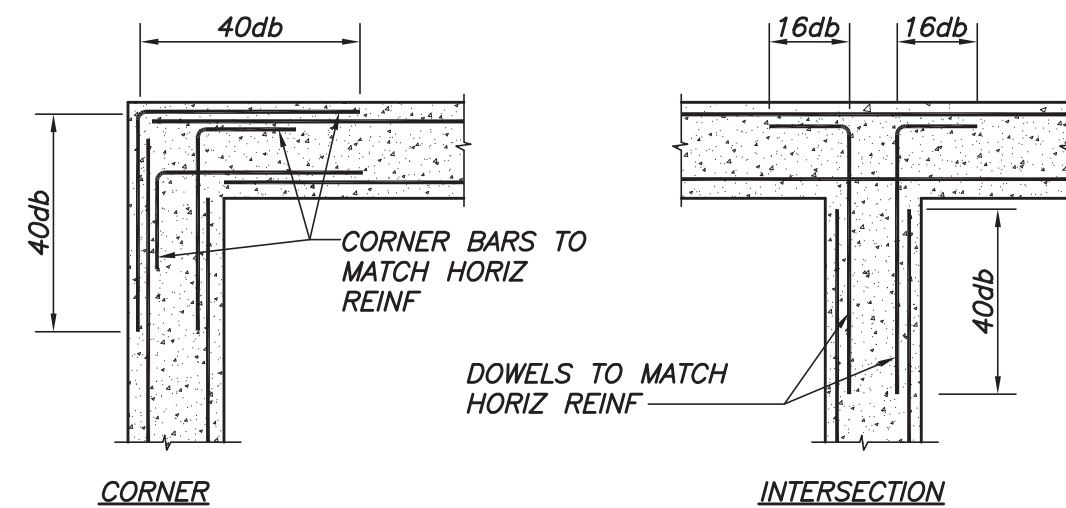
CONC SLAB ON GRADE. ALL SLABS ON GRADE ARE TO BE WET CURED PER ACI 308, LATEST EDITION



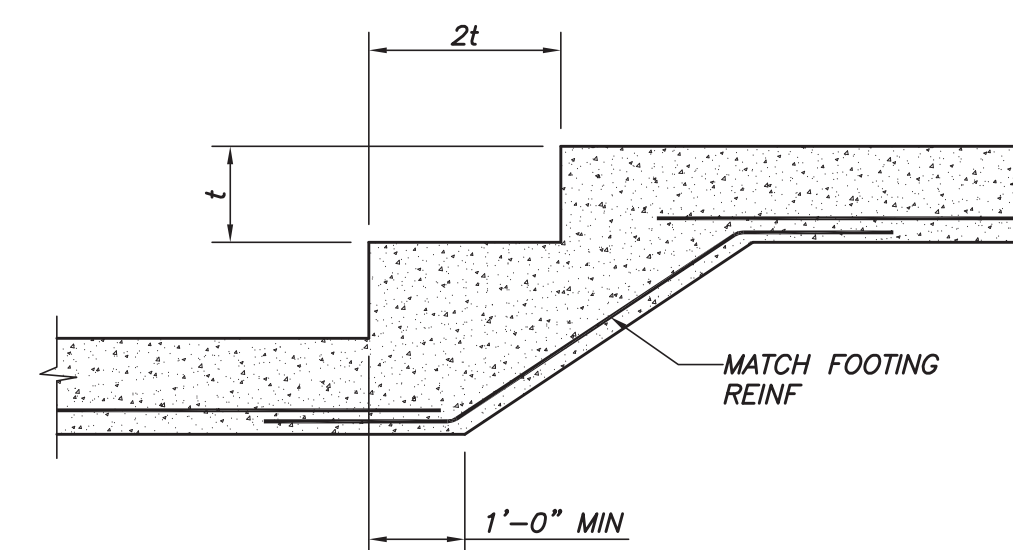
TYP SLAB DETAIL
N.T.S.



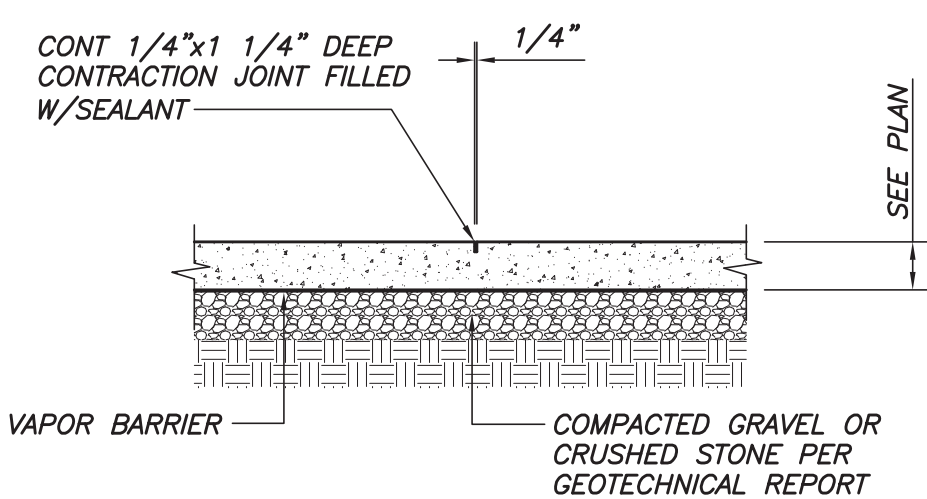
TYP CONTRACTION JOINT IN WALL
N.T.S.



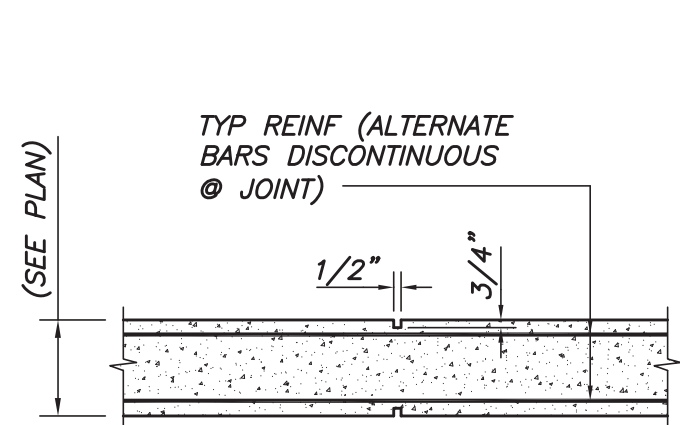
TYP WALL REINF DETAILS
N.T.S.



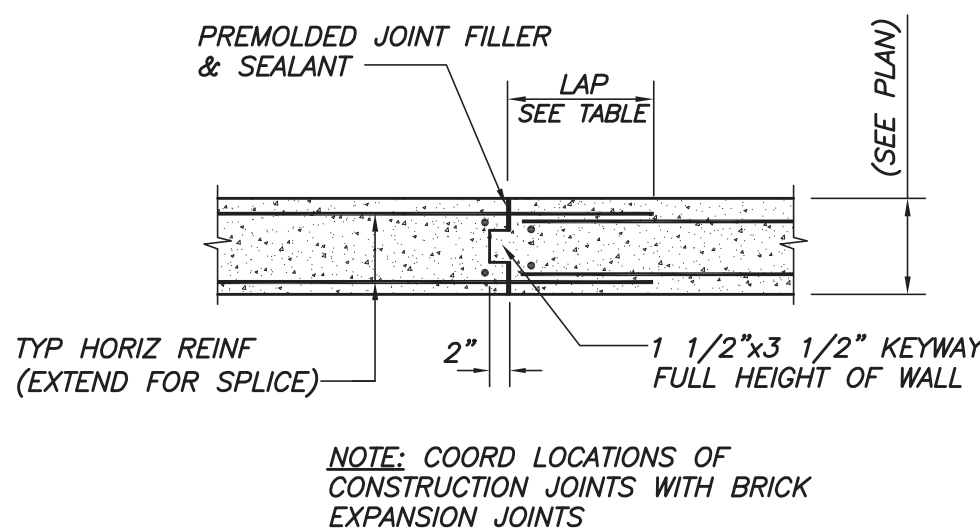
TYP STEP FOOTING DETAIL
N.T.S. t = FOOTING THICKNESS



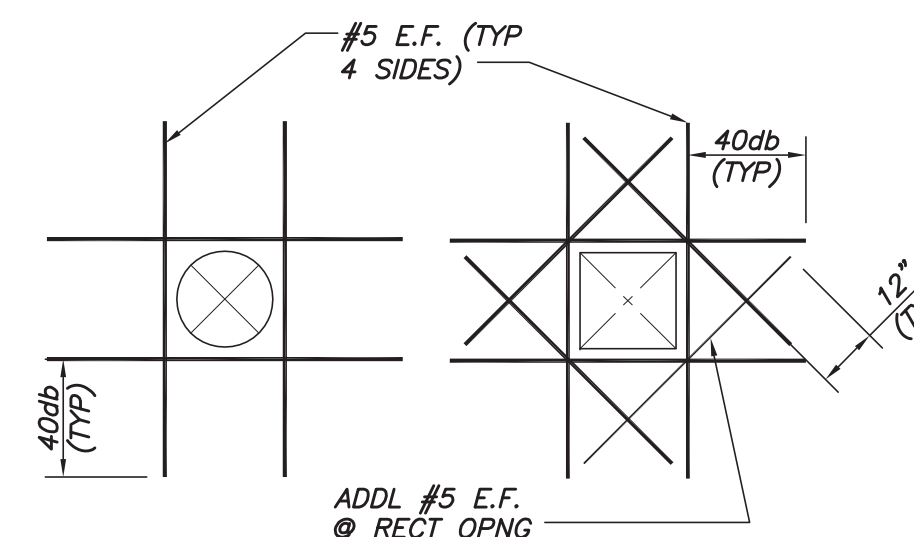
TYP SLAB ON GRADE CONTRACTION JOINT DETAIL
N.T.S.



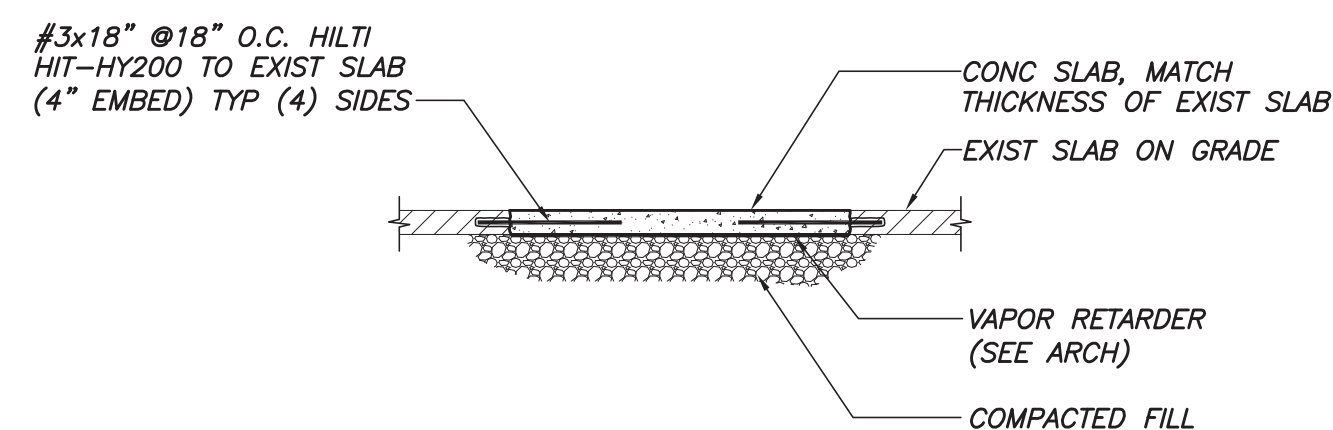
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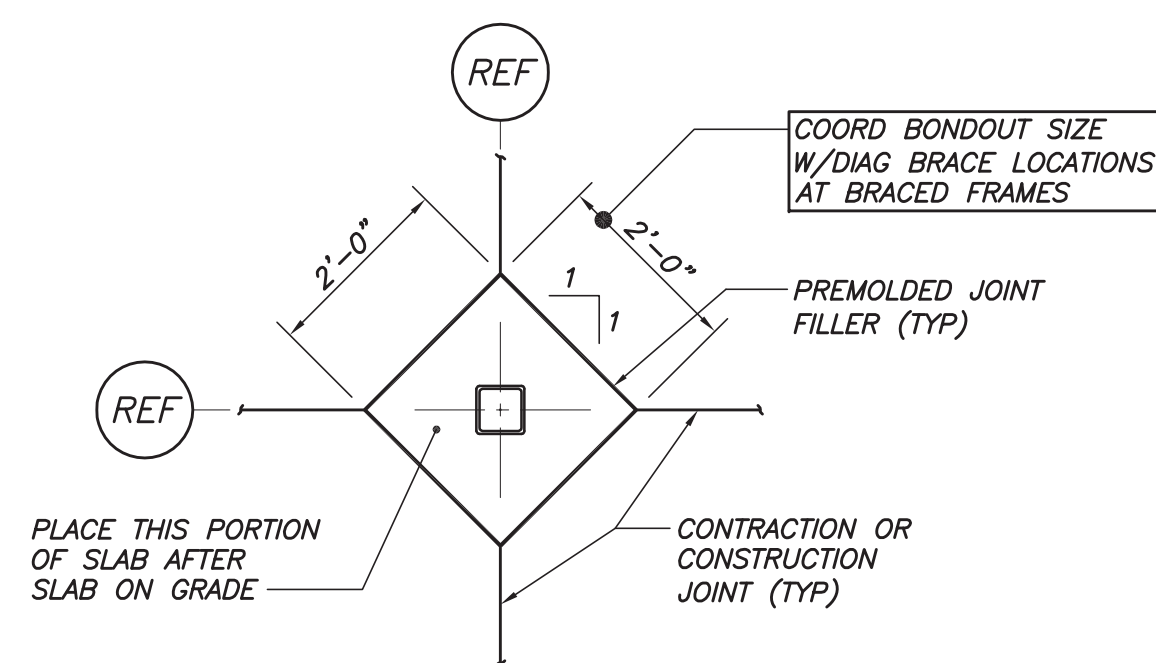
TYP CONSTRUCTION JOINT IN WALL
N.T.S.



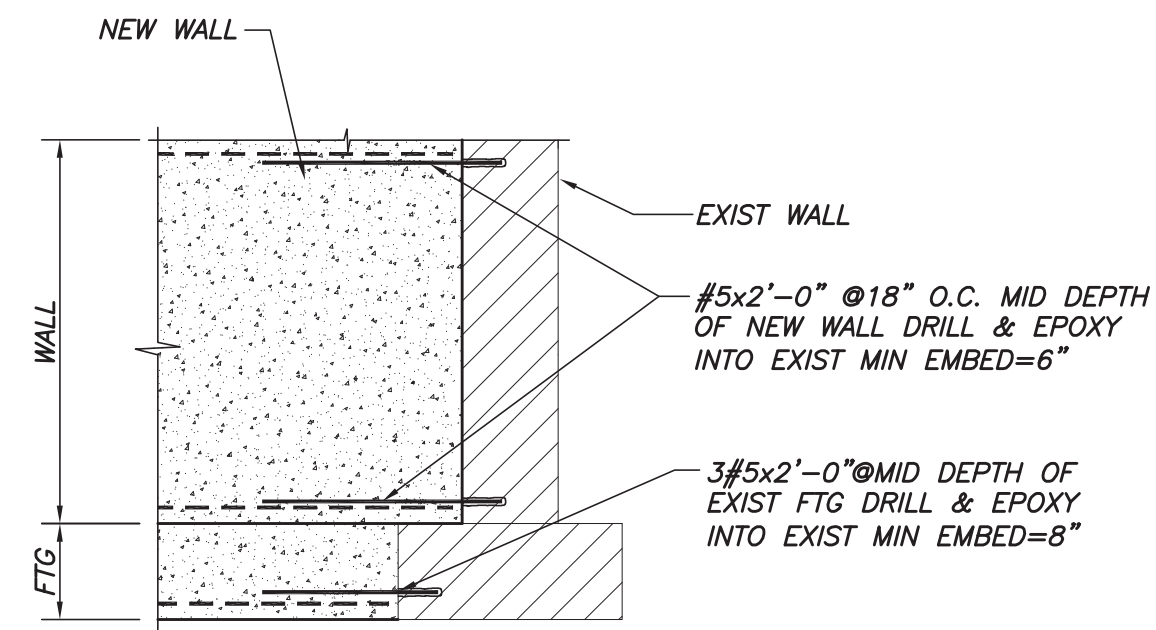
TYP OPENING IN WALL OR SLAB DETAIL
N.T.S.



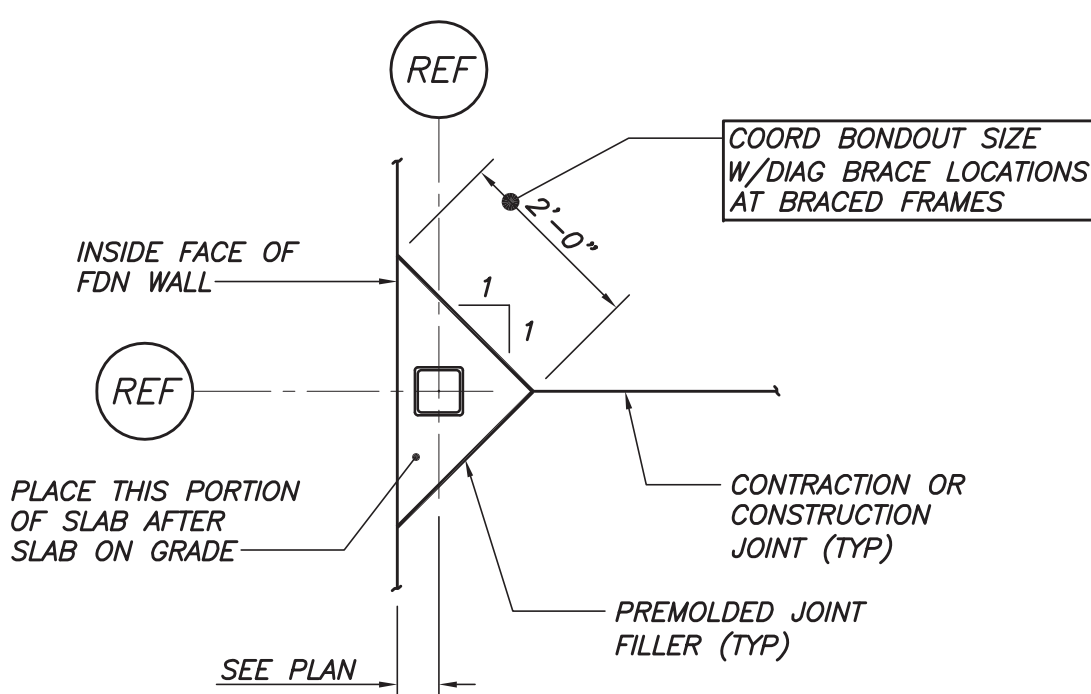
TYPICAL SLAB INFILL DETAIL
N.T.S.



TYP INT COLUMN ISOLATION JOINT DETAIL
N.T.S.



TYP NEW WALL/EXIST WALL INTERFACE
N.T.S.



TYP EXT COLUMN ISOLATION JOINT DETAIL
N.T.S.

BAR SIZE	LAP LENGTH		
	3,000 PS1	3,500 PS1	4,000 PS1
#3	30"	28"	24"
#4	36"	34"	32"
#5	48"	45"	42"
#6	56"	52"	48"
#7	81"	78"	72"
#8	93"	88"	80"

CLIENT

PORTSMOUTH SENIOR ACTIVITY CENTER

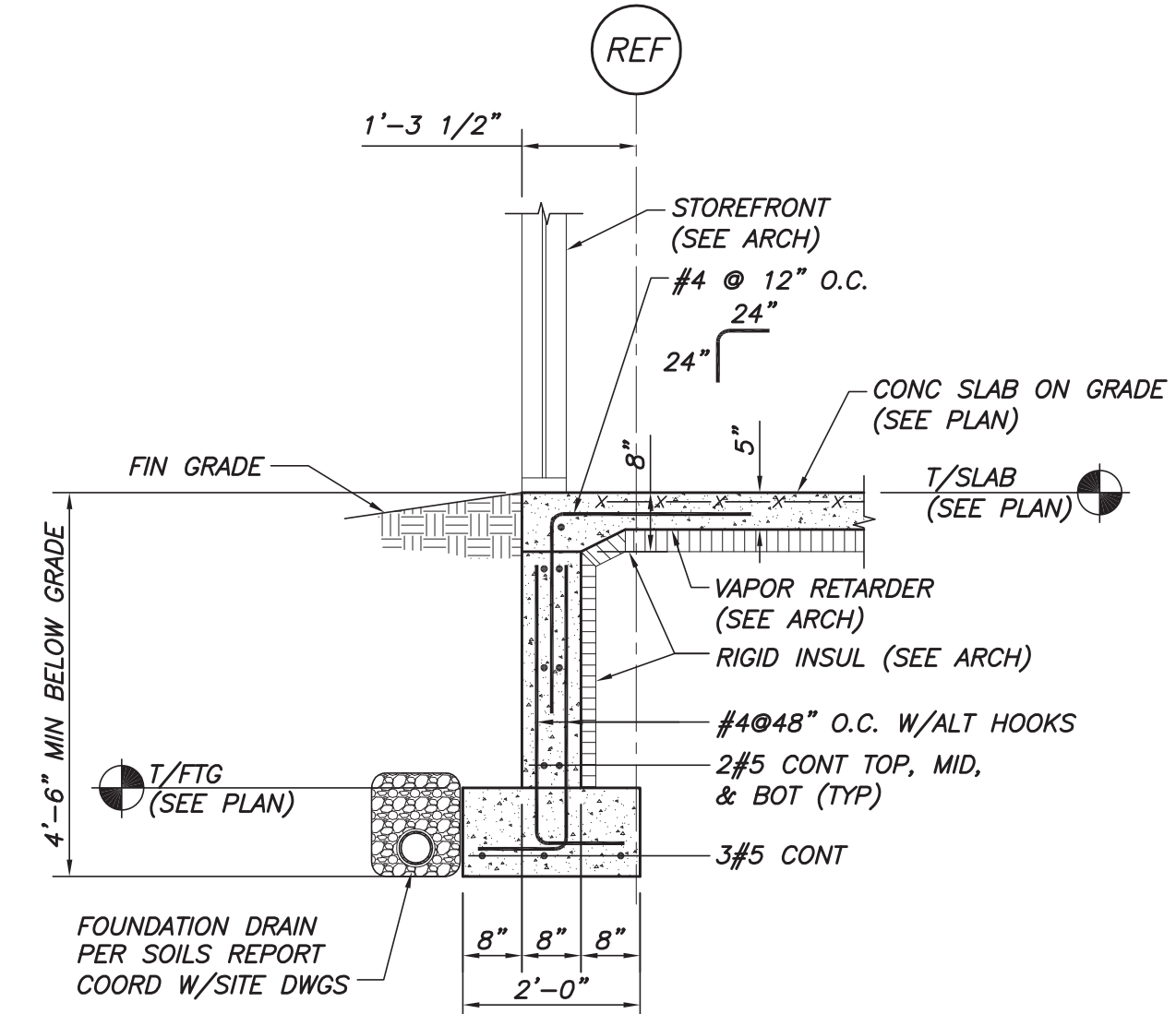
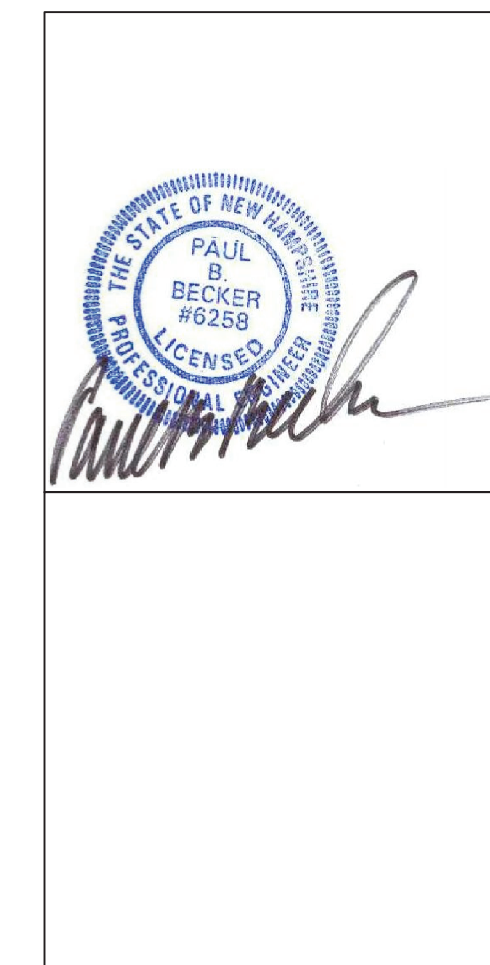
125 COTTAGE ST.
PORTSMOUTH, NH

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018

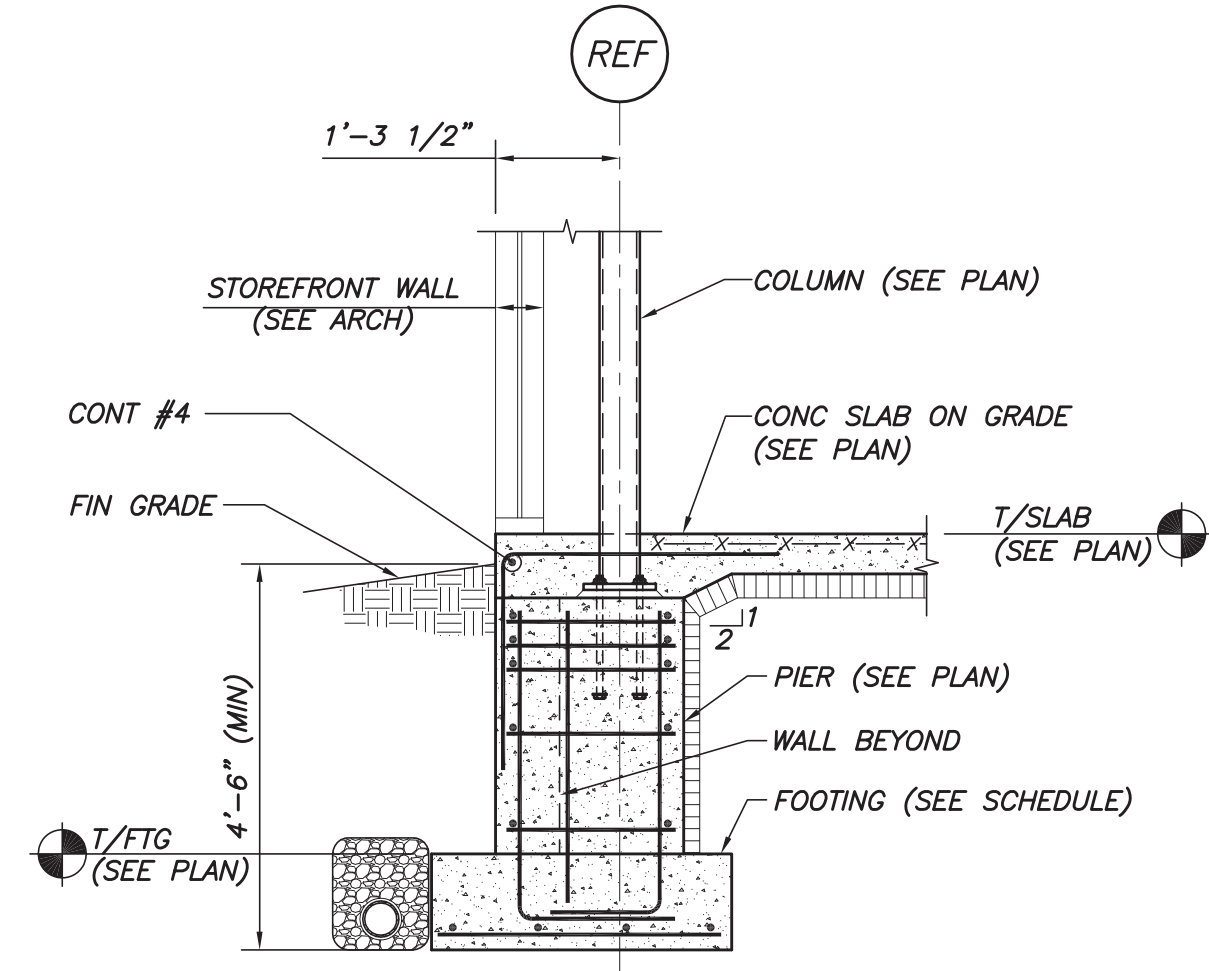
TYPICAL FOUNDATION DETAILS

PROJECT NO.:	4217
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	MSK
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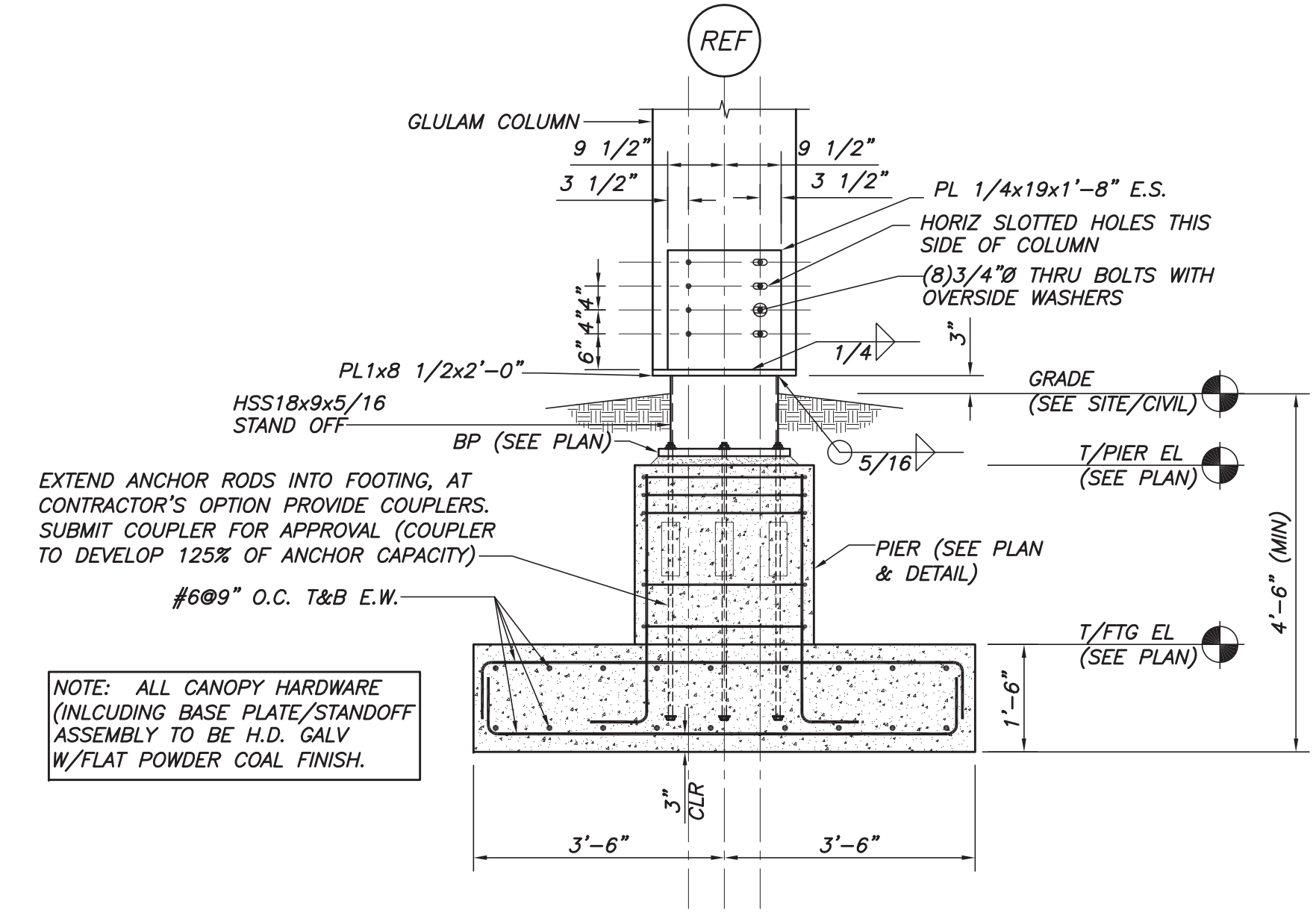
PROJECT PHASE:
FOR CONSTRUCTION



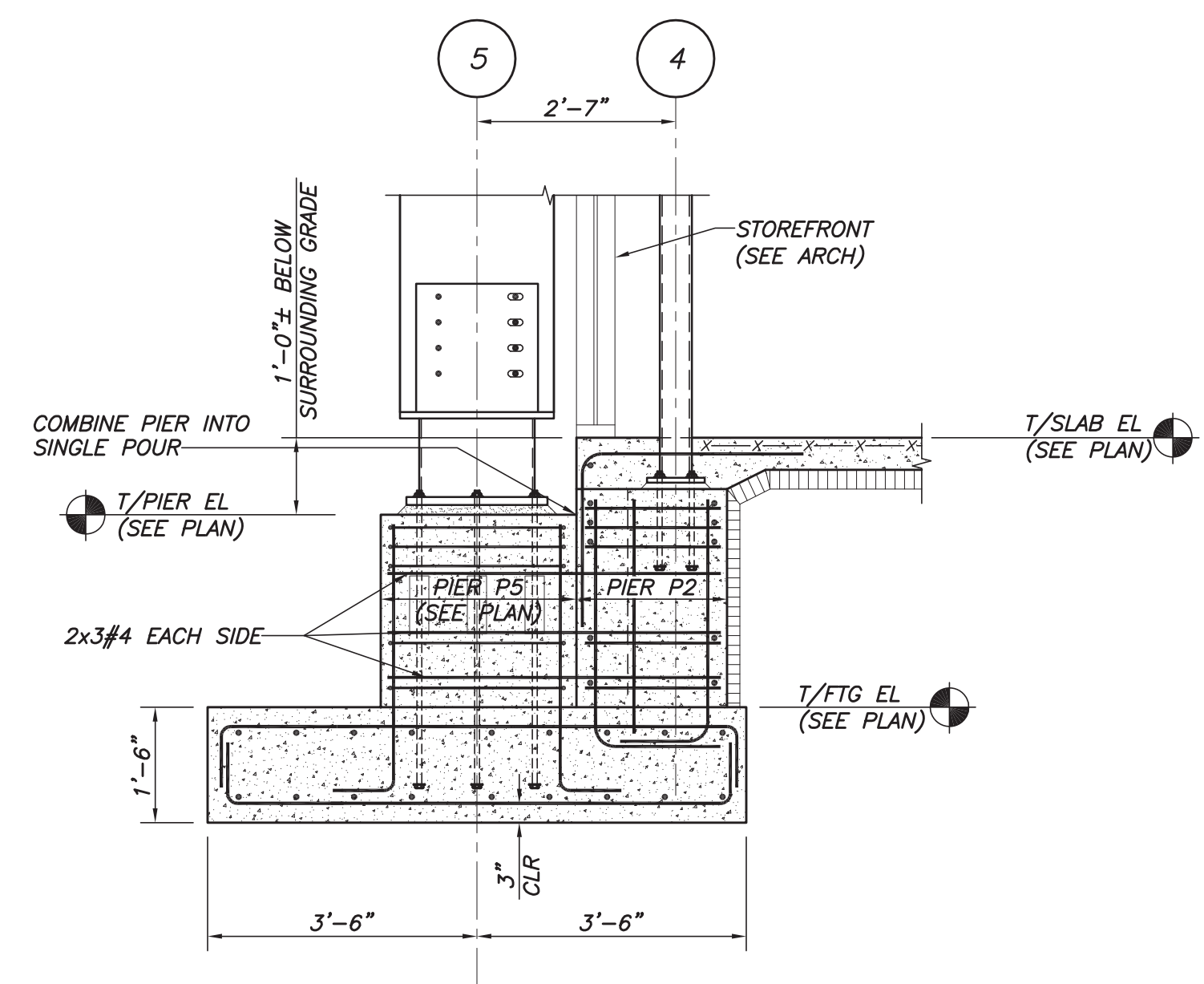
SECTION 1
1/2"=1'-0" S1.1



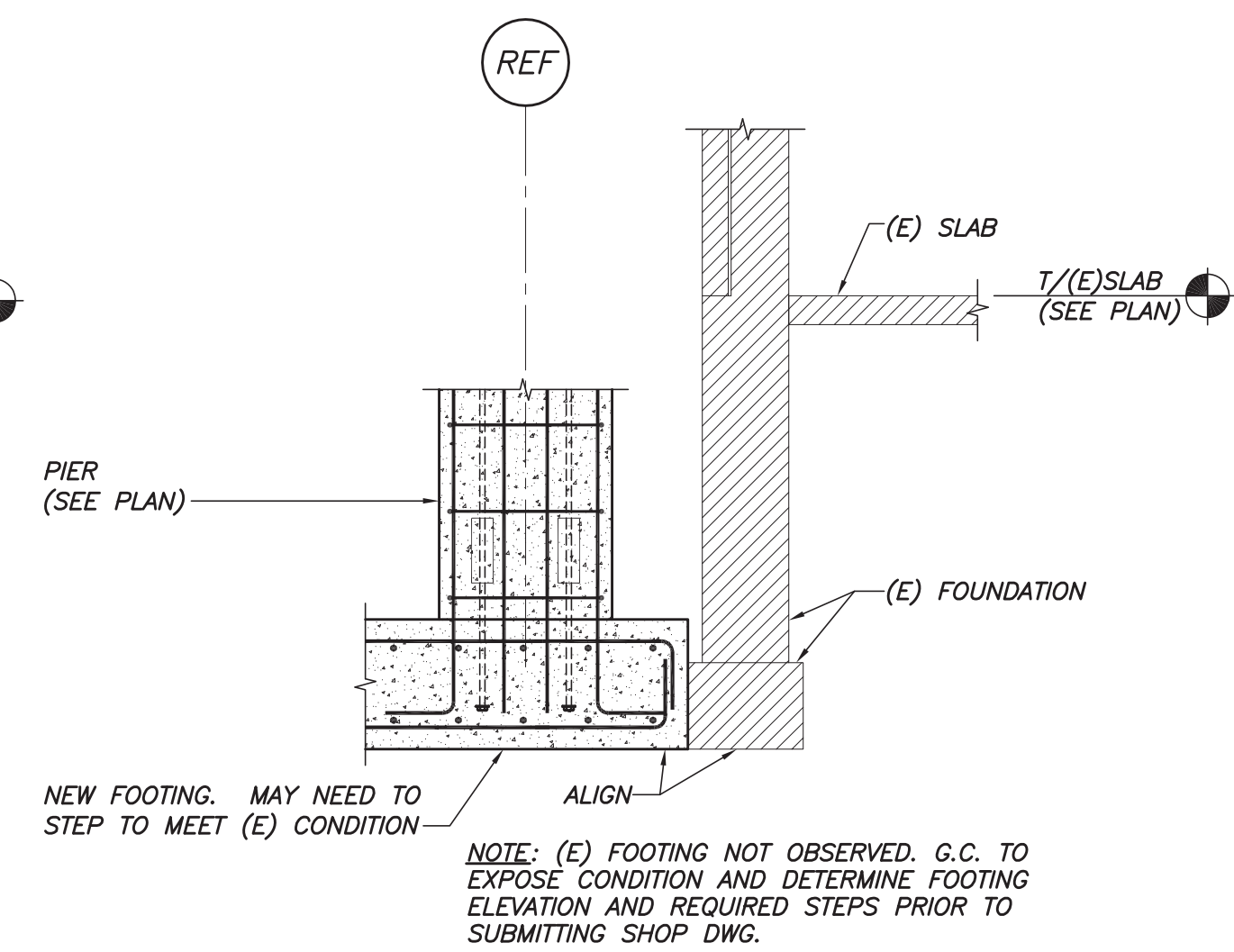
SECTION 2
1/2"=1'-0" S1.1



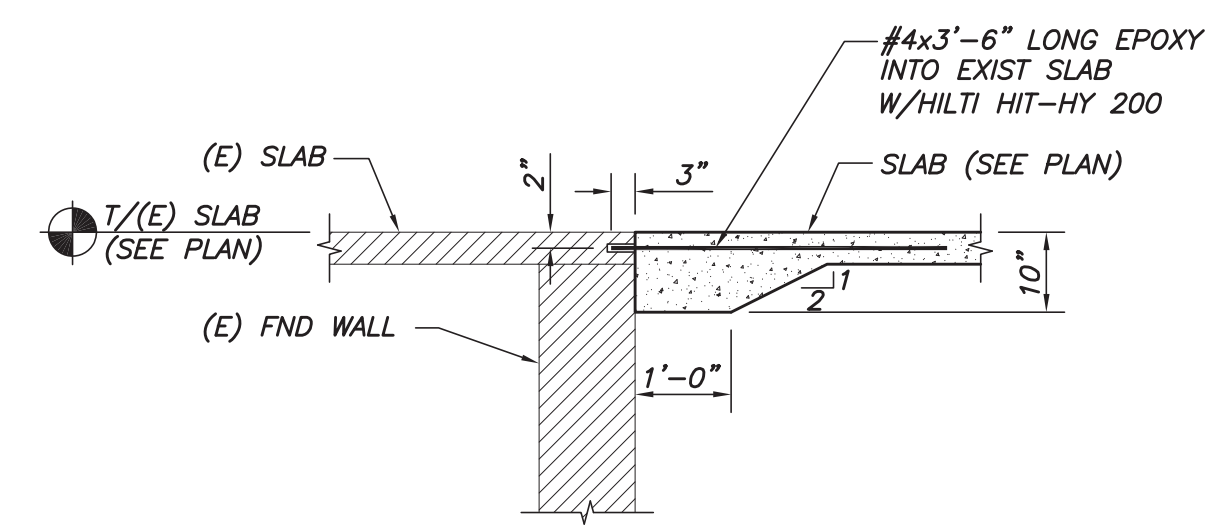
SECTION 3
1/2"=1'-0" S1.1



SECTION 4
1/2"=1'-0" S1.1



SECTION 5
1/2"=1'-0" S1.1



SECTION 6
1/2"=1'-0" S1.1

CLIENT

PORTSMOUTH SENIOR ACTIVITY CENTER

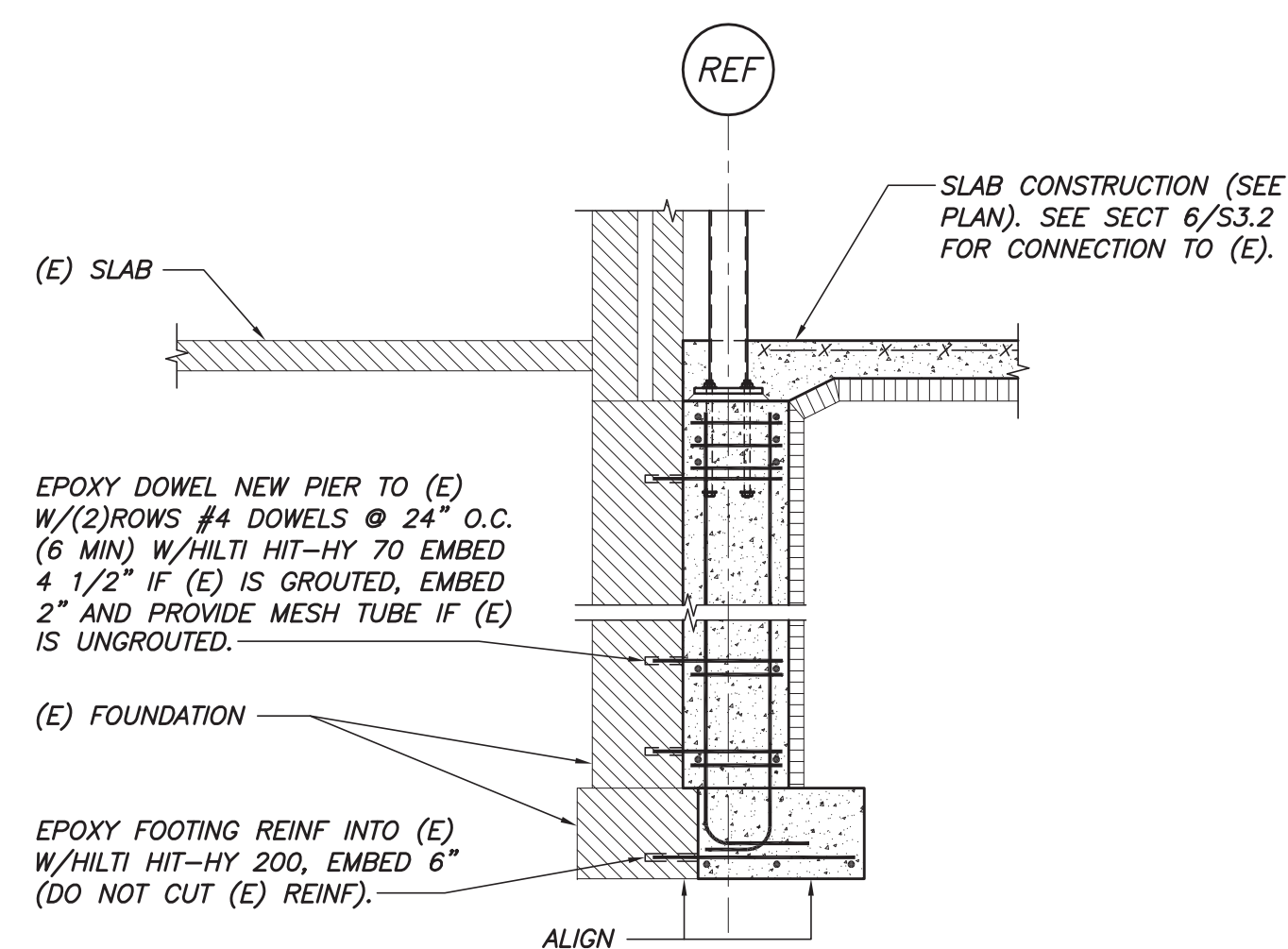
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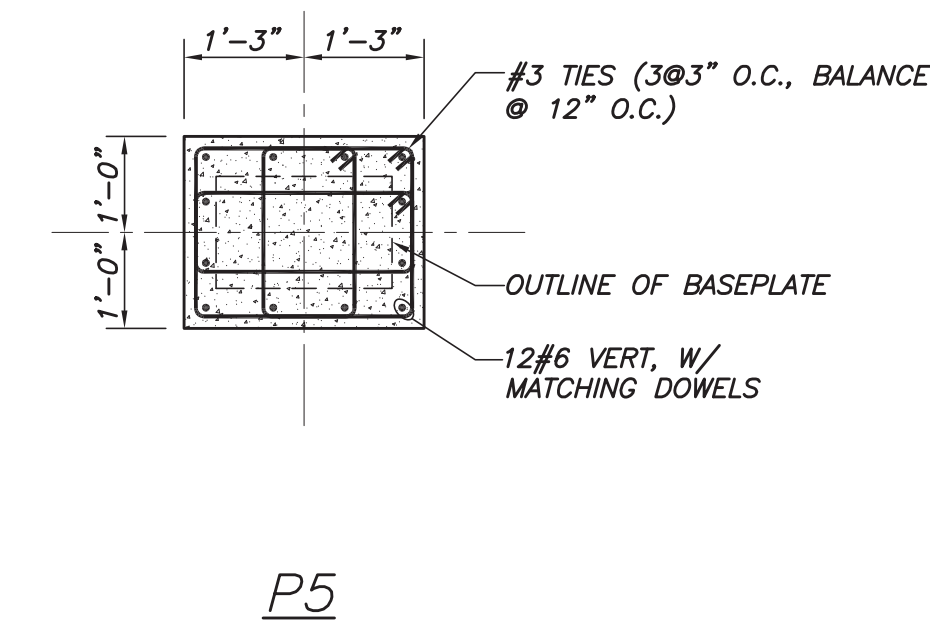
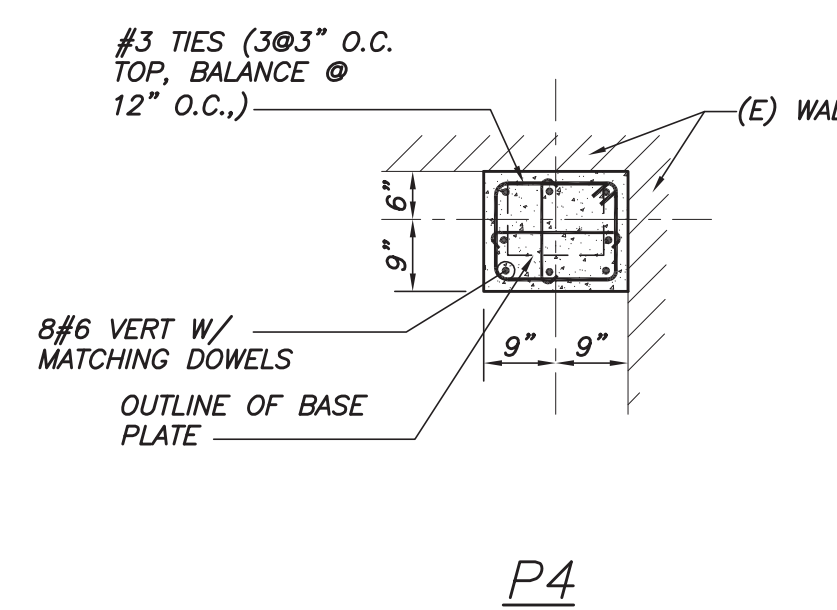
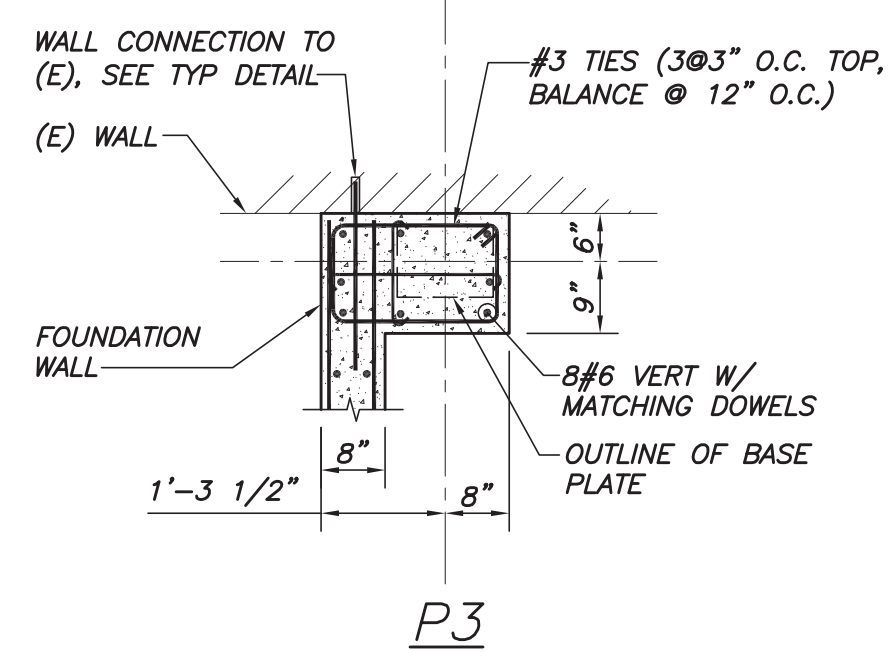
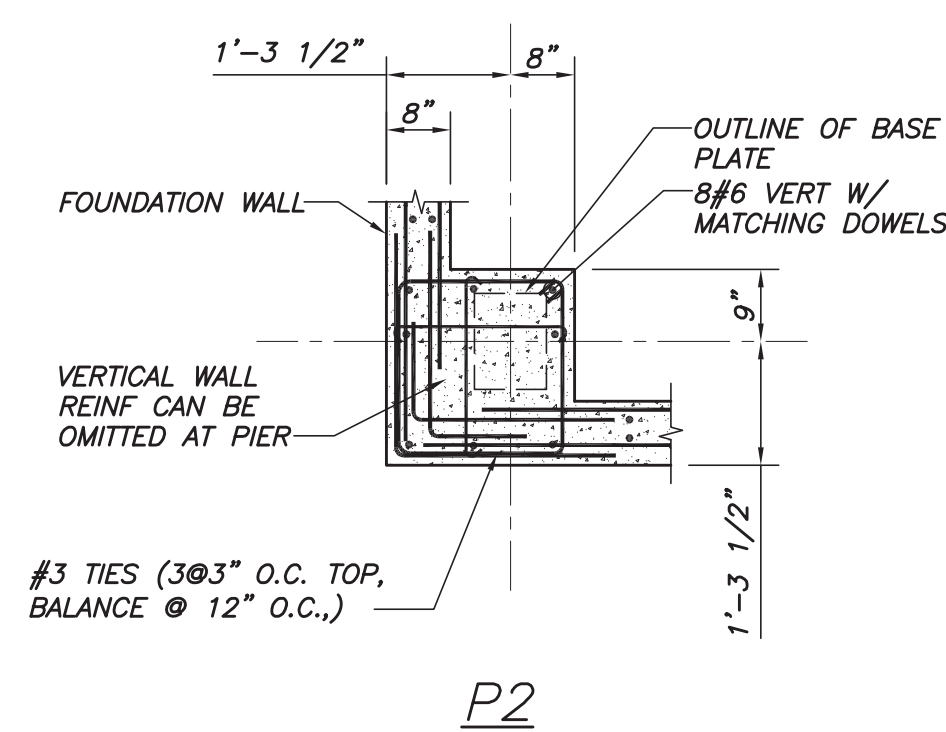
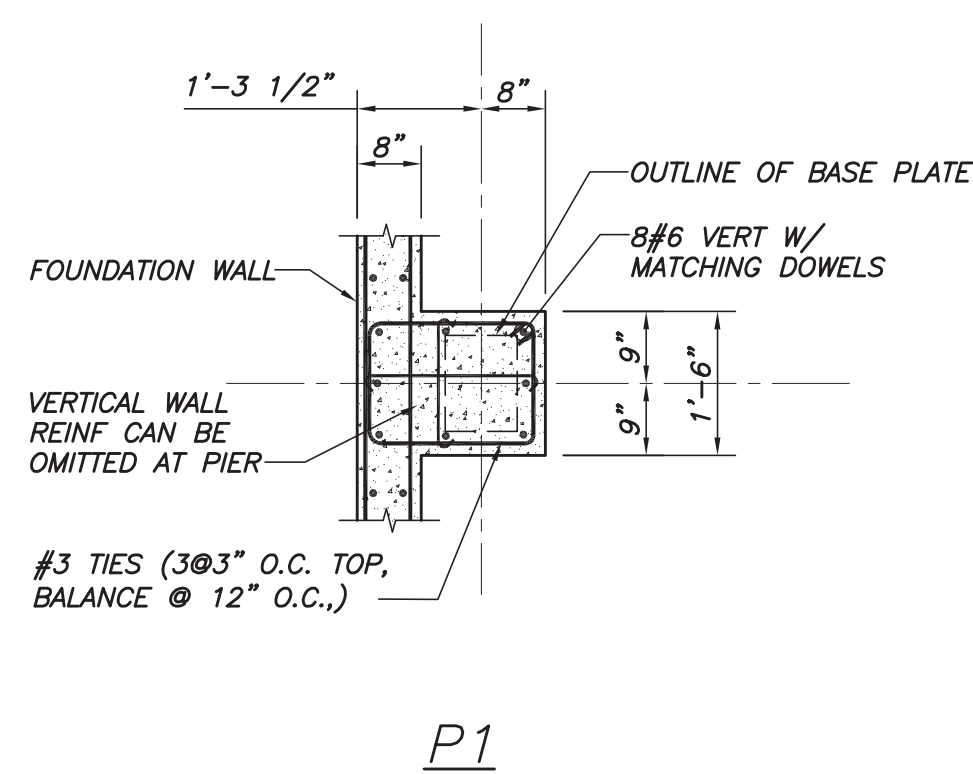
FOUNDATION SECTIONS AND DETAILS

PROJECT NO.:	4217
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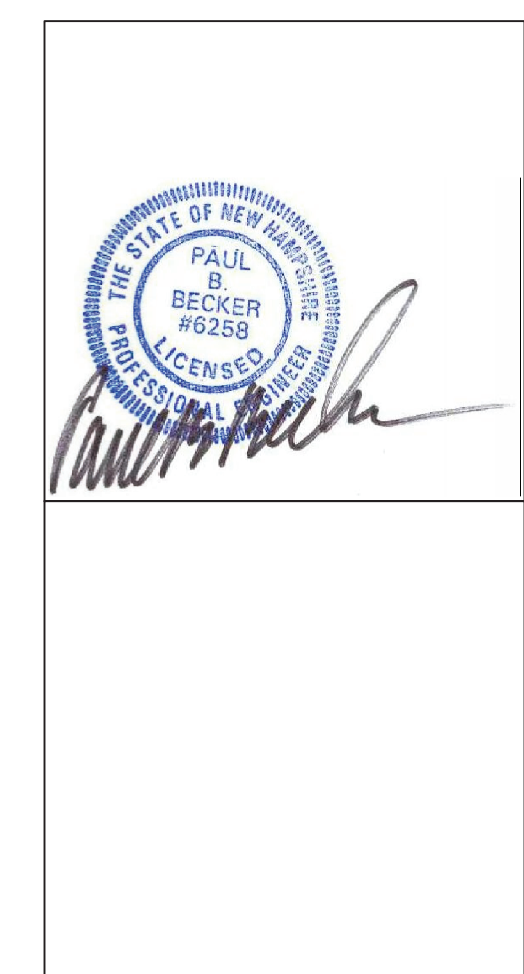
PROJECT PHASE:
FOR CONSTRUCTION



SECTION 1
1/2"=1'-0"



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PORTSMOUTH
SENIOR ACTIVITY
CENTER

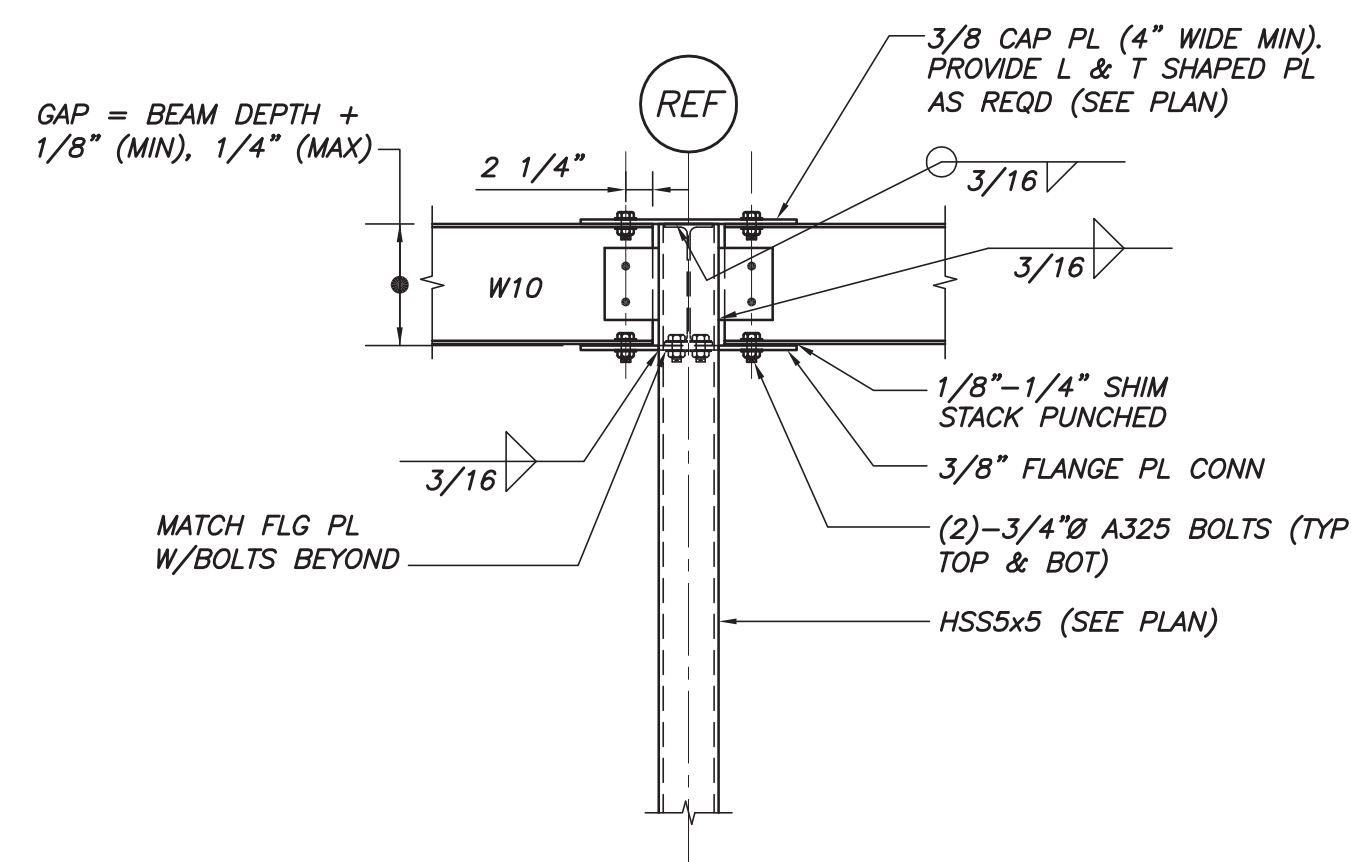
125 COTTAGE ST.
PORTSMOUTH, NH

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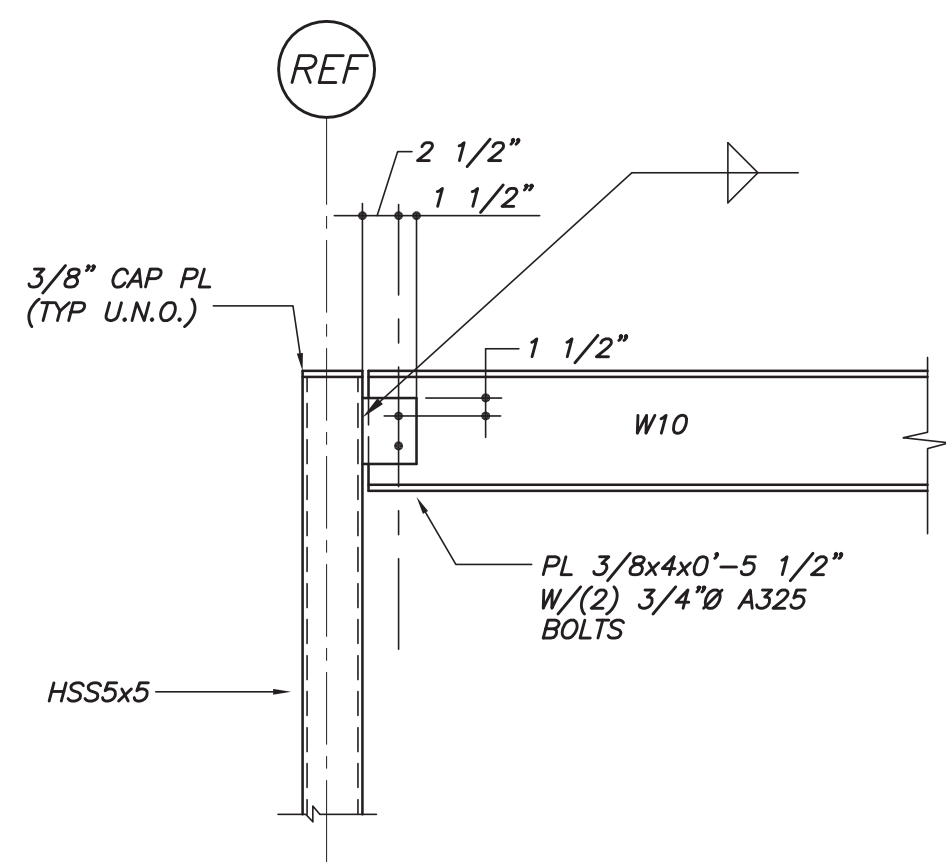
FOUNDATION SECTIONS
AND DETAILS

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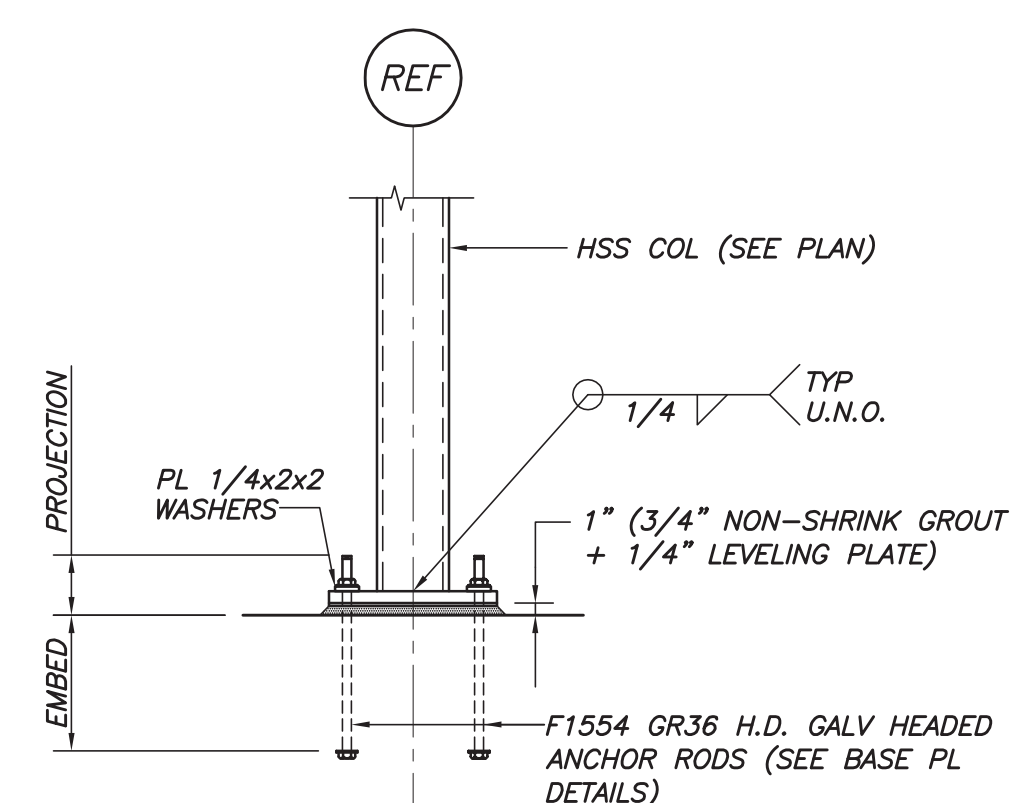
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FOR CONSTRUCTION



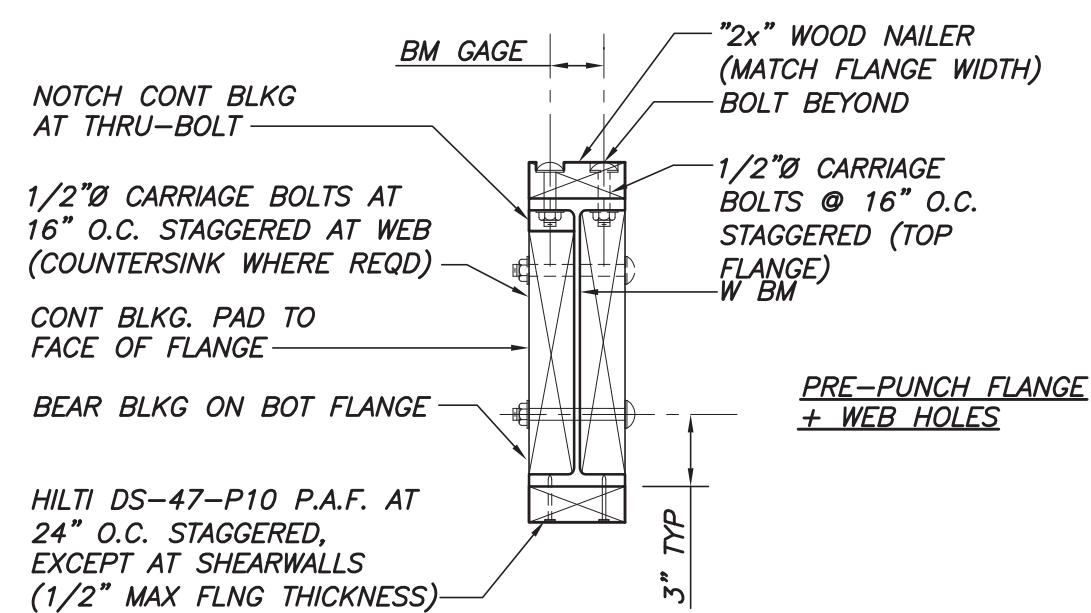
TYPICAL W10 TO HSS MOMENT CONN DETAIL
N.T.S.



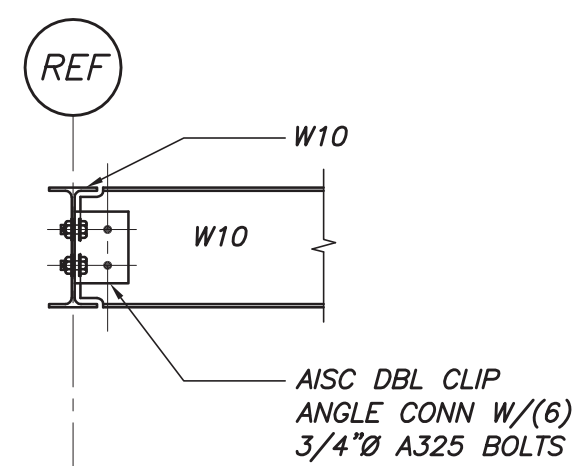
TYP BEAM TO HSS COL CONN U.N.O.
N.T.S.



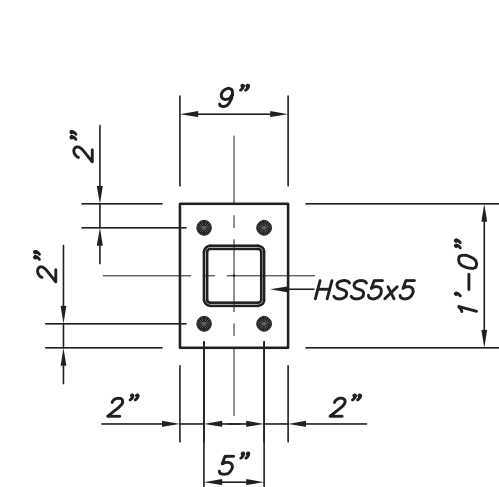
TYP COL BASE DETAIL U.N.O.
N.T.S.



TYP WOOD NAILER/WEB BLKG TO W-BM DETAIL
N.T.S.

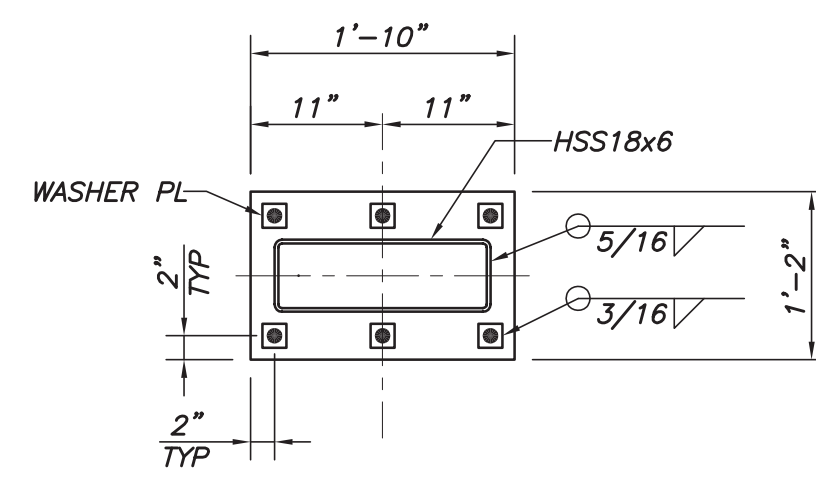


TYP BEAM TO BEAM DETAIL U.N.O.
N.T.S.



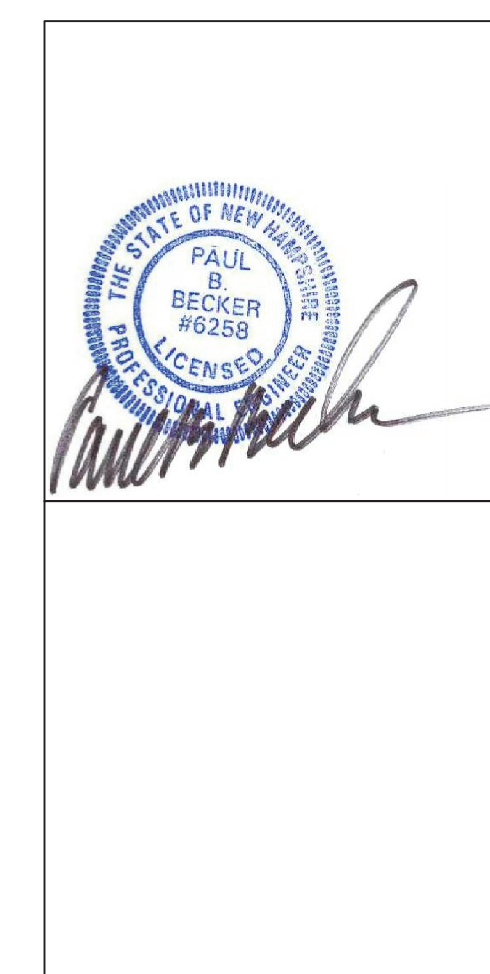
PL 3/4x9x1'-0"
W/(4)-1 5/16" HOLES FOR
(4)-3/4" GALV ANCHOR RODS.
EXTEND ANCHOR THROUGH PIER
AND 1'-0" INTO FOOTING.
BASE PLATE TO BE H.D. GALV.

BP-A



PL 1x14x1'-10"
W/(6)-1 5/16" HOLES FOR
(6)-3/4" GALV ANCHOR RODS.
EXTEND ANCHOR THROUGH PIER
AND 1'-0" INTO FOOTING.
BASE PLATE TO BE H.D. GALV.

BP-B



CLIENT

PORTSMOUTH
SENIOR ACTIVITY
CENTER

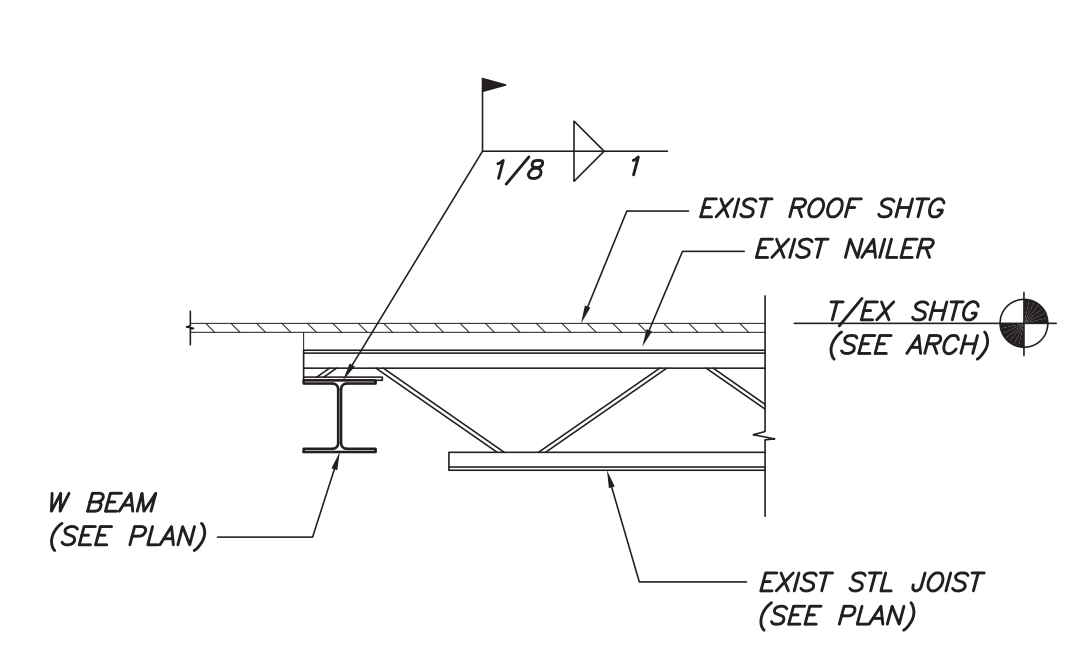
125 COTTAGE ST.
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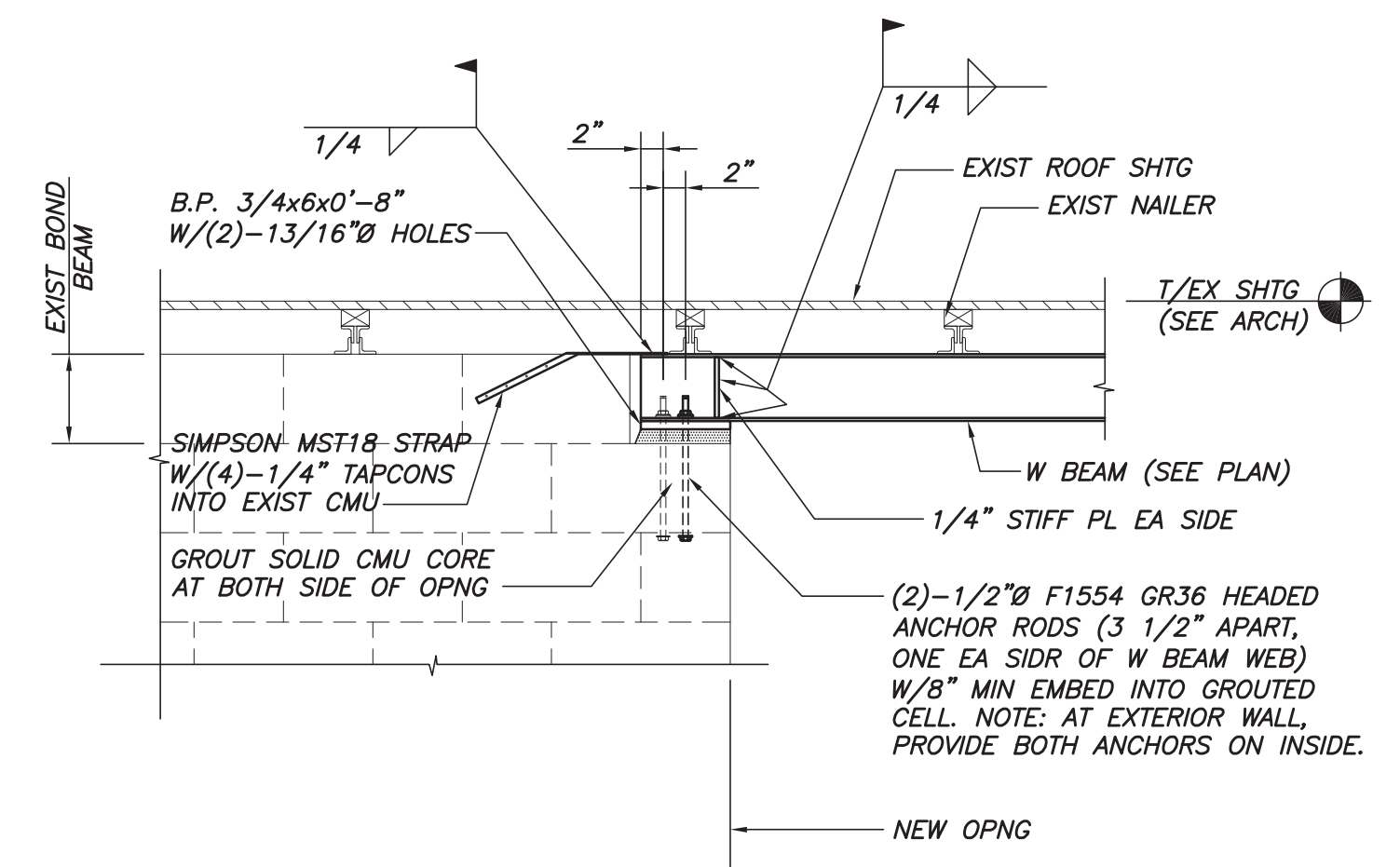
TYPICAL FRAMING
DETAILS

PROJECT NO.:	4217
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DRAWN BY:	MSK
REVIEWED BY:	GAB

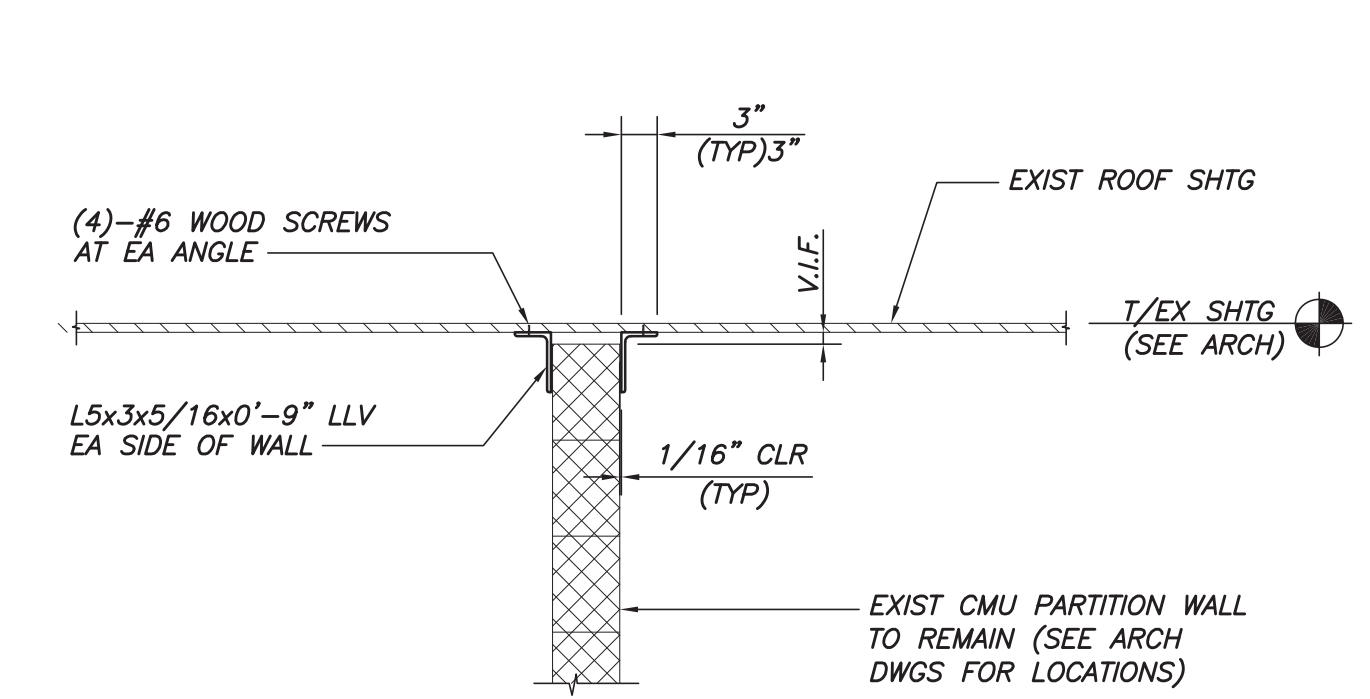
PROJECT PHASE:
FOR CONSTRUCTION



SECTION 1
3/4"=1'-0"

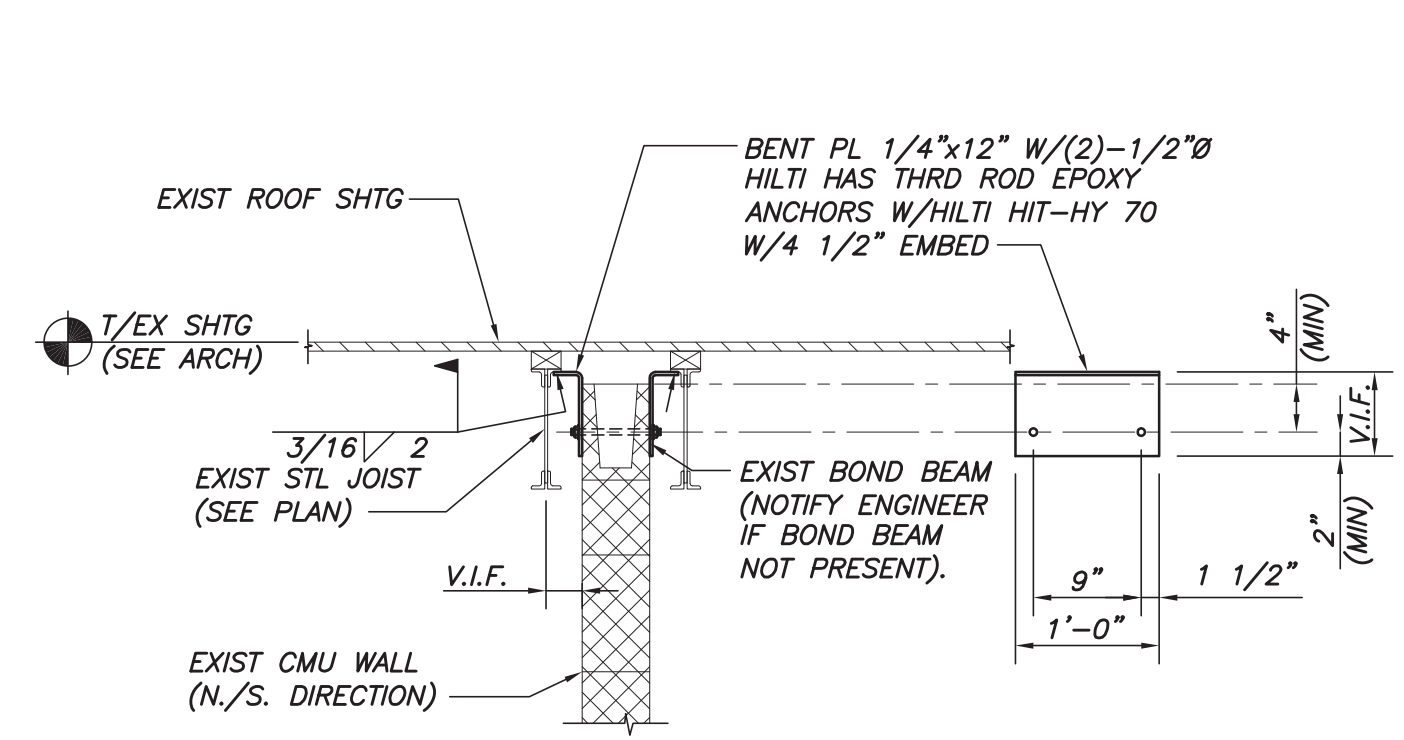


SECTION 2
3/4"=1'-0"



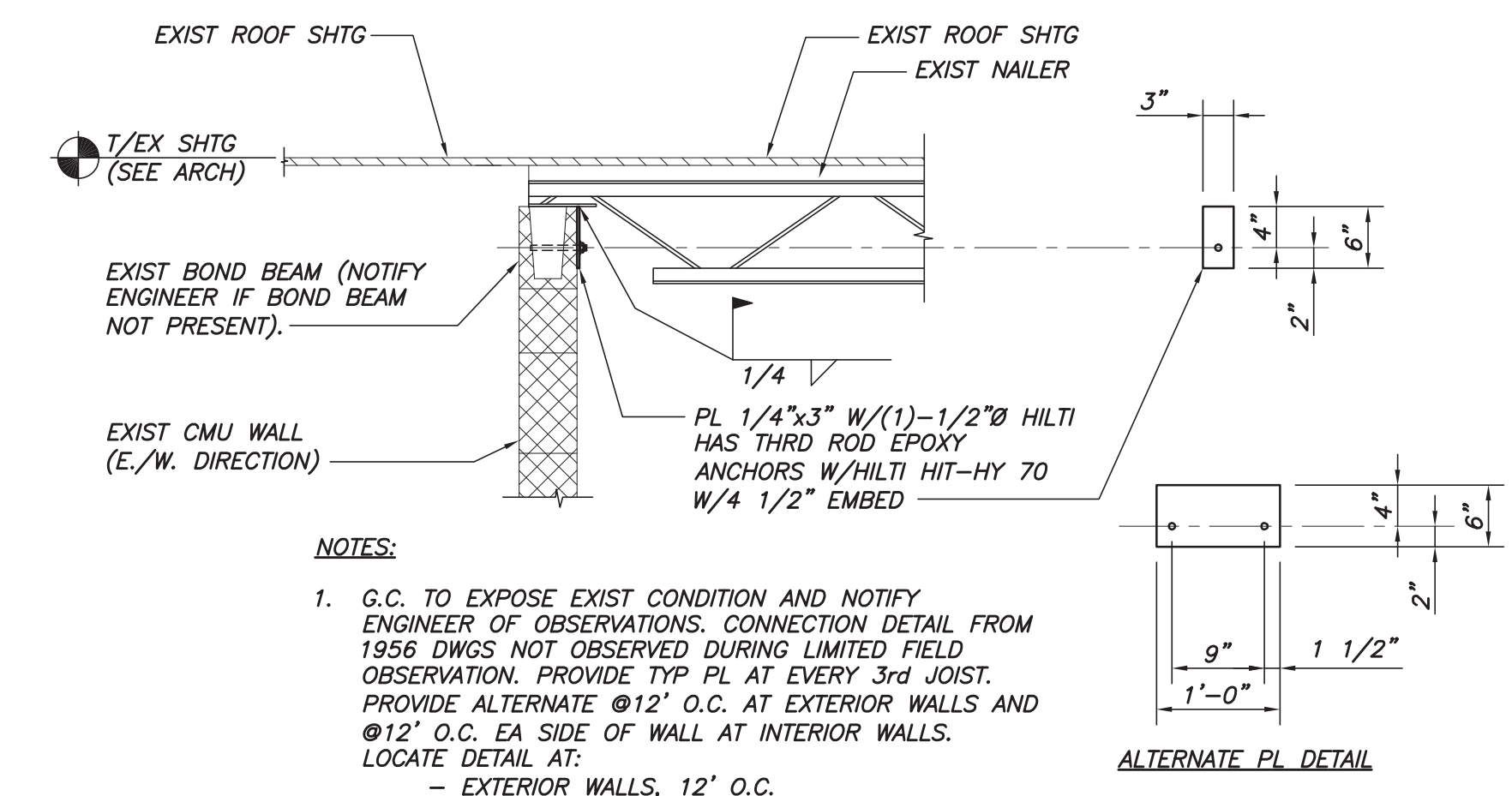
SECTION 3
3/4"=1'-0"

NOTES:
1. G.C. TO VERIFY IN THE FIELD TOP BRACING OF EXIST PARTIONS. IF EXIST PARTITIONS ARE UNBRACED, PROVIDE THIS DETAIL @48" O.C. MAX.



NOTES:
1. G.C. TO EXPOSE EXIST CONDITION AND NOTIFY ENGINEER OF OBSERVATIONS. CONNECTION DETAIL IN ORIGINAL DWGS NOT OBSERVED DURING LIMITED FIELD OBSERVATION.
2. DETAIL SIM AT EXTERIOR WALLS.
3. PROVIDE COST AS ADD ALTERNATE.

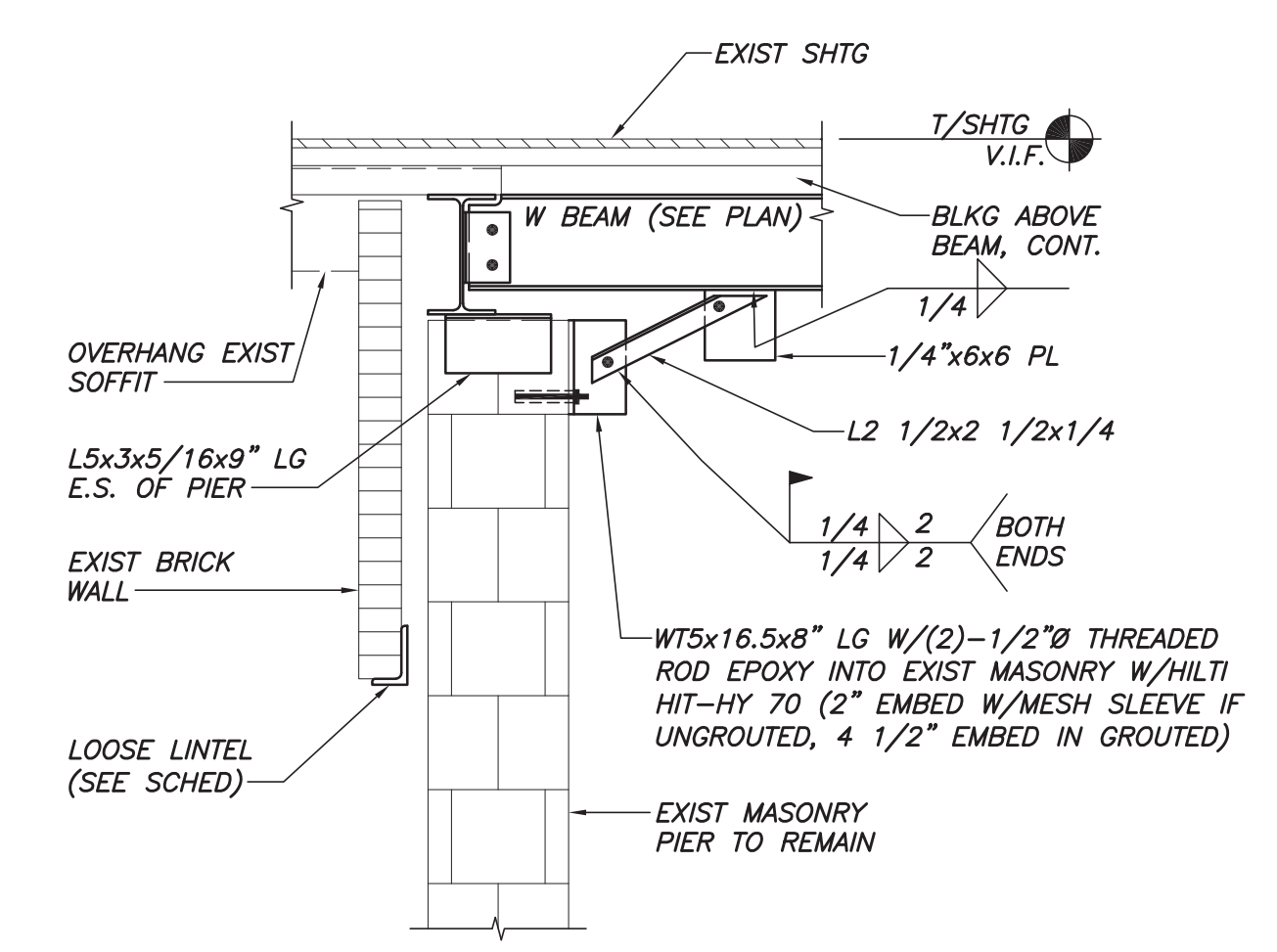
SECTION 4
3/4"=1'-0"



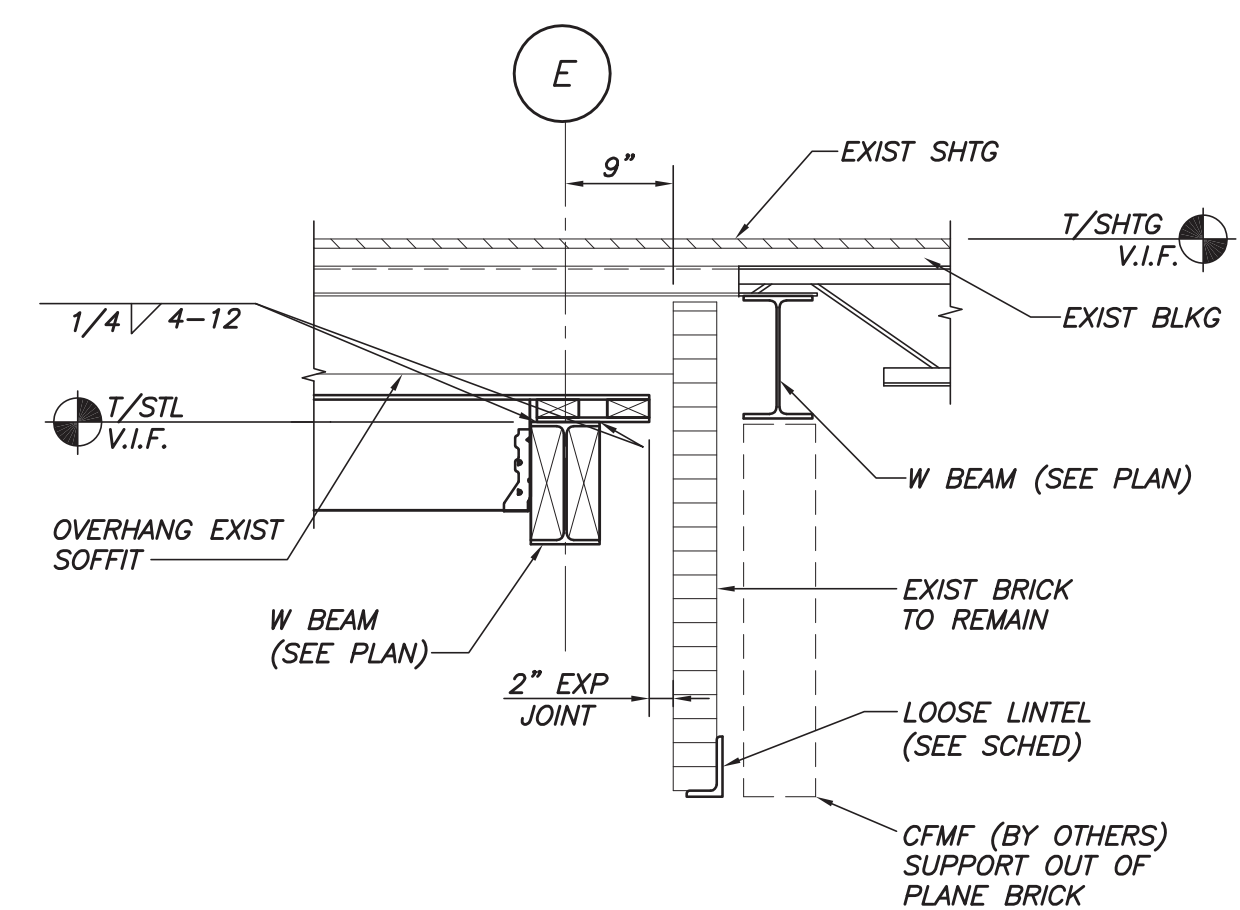
NOTES:
1. G.C. TO EXPOSE EXIST CONDITION AND NOTIFY ENGINEER OF OBSERVATIONS. CONNECTION DETAIL FROM 1956 DWGS NOT OBSERVED DURING LIMITED FIELD OBSERVATION. PROVIDE TYP PL AT EVERY 3rd JOIST. PROVIDE ALTERNATE @12' O.C. AT EXTERIOR WALLS AND @12' O.C. EA SIDE OF WALL AT INTERIOR WALLS. LOCATE DETAIL AT:
- EXTERIOR WALLS, 12' O.C.
- INTERIOR WALLS, 5' O.C. EA SIDE STAGGERED
2. DETAIL SIM AT EXTERIOR WALLS.
3. AT JOIST SUPPORTED ON EXIST STL BEAM, WELD EVERY 3rd JOIST TO BEAM.
4. PROVIDE COST AS ADD ALTERNATE.

SECTION 5
3/4"=1'-0"

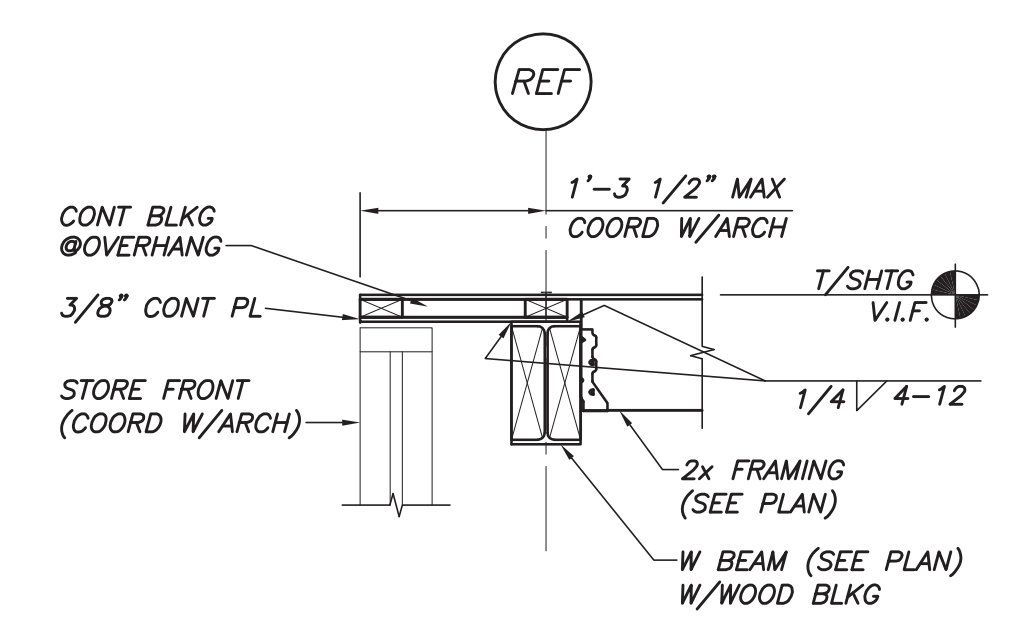
ALTERNATE PL DETAIL



SECTION 6
3/4"=1'-0"



SECTION 7
3/4"=1'-0"



SECTION 8
3/4"=1'-0"

CLIENT

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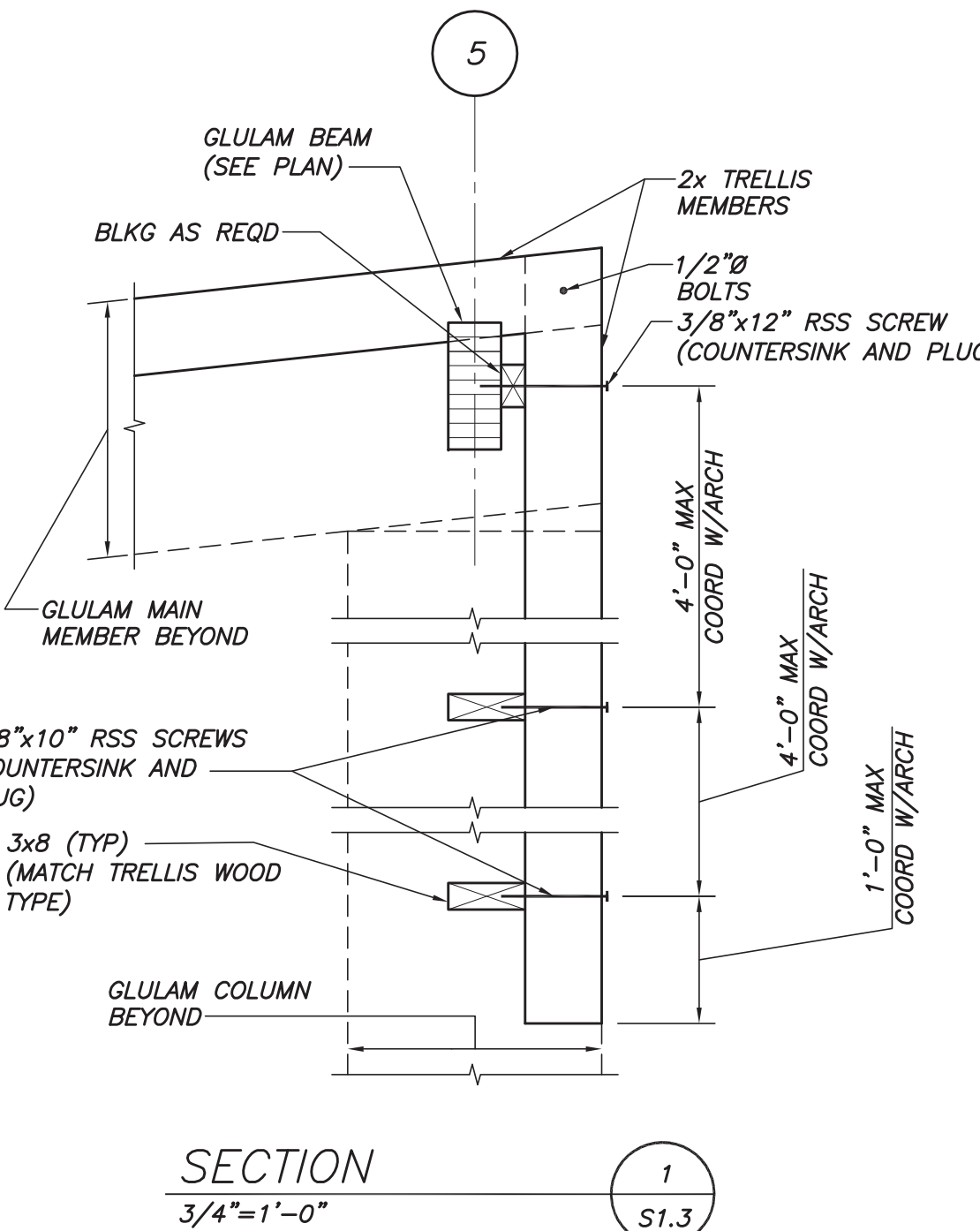
125 COTTAGE ST.
PORTSMOUTH, NH

REVISIONS		
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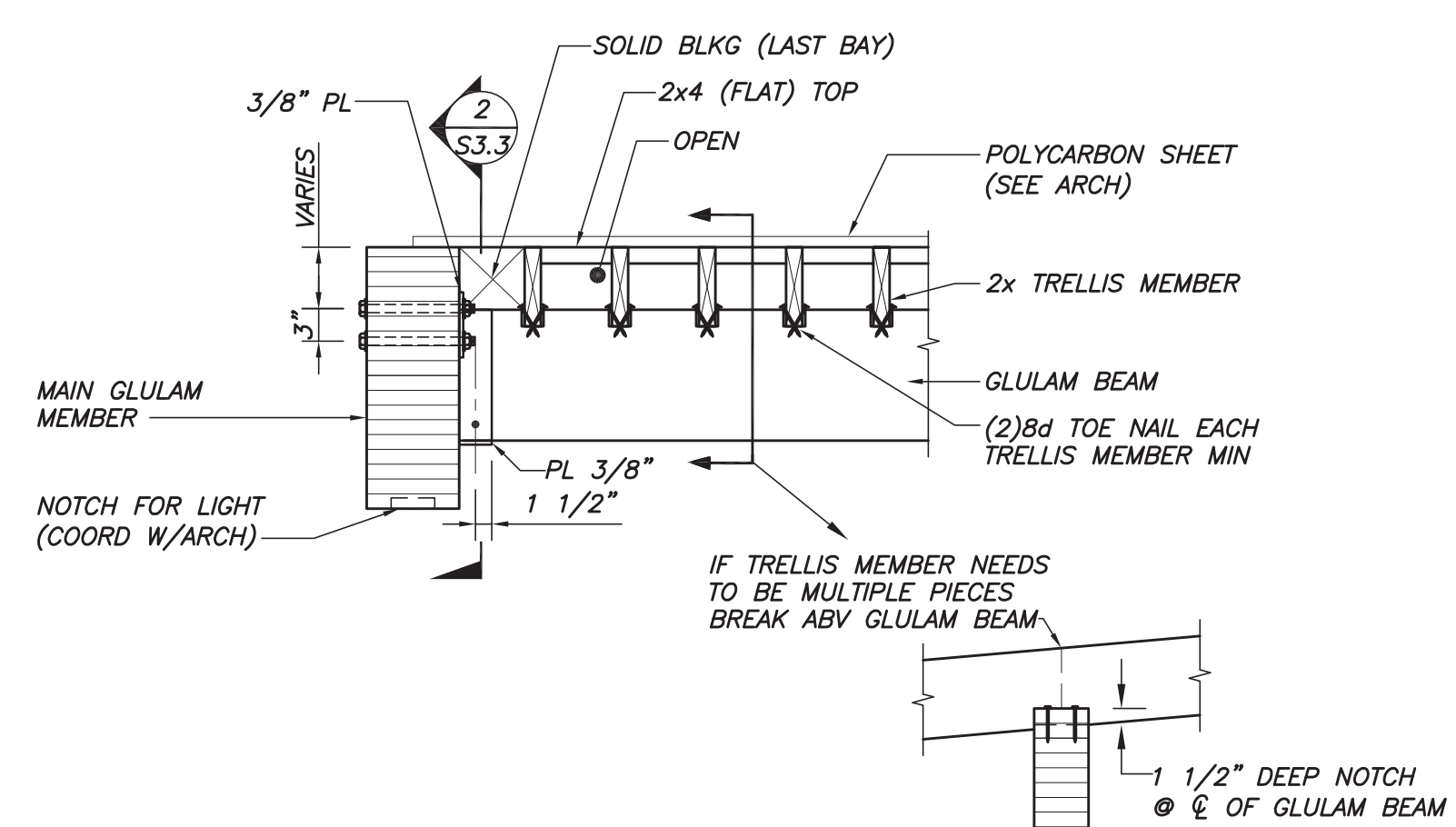
FRAMING SECTIONS AND DETAILS

PROJECT NO.:	4217
DATE ISSUED:	02/23/2018
SCALE:	
DRAWN BY:	MSK
REVIEWED BY:	CAB

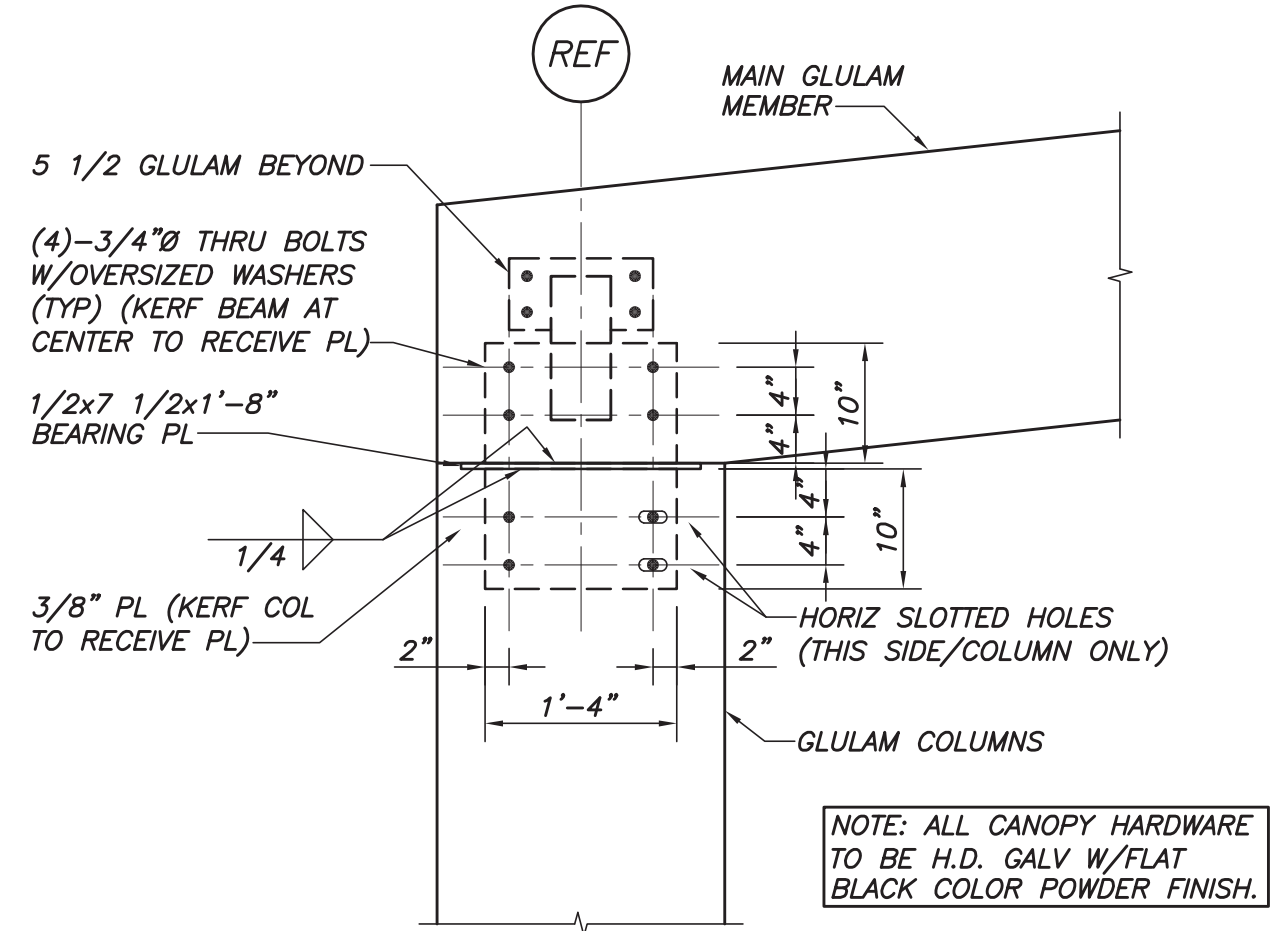
PROJECT PHASE:
FOR CONSTRUCTION



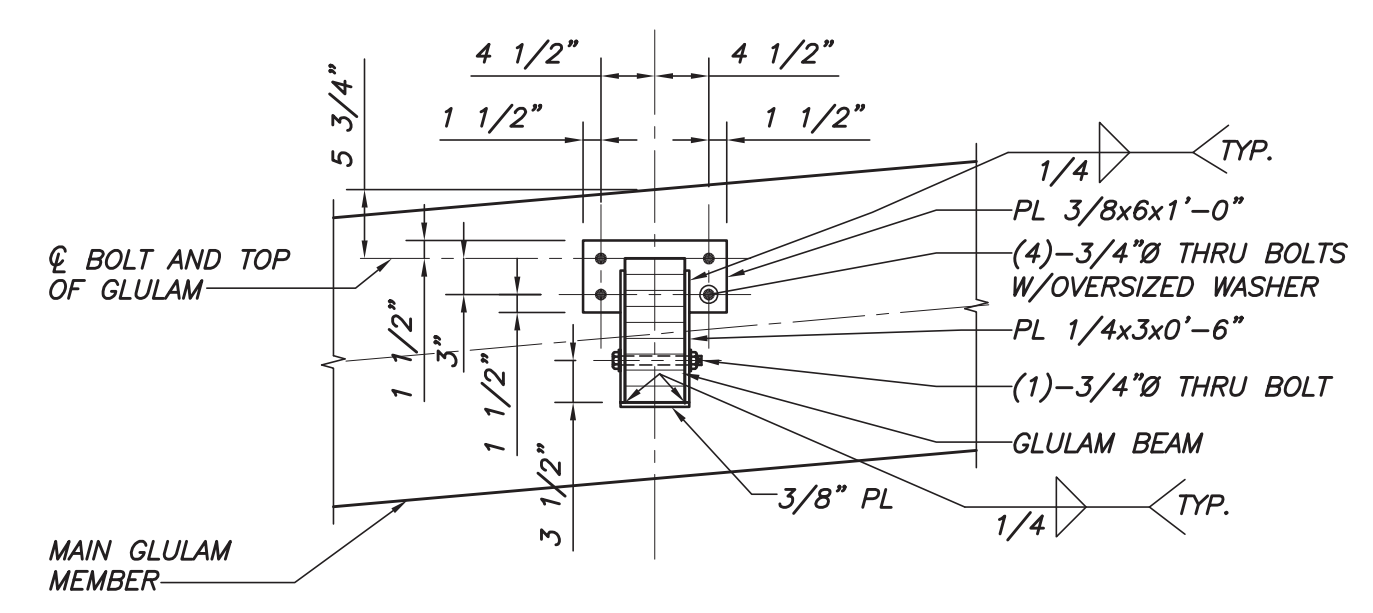
SECTION 1
3/4"=1'-0" S1.3



SECTION 2
3/4"=1'-0" S1.3



SECTION 3
3/4"=1'-0" S1.3



SECTION 4
3/4"=1'-0" S1.3

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PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE ST.
PORTSMOUTH, NH

REVISIONS		
No.	DESCRIPTION	DATE
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FRAMING SECTIONS AND DETAILS

PROJECT NO.: 4217
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SCALE:
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PROJECT PHASE:
FOR CONSTRUCTION

1 2 3 4 5 6 7 8 9 10 11 12

ELECTRIC GENERAL NOTES

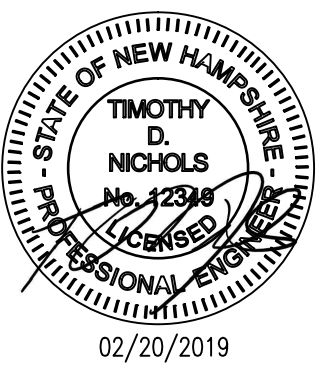
1. CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL WORK IN ACCORDANCE WITH ALL RELEVANT CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO INTERNATIONAL BUILDING CODE 2006, NATIONAL ELECTRICAL CODE (NFPA 70) 2011, INTERNATIONAL FIRE CODE 2006, LIFE SAFETY CODE (NFPA 101) 2009, AND THE INTERNATIONAL ENERGY CONSERVATION CODE 2006.
2. THE ELECTRICAL DEMOLITION PLANS AND DETAILS INDICATE THE GENERAL INTENT AND ARE NOT INTENDED TO SHOW ALL ITEMS TO BE REMOVED OR RETAINED. THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE SUBMISSION OF BIDS TO BECOME FAMILIAR WITH THE ACTUAL CONDITIONS AND EXTENT OF WORK. DEVICES AND EQUIPMENT LOCATED ON WALLS AND/OR CEILINGS TO BE REMOVED SHALL BE DISCONNECTED FOR REMOVAL PER OSHA CONSTRUCTION STANDARDS. THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY UNANTICIPATED OR HIDDEN CONDITIONS ENCOUNTERED DURING DEMOLITION.
3. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL SYSTEMS OR BUILDING COMPONENTS DAMAGED DURING THE EXECUTION OF WORK. DAMAGE SHALL INCLUDE BUT NOT BE LIMITED TO THE REMOVAL OR DISPOSAL OF ITEMS INTENDED TO REMAIN OR BE SALVAGED.
4. THE ELECTRICAL CONTRACTOR SHALL DE-ENERGIZE AND REMOVE ALL CONDUCTORS AND RACEWAYS TO THEIR POINT OF ORIGIN WITHIN THE AREA OF DEMOLITION SCOPE. ITEMS IDENTIFIED FOR DEMOLITION SHALL NOT BE ABANDONED IN PLACE. RACEWAYS THAT ENTER MASONRY WALLS AND FLOORS SHALL BE CUT FLUSH AT THE SURFACE FOR PATCHING BY TRADE CONTRACTOR. ALL CIRCUIT BREAKERS ASSOCIATED WITH THE DEMOLITION SCOPE SHALL BE DE-ENERGIZED AND LABELED AS SPARE.
5. ALL REMOVED ITEMS SHALL BE DISPOSED AT PERMITTED DISPOSAL FACILITIES UNLESS IDENTIFIED FOR TURNED OVER TO OWNER. THE OWNER'S REPRESENTATIVE SHALL INSPECT ALL RETAINED ITEMS PRIOR TO PLACEMENT IN THE IDENTIFIED STORAGE LOCATION BY THE ELECTRICAL CONTRACTOR.
6. CIRCUIT NUMBERS ARE DIAGRAMMATIC. NUMBERS SHALL BE DETERMINED IN THE FIELD AND REFLECTED ON AS-BUILT DOCUMENTATION BY THE ELECTRICAL CONTRACTOR. CIRCUITRY HAS BEEN DETERMINED BASED UPON INFORMATION GATHERED, AND INFORMATION OBTAINED FROM THE OWNER. EXACT CIRCUITING, EQUIPMENT SIZES, AND CONDUIT AND WIRING SIZES MAY DIFFER IN THE FIELD FROM WHAT IS SHOWN ON THE DRAWINGS. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TRACING ALL CIRCUITS BEING DEMOLISHED AND REUSED PRIOR TO DISCONNECTING. VERIFYING EXISTING CIRCUITRY AND EQUIPMENT SIZES, AND SHALL SIZE ALL NEW EQUIPMENT AND BRANCH CIRCUITRY ACCORDINGLY IF ACTUAL CONDITIONS DIFFER FROM WHAT IS SHOWN ON THE DRAWINGS. THE ASSOCIATED CIRCUIT NUMBERS THAT ARE APPLIED TO EACH DEVICE AND PIECE OF EQUIPMENT INFERS INTERCONNECTING BRANCH CIRCUITRY. INTERCONNECTING BRANCH WIRING SHALL BE SIZED EQUAL TO THE HOMERUN UNLESS NOTED OTHERWISE.
7. THE ELECTRICAL NEW WORK PLANS DO NOT SHOW ALL ACCESSORIES REQUIRED FOR A COMPLETE SYSTEM. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL COORDINATION AMONG TRADES TO DETERMINE ALL ACCESSORIES AND COMPONENTS REQUIRED TO FORM A COMPLETE AND FUNCTIONAL SYSTEM. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY ACCESSORIES AND COMPONENTS NEEDED TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM AND SHALL BE RESPONSIBLE TO ENSURE THE INTEGRITY AND SAFETY OF THE SYSTEM AFTER COMPLETION. THE ELECTRICAL CONTRACTOR SHALL TAKE ALL NECESSARY STEPS AND PROVIDE ALL ADDITIONAL COMPONENTS NEEDED TO ENSURE THE SYSTEM IS SAFE UPON COMPLETION OF THE PROJECT.
8. ROUTING IS DIAGRAMMATIC. CONTRACTOR SHALL DETERMINE ROUTING IN FIELD AND RE-USE EXISTING PENETRATIONS WHERE POSSIBLE.
9. ROOM NUMBERS WERE PRESCRIBED BY AECM AND MAY NOT MATCH THOSE ASSIGNED BY OWNER.
10. CONTRACTOR SHALL CONFIRM LOCATION OF ALL EQUIPMENT PRIOR TO COMMENCING WORK.
11. CONTRACTOR SHALL MAKE NOTE OF ANY DISCREPANCIES BETWEEN DESIGN DRAWINGS AND ACTUAL INSTALLATION LOCATION.
12. CONTRACTOR WILL TRACE AND MAKE NOTE OF CIRCUIT PATHS WHERE POSSIBLE.

ELECTRIC ABBREVIATIONS

A/AMP	AMPERE	LTG	LIGHTING
AC	ALTERNATING CURRENT	MCB	MAIN CIRCUIT BREAKER
ADA	AMERICAN WITH DISABILITIES ACT	MEC	MASSACHUSETTS ELECTRIC CODE
AF	AMPERE FRAME	MH	MANHOLE
AFF	ABOVE FINISHED FLOOR	MLO	MAIN LUGS ONLY
AFG	ABOVE FINISHED GRADE	MTD	MOUNTED
AIC	AMPERE INTERRUPTING CAPACITY	MTG	MOUNTING
AL	ALUMINUM	NEC	NATIONAL ELECTRIC CODE
AT	AMPERE TRIP	NTS	NOT TO SCALE
ATS	AUTOMATIC TRANSFER SWITCH	#	NUMBER
AWG	AMERICAN WIRE GAUGE	PVC	POLYVINYL CHLORIDE
C	CONDUIT	PWR	POWER
CATV	CABLE TELEVISION	RGS	RIGID GALVANIZED STEEL
CCTV	CLOSED CIRCUIT TELEVISION	PNL	PANEL
CB	CIRCUIT BREAKER	SWBD	SWITCHBOARD
CKT	CIRCUIT	TEL	TELEPHONE
CL	CENTERLINE	TERM	TERMINAL
DWG	DRAWING	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
EC	ELECTRICAL CONTRACTOR	TSP	TWISTED SHIELDED PAIR
EMT	ELECTRICAL METALLIC TUBING	TYP	TYPICAL
FLMT	FLEXIBLE LIQUID TIGHT METALLIC TUBING	UNO	UNLESS OTHERWISE NOTED
GFI	GROUND FAULT INTERRUPTING	UPS	UNINTERRUPTIBLE POWER SUPPLY
GND	GROUND	UTP	UNSHIELDED TWISTED PAIR
HH	HANDHOLE	V	VOLT
HP	HORSEPOWER	VA	VOLT AMPERE
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	VFD	VARIABLE FREQUENCY DRIVE
HZ	HERTZ	W	WATT
IG	ISOLATED GROUND	WP	WEATHERPROOF
KVA	KILOVOLT - AMPERE		
KW	KILOWATT		



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REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	85% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	LIGHT PLAN REVISION	06/25/2018
5	ISSUED FOR BID	02/20/2019

ELECTRICAL GENERAL NOTES

PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: NO SCALE
DRAWN BY: DS
REVIEWED BY: TDN

E-1.0

PROJECT PHASE:
ISSUED FOR BID

RECEPTACLE LEGEND

SYMBOL	DESCRIPTION
	SINGLE OUTLET RECEPTACLE
	DOUBLE OUTLET RECEPTACLE
	QUAD OUTLET RECEPTACLE
	SWITCH, NUMBER OF LINES CONTROLLED IS SHOWN ABOVE THE SYMBOL IF GREATER THAN ONE
	PANEL BOARD, NAME INDICATED UNDERNEATH IN DRAWING
	RECEPTACLE LOCATION COULD NOT BE CONFIRMED
	RECEPTACLE CONDUCTOR THAT GOES INTO THE WALL
	RECEPTACLE CONDUCTOR THAT GOES INTO THE CEILING
	RECEPTACLE CONDUCTOR PATHWAY
	RECEPTACLE CONDUCTOR PATHWAY COULD NOT BE CONFIRMED
	GFCI POSSIBLE

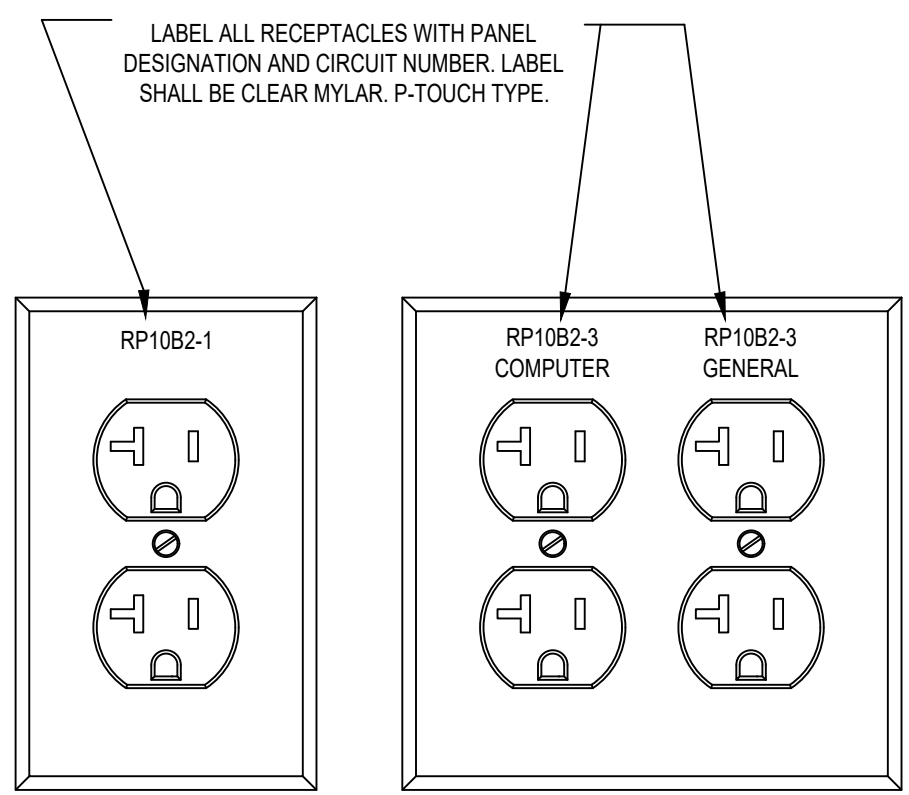
PANELBOARD LEGEND

SYMBOL	DESCRIPTION
	PANELBOARD
	BOILER
	THERMAL ELEMENT
	LIGHTING ELEMENT
	PUMP
	AIR HANDLING HVAC EQUIPMENT
	SPARE PANEL BOARD INTAKE
	RECEPTACLE WHOSE'S LOCATION COULD NOT BE CONFIRMED
	SYSTEM CONTROLS
	EMERGENCY LIGHTING FIXTURE
	MOTOR
	FAN
	FIRE DETECTION SYSTEM
	HAND DRYER

FIRE ALARM SYSTEM LEGEND

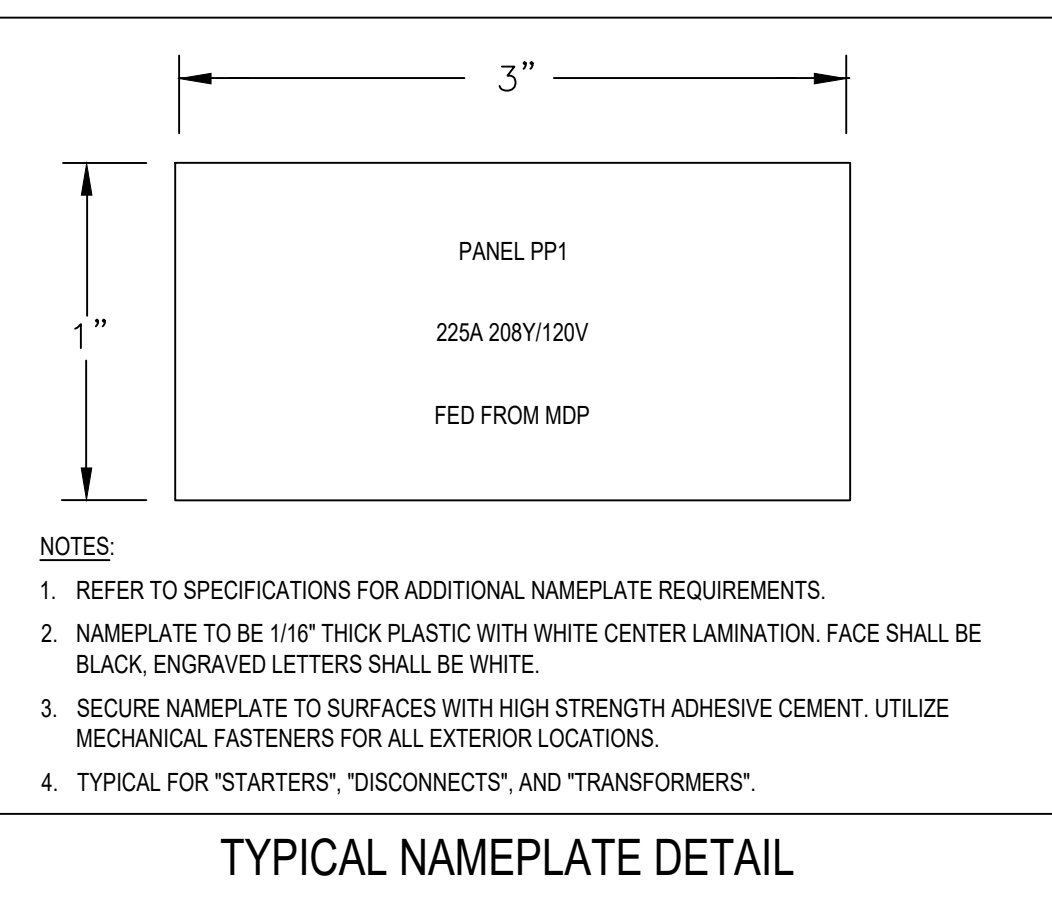
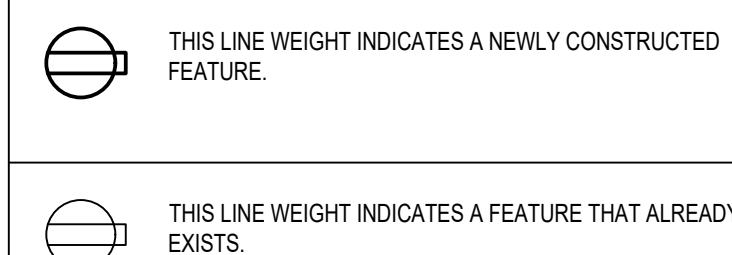
SYMBOL	DESCRIPTION
	CEILING MOUNTED EXIT SIGN, ARROW INDICATES PATH OF EGRESS
	WALL MOUNTED EXIT SIGN, ARROW INDICATES PATH OF EGRESS
	CEILING MOUNTED EXIT SIGN WITH EMERGENCY LIGHTS, ARROW INDICATES PATH OF EGRESS
	FIRE ALARM PULL BOX
	FIRE ALARM NOTIFICATION DEVICE, HORN/STROBE
	SMOKE DETECTOR
	EMERGENCY LIGHTS WITH BATTERY BACKUP

LABEL ALL RECEPTACLES WITH PANEL DESIGNATION AND CIRCUIT NUMBER. LABEL SHALL BE CLEAR MYLAR, P-TOUCH TYPE.



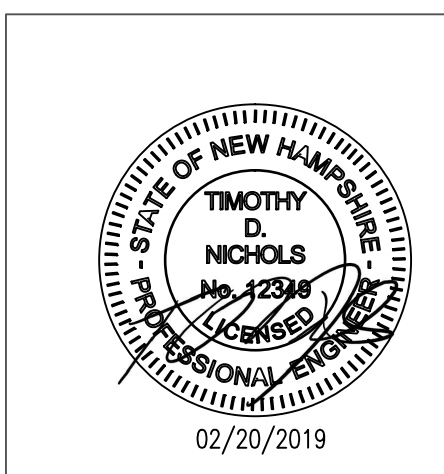
RECEPTACLE LABEL REQUIREMENTS

LINE WEIGHT EXAMPLES





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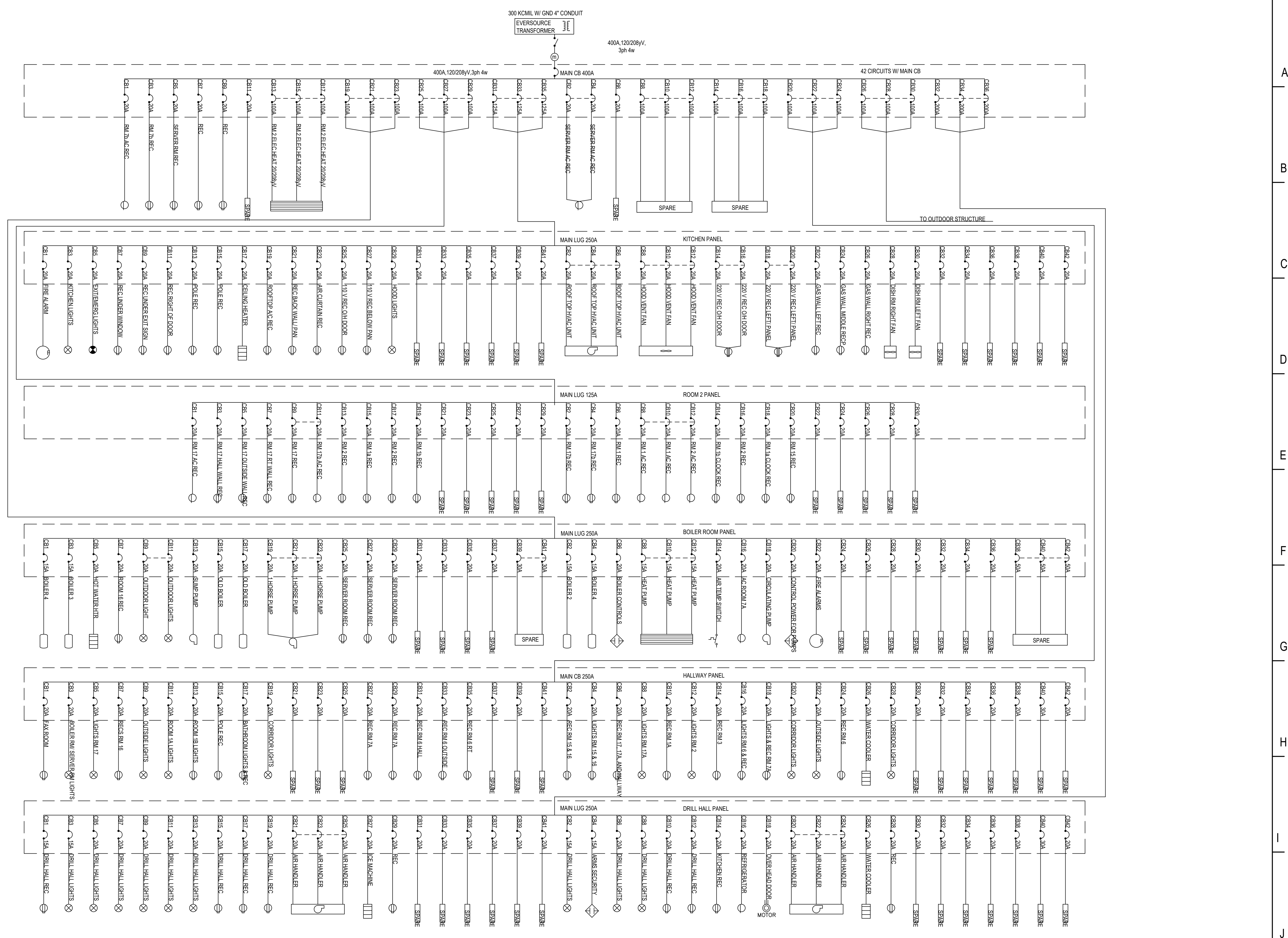
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EXISTING ELECTRICAL DIAGRAM

PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: NO SCALE
DRAWN BY: DS
REVIEWED BY: TDN

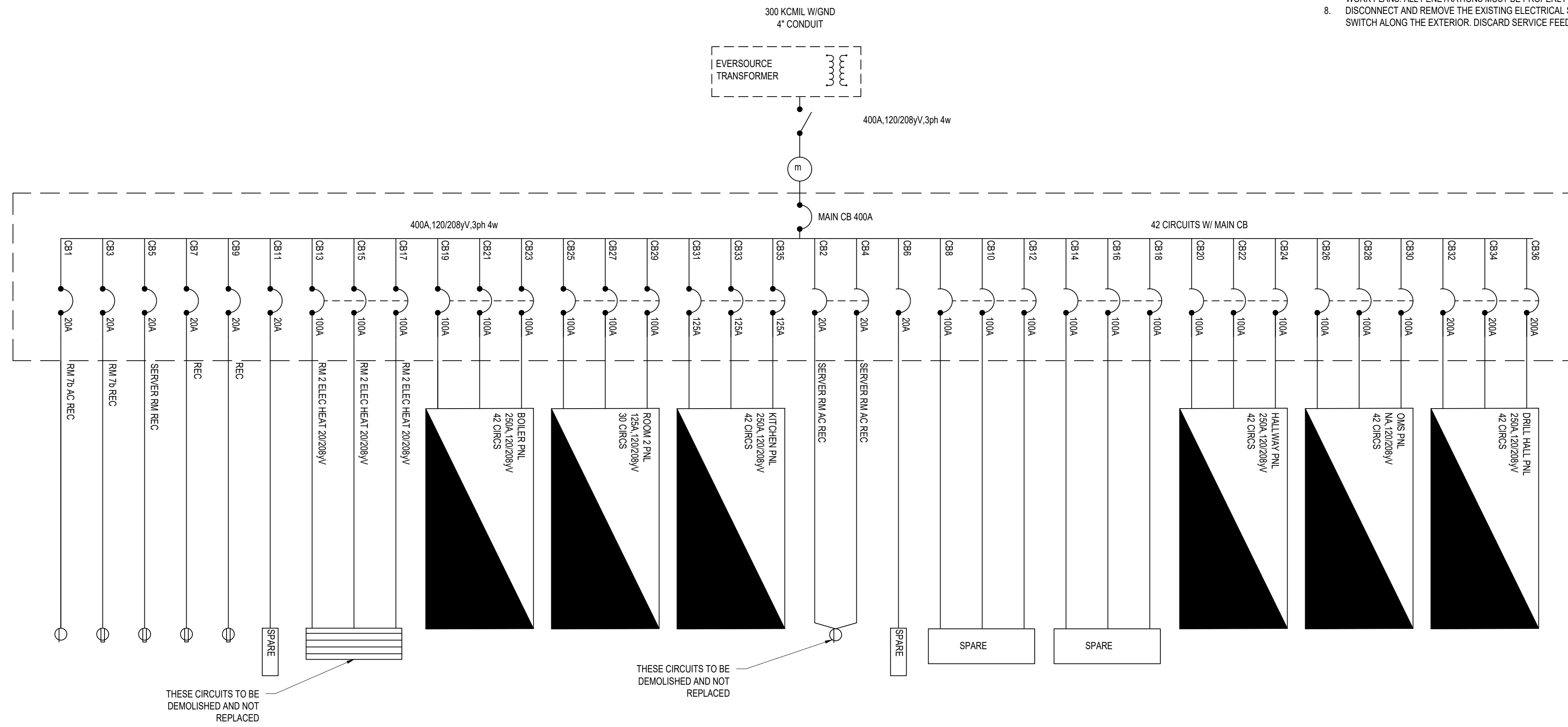
E-2.0

PROJECT PHASE:
ISSUED FOR BID



MAIN DISTRIBUTION PANELBOARD DEMOLITION NOTES

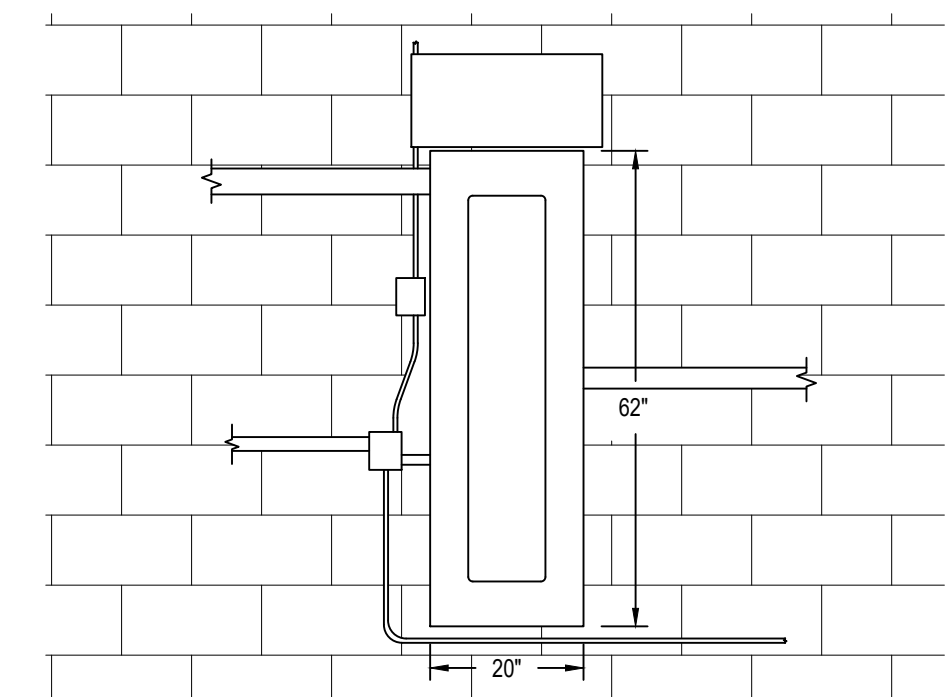
1. ENSURE MAIN ELECTRICAL POWER HAS BEEN DE-ENERGIZED PRIOR TO COMMENCING WORK. COMPLY WITH OSHA CONSTRUCTION SAFETY STANDARDS.
2. COORDINATE WITH LOCAL ELECTRICAL UTILITY FOR OUTAGES AND WORK IMPACTING THE MAIN SERVICE FEEDER.
3. DISCONNECT AND REMOVE ELECTRICAL DEVICE(S) WHICH WILL INTERFERE WITH THE DEMOLITION AND REMOVAL OF WALLS, FLOORING, AND/OR CEILING AS DESCRIBED IN THE ARCHITECTURAL DEMOLITION / NEW WORK PLANS. REMOVE EXISTING CIRCUITRY (WIRING) AND CONDUIT BACK TO PANEL AND DISCARD.
4. DISCONNECT AND REMOVE EXISTING ELECTRICAL CONNECTIONS TO SUB-PANELBOARDS AND RECEPTACLES. IF FEASIBLE REUSE WIRING AND CONDUIT FOR TERMINATIONS WITHIN NEW MAIN DISTRIBUTION PANELBOARD (MDP).
5. DISCONNECT AND REMOVE EXISTING ELECTRICAL CONNECTIONS TO ELECTRICAL HEATING ELEMENTS. DISCARD WIRING AND CONDUITS.
6. EXISTING MDP TO BE DEMOLISHED.
7. PATCH AND REPAIR ALL PENETRATIONS TO MAINTAIN CONSISTENCY WITH ARCHITECTURAL DEMOLITION / NEW WORK PLANS. ALL PENETRATIONS MUST BE PROPERLY FIRE BLOCKED.
8. DISCONNECT AND REMOVE THE EXISTING ELECTRICAL SERVICE FEEDER FROM TO THE ELECTRICAL DISCONNECT SWITCH ALONG THE EXTERIOR. DISCARD SERVICE FEEDER.



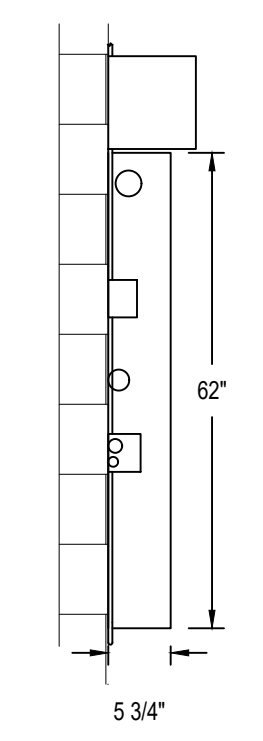
THESE CIRCUITS TO BE DEMOLISHED AND NOT REPLACED

THESE CIRCUITS TO BE DEMOLISHED AND NOT REPLACED

A MDP DIAGRAM
NO SCALE



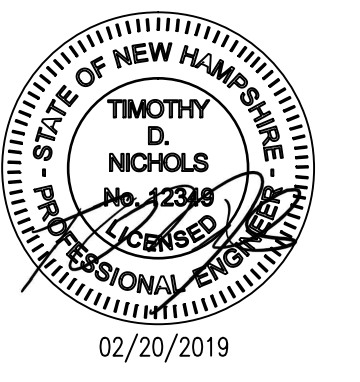
B MDP FRONT VIEW
NO SCALE



C MDP SIDE VIEW
NO SCALE



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EXISTING MAIN DISTRIBUTION PANELBOARD DIAGRAM

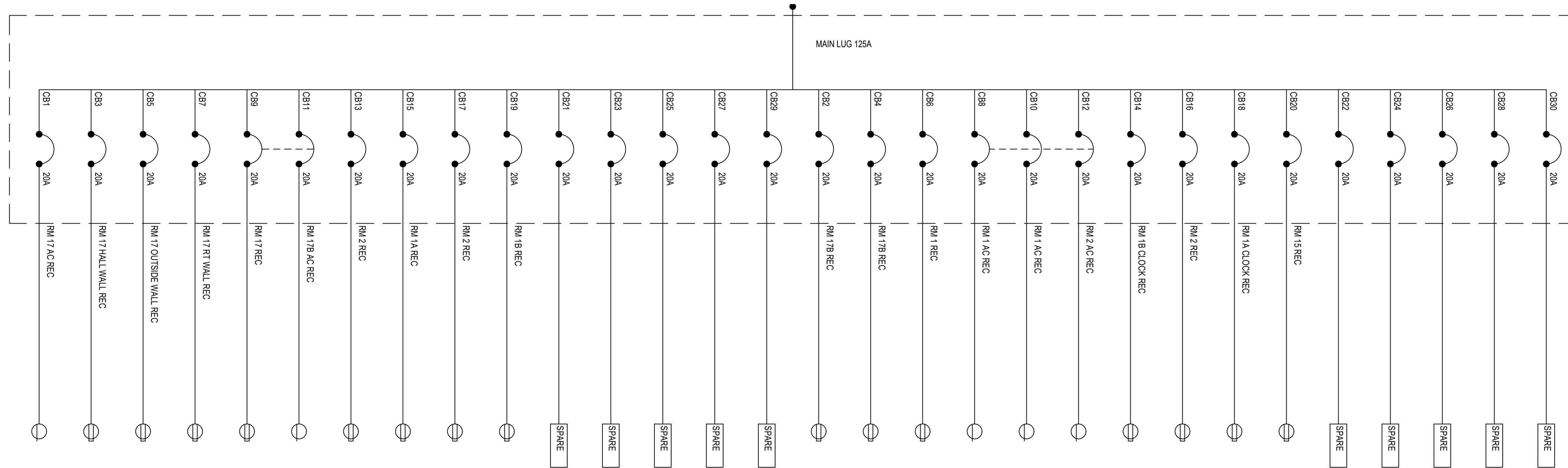
PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: NO SCALE
DRAWN BY: DS
REVIEWED BY: TDN

E-2.1

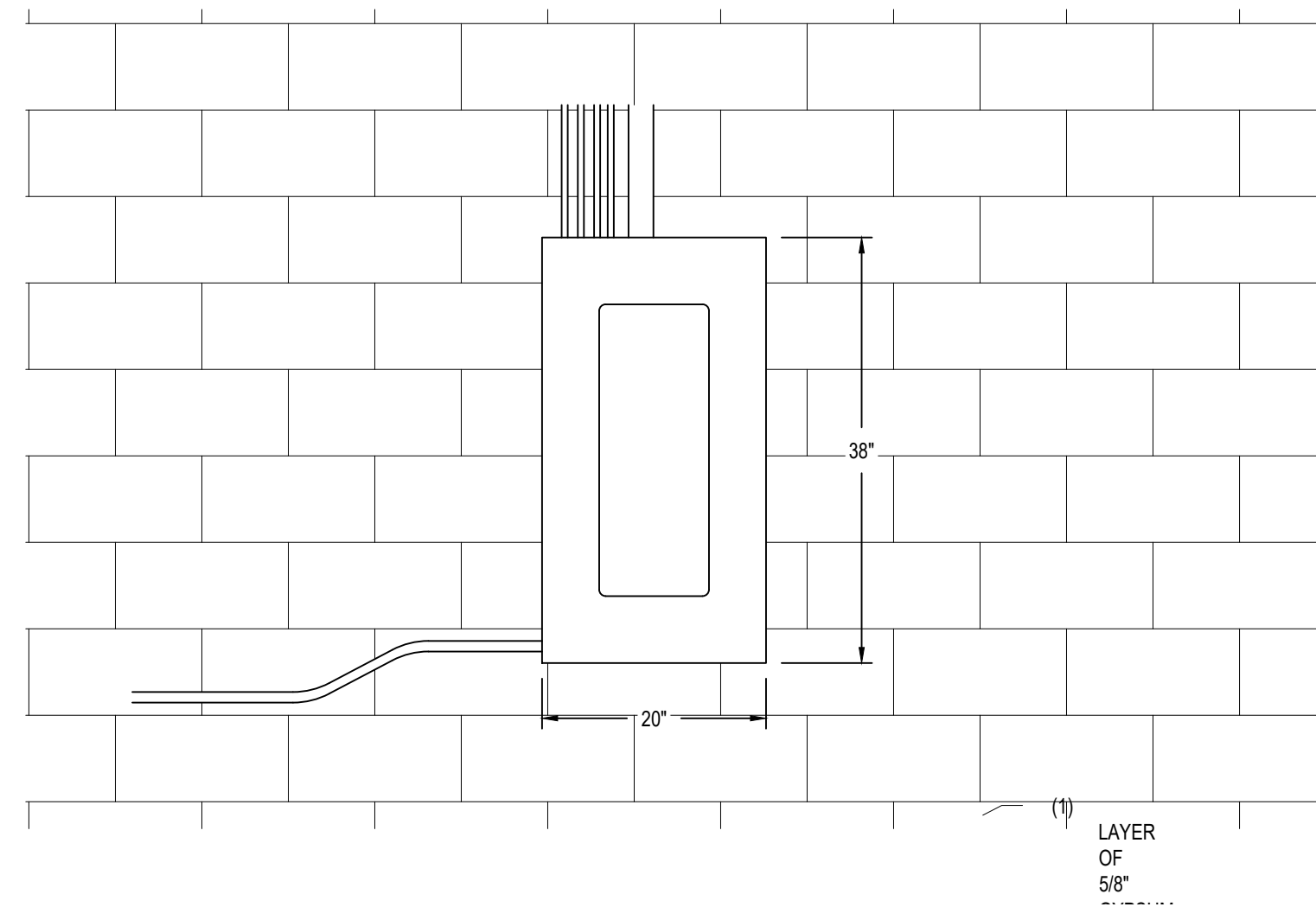
PROJECT PHASE:
ISSUED FOR BID

RM2 PANELBOARD DEMOLITION NOTES

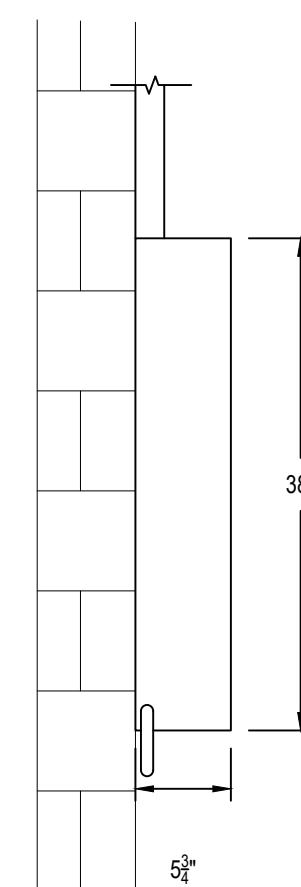
1. ENSURE MAIN ELECTRICAL POWER HAS BEEN DE-ENERGIZED PRIOR TO COMMENCING WORK. COMPLY WITH OSHA CONSTRUCTION SAFETY STANDARDS.
2. COORDINATE WITH LOCAL ELECTRICAL UTILITY FOR OUTAGES AND WORK IMPACTING THE MAIN SERVICE FEEDER.
3. DISCONNECT AND REMOVE ELECTRICAL DEVICE(S) WHICH WILL INTERFERE WITH THE DEMOLITION AND REMOVAL OF WALLS, FLOORING, AND/OR CEILING AS DESCRIBED IN THE ARCHITECTURAL DEMOLITION / NEW WORK PLANS. REMOVE EXISTING CIRCUITRY (WIRING) AND CONDUIT BACK TO PANEL AND DISCARD.
4. DISCONNECT AND REMOVE EXISTING ELECTRICAL CONNECTIONS TO SUB-PANELBOARDS AND RECEPTACLES. IF FEASIBLE REUSE WIRING AND CONDUIT FOR TERMINATIONS WITHIN THE RELOCATED PANELBOARD.
5. DISCONNECT AND REMOVE EXISTING ELECTRICAL CONNECTIONS TO ELECTRICAL HEATING ELEMENTS. DISCARD WIRING AND CONDUITS.
6. EXISTING PANELBOARD TO BE REMOVED, PRESERVED, AND RELOCATED. SEE SHEET E-3.0 FOR NEW LOCATION.
7. PATCH AND REPAIR ALL PENETRATIONS TO MAINTAIN CONSISTENCY WITH ARCHITECTURAL DEMOLITION / NEW WORK PLANS.
8. RM2 PANELBOARD IS LOCATED IN ROOM 4. REFER TO SHEET E-2.1 FOR APPROXIMATE LOCATION.



A RM2 PANELBOARD DIAGRAM
NO SCALE



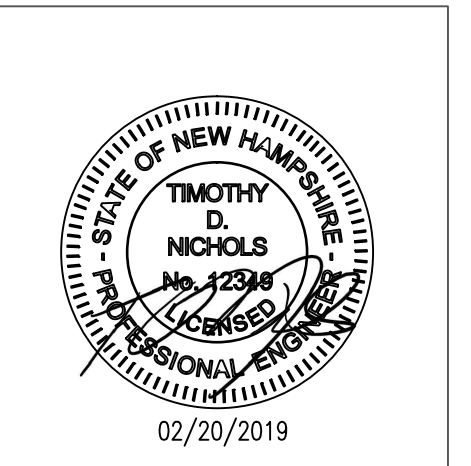
B RM2 PANELBOARD FRONT VIEW
NO SCALE



C RM2 PANELBOARD SIDE VIEW
NO SCALE



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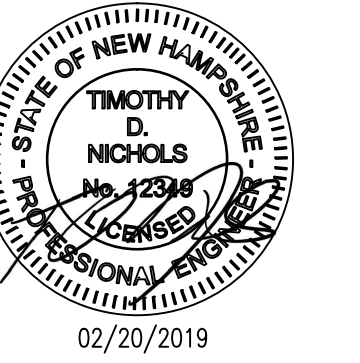
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EXISTING RM2 PANELBOARD DIAGRAM

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	DS
REVIEWED BY:	TDN

E-2.2

PROJECT PHASE:
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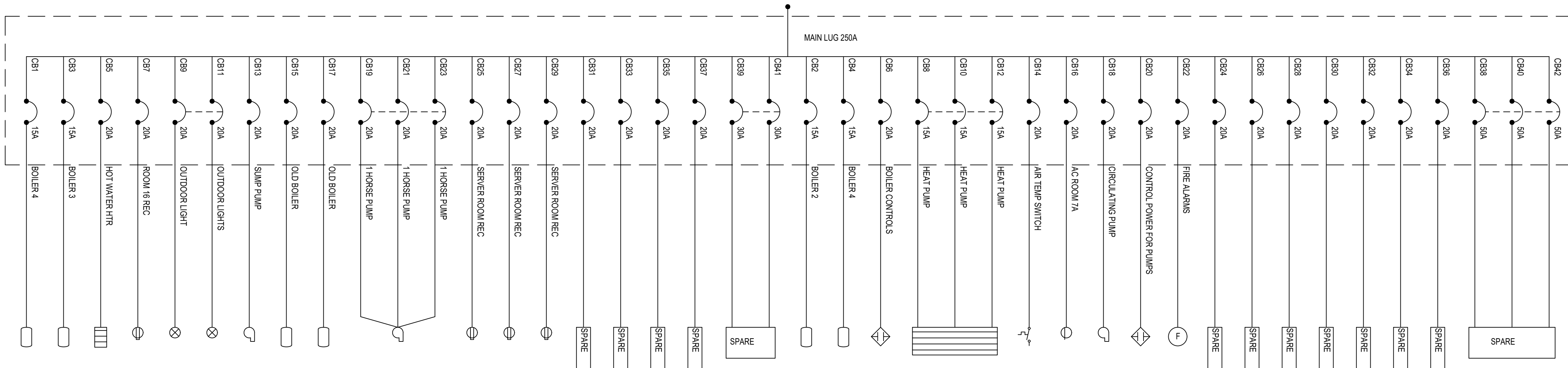
REVISIONS		
No.	DESCRIPTION	DATE
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4	LIGHT PLAN REVISION	06/25/2018
5	ISSUED FOR BID	02/20/2019

**EXISTING BOILER RM AND
KITCHEN PANELBOARD DIAGRAM**

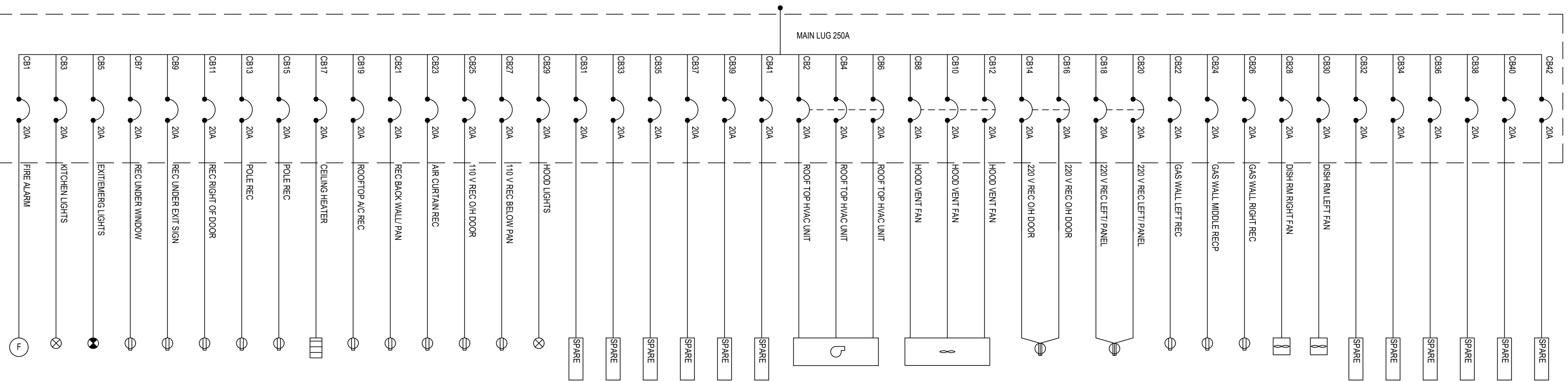
PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	DS
REVIEWED BY:	TDN

E-2.3

PROJECT PHASE:
ISSUED FOR BID



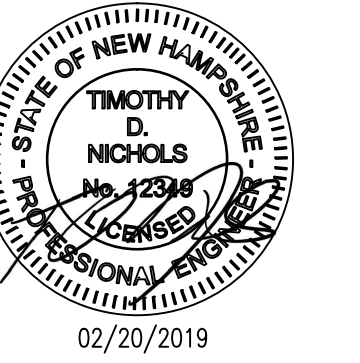
A BOILER RM PANELBOARD DIAGRAM
NO SCALE



B KITCHEN PANELBOARD DIAGRAM
NO SCALE

1 2 3 4 5 6 7 8 9 10 11 12

A B C D E F G H I J



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4	LIGHT PLAN REVISION	06/25/2018
5	ISSUED FOR BID	02/20/2019

**EXISTING CORRIDOR / ASSEMBLY
PANELBOARD DIAGRAM**

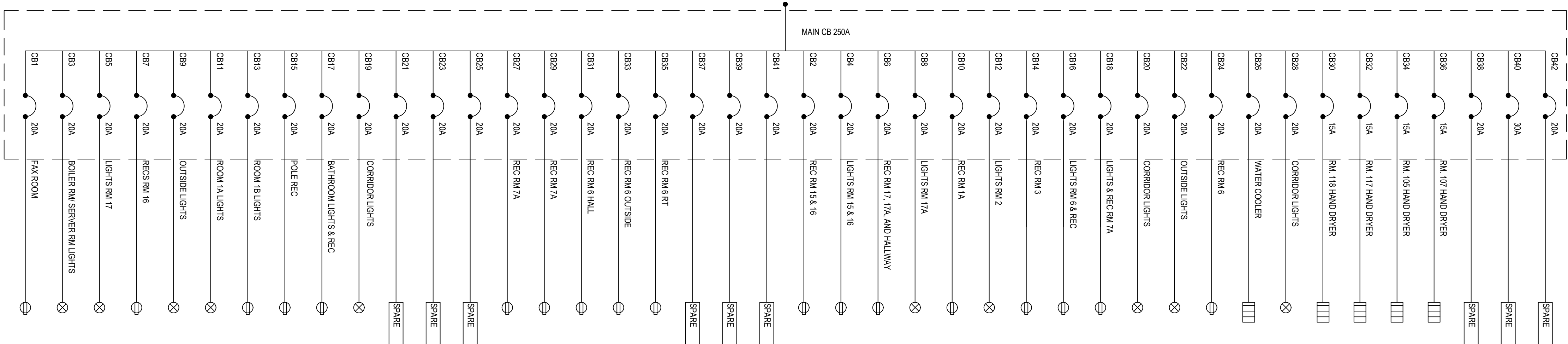
PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	DS
REVIEWED BY:	TDN

E-2.4

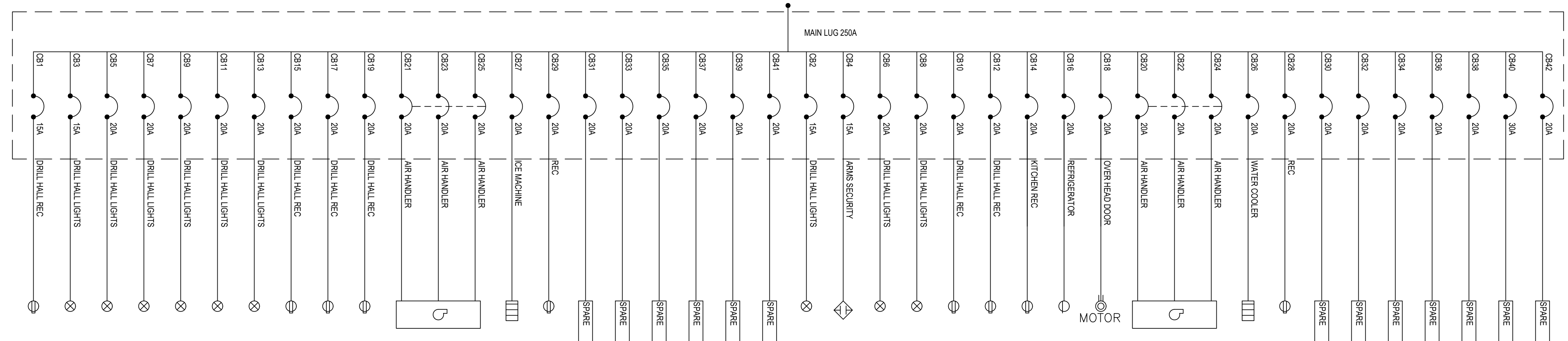
PROJECT PHASE:
ISSUED FOR BID

A
B
C
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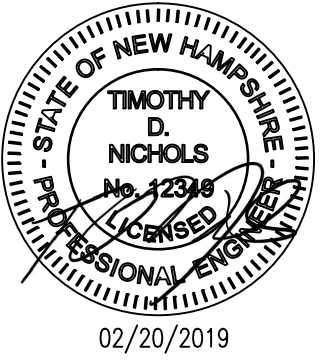
1 2 3 4 5 6 7 8 9 10 11 12



A CORRIDOR PANELBOARD DIAGRAM
NO SCALE



B ASSEMBLY PANELBOARD DIAGRAM
NO SCALE

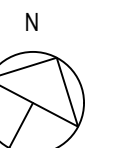


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ELECTRICAL DEMOLITION PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/8"=1'
DRAWN BY:	DS
REVIEWED BY:	TDN

E-2.5

PROJECT PHASE:
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BRANCH WIRING / RECEPTACLES DEMOLITION NOTES

- SEE ELECTRICAL GENERAL NOTES PLAN E-1.0 FOR ADDITIONAL ELECTRICAL INFORMATION.
- ENSURE CIRCUIT POWER HAS BEEN DE-ENERGIZED PRIOR TO COMMENCING WORK.
- COORDINATE WITH ALL TRADES FOR ROOM AND CIRCUIT OUTAGES.
- DISCONNECT AND REMOVE ELECTRICAL DEVICE(S) WHICH WILL INTERFERE WITH THE DEMOLITION AND REMOVAL OF WALLS, FLOORING, AND/OR CEILING AS DESCRIBED IN THE ARCHITECTURAL DEMOLITION / NEW WORK PLANS.
- WHERE FEASIBLE UTILIZE EXISTING RECEPTACLE MOUNTING BOXES AS PULL BOXES. PULLBOXES CAN REMAIN BEHIND THE EXTERIOR WALLS THAT ARE BEING BUILT-UP.
- WHERE FEASIBLE UTILIZE EXISTING CONDUCTORS FOR NEW RECEPTACLES.
- PATCH AND REPAIR ALL PENETRATIONS TO MAINTAIN CONSISTENCY WITH ARCHITECTURAL DEMOLITION / NEW WORK PLANS.

FIRE ALARM DEMOLITION NOTES

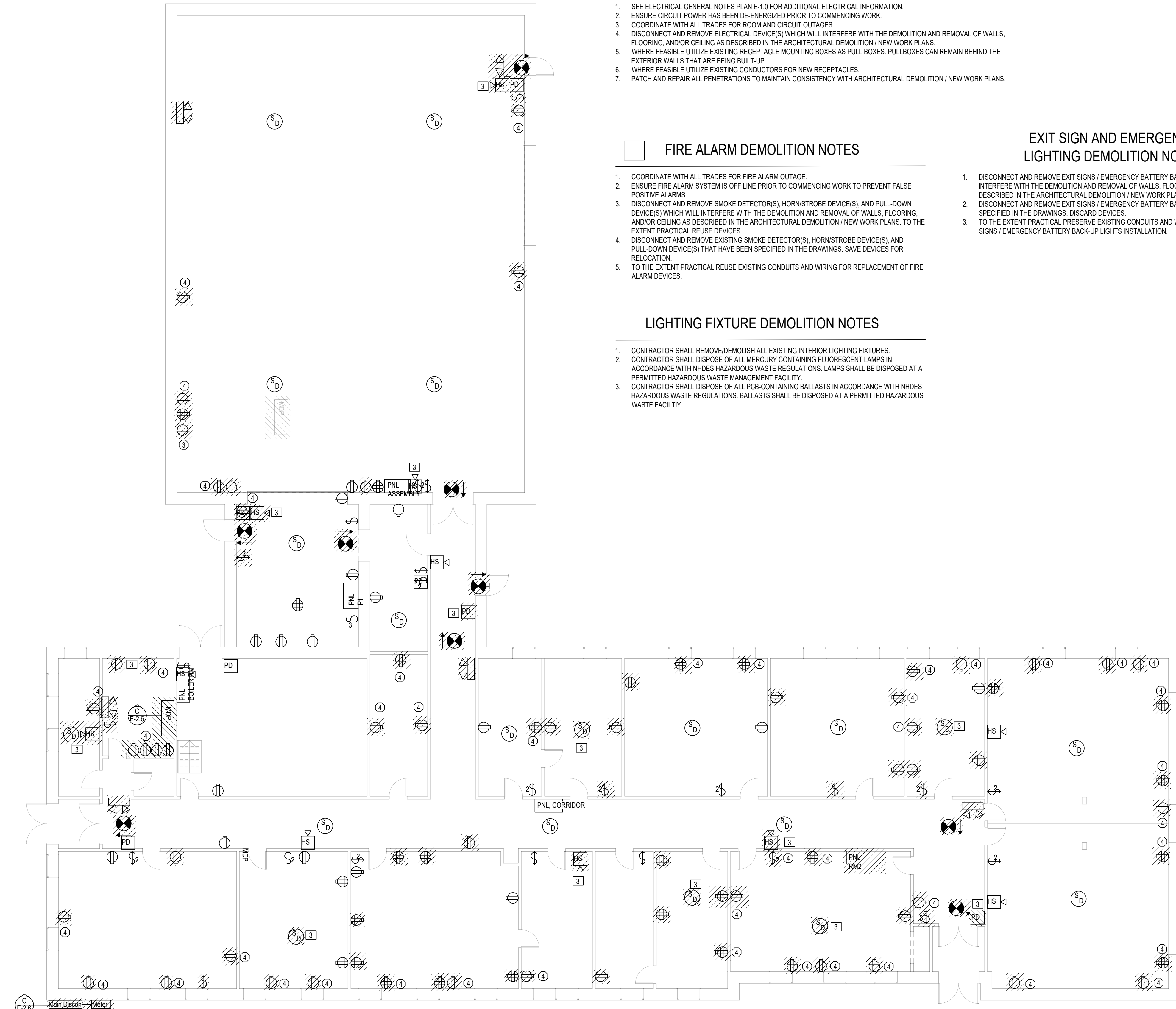
- COORDINATE WITH ALL TRADES FOR FIRE ALARM OUTAGE.
- ENSURE FIRE ALARM SYSTEM IS OFF LINE PRIOR TO COMMENCING WORK TO PREVENT FALSE POSITIVE ALARMS.
- DISCONNECT AND REMOVE SMOKE DETECTOR(S), HORN/STROBE DEVICE(S), AND PULL-DOWN DEVICE(S) WHICH WILL INTERFERE WITH THE DEMOLITION AND REMOVAL OF WALLS, FLOORING, AND/OR CEILING AS DESCRIBED IN THE ARCHITECTURAL DEMOLITION / NEW WORK PLANS. TO THE EXTENT PRACTICAL REUSE DEVICES.
- DISCONNECT AND REMOVE EXISTING SMOKE DETECTOR(S), HORN/STROBE DEVICE(S), AND PULL-DOWN DEVICE(S) THAT HAVE BEEN SPECIFIED IN THE DRAWINGS. SAVE DEVICES FOR RELOCATION.
- TO THE EXTENT PRACTICAL REUSE EXISTING CONDUITS AND WIRING FOR REPLACEMENT OF FIRE ALARM DEVICES.

LIGHTING FIXTURE DEMOLITION NOTES

- CONTRACTOR SHALL REMOVE/DEMOLISH ALL EXISTING INTERIOR LIGHTING FIXTURES.
- CONTRACTOR SHALL DISPOSE OF ALL MERCURY CONTAINING FLUORESCENT LAMPS IN ACCORDANCE WITH NHDES HAZARDOUS WASTE REGULATIONS. LAMPS SHALL BE DISPOSED AT A PERMITTED HAZARDOUS WASTE MANAGEMENT FACILITY.
- CONTRACTOR SHALL DISPOSE OF ALL PCB-CONTAINING BALLASTS IN ACCORDANCE WITH NHDES HAZARDOUS WASTE REGULATIONS. BALLASTS SHALL BE DISPOSED AT A PERMITTED HAZARDOUS WASTE FACILITY.

**EXIT SIGN AND EMERGENCY
LIGHTING DEMOLITION NOTES**

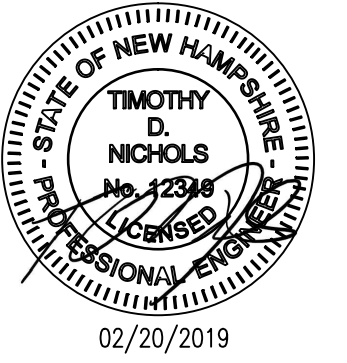
- DISCONNECT AND REMOVE EXIT SIGNS / EMERGENCY BATTERY BACK-UP LIGHTS WHICH WILL INTERFERE WITH THE DEMOLITION AND REMOVAL OF WALLS, FLOORING, AND/OR CEILING AS DESCRIBED IN THE ARCHITECTURAL DEMOLITION / NEW WORK PLANS.
- DISCONNECT AND REMOVE EXIT SIGNS / EMERGENCY BATTERY BACK-UP LIGHTS THAT HAVE BEEN SPECIFIED IN THE DRAWINGS. DISCARD DEVICES.
- TO THE EXTENT PRACTICAL PRESERVE EXISTING CONDUITS AND WIRING FOR USE WITH NEW EXIT SIGNS / EMERGENCY BATTERY BACK-UP LIGHTS INSTALLATION.



A EXISTING FLOOR PLAN
1/8"=1'

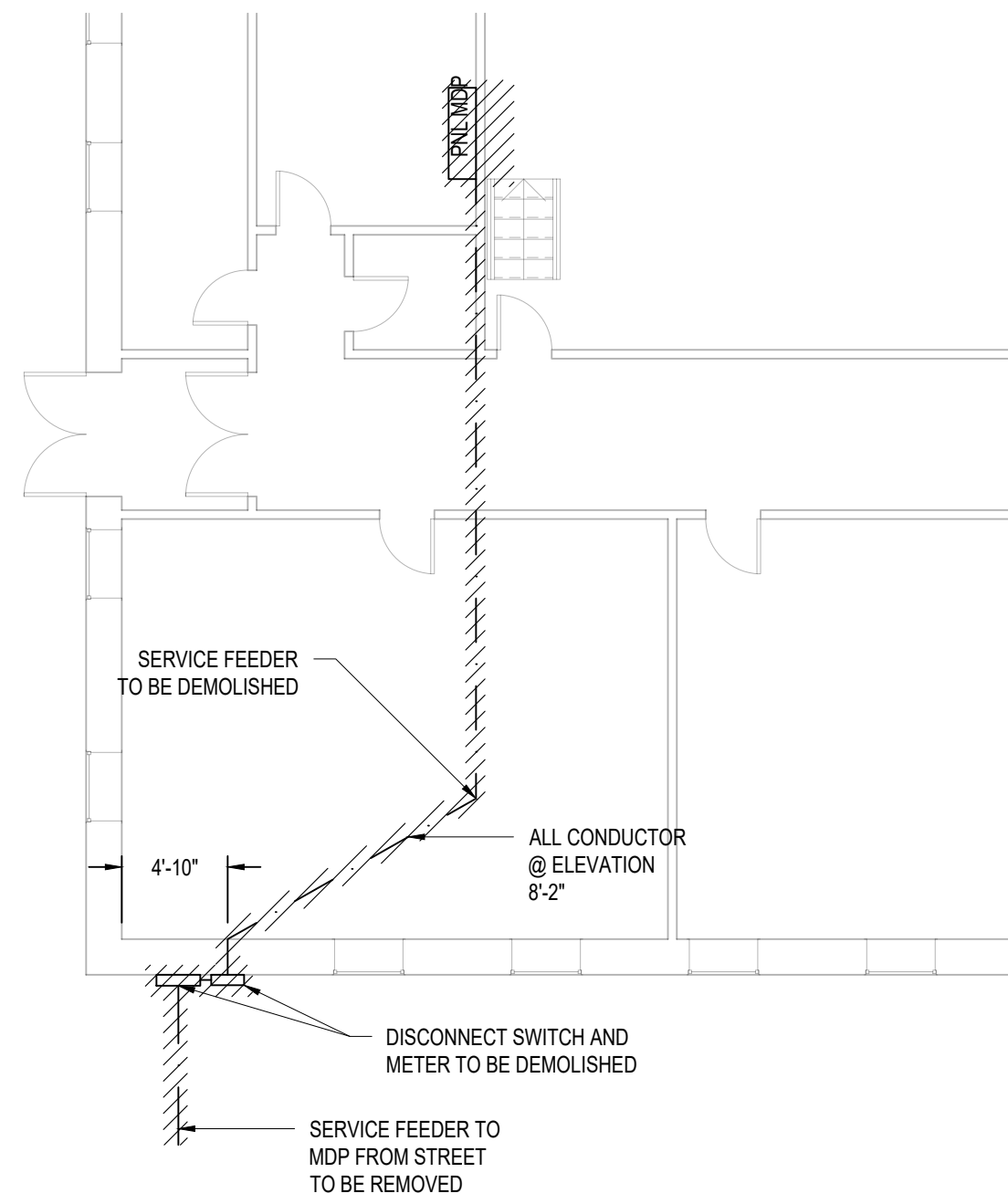


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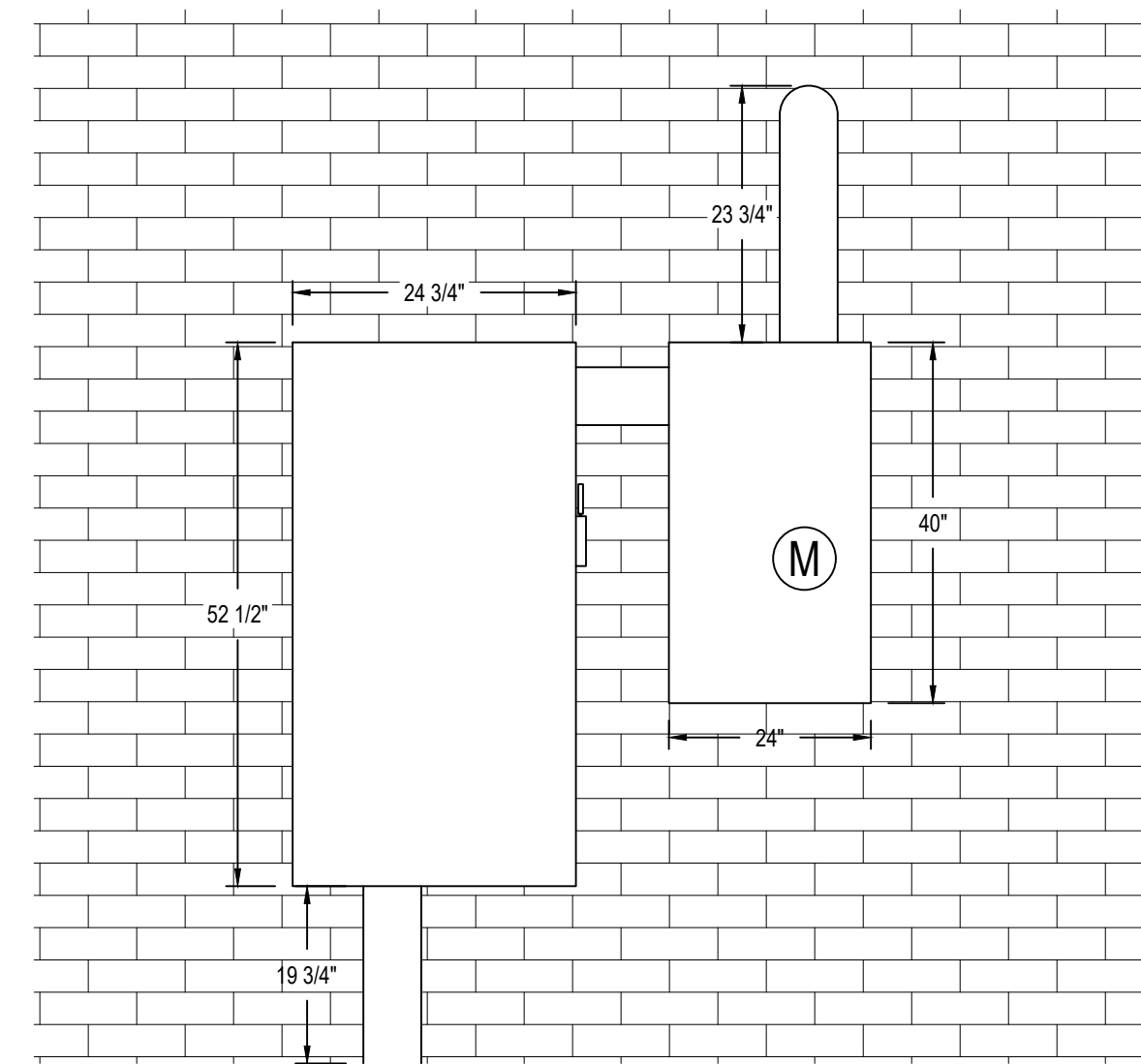


MDP AND SERVICE FEEDER DEMOLITION NOTES

1. ENSURE MAIN ELECTRICAL POWER HAS BEEN DE-ENERGIZED PRIOR TO COMMENCING WORK.
2. COORDINATE WITH LOCAL ELECTRICAL UTILITY FOR OUTAGES AND WORK IMPACTING THE MAIN SERVICE FEEDER.
3. DISCONNECT AND REMOVE ELECTRICAL DEVICE(S) WHICH WILL INTERFERE WITH THE DEMOLITION AND REMOVAL OF WALLS, FLOORING, AND/OR CEILING AS DESCRIBED IN THE ARCHITECTURAL DEMOLITION / NEW WORK PLANS. REMOVE EXISTING CIRCUITRY (WIRING) AND CONDUIT BACK TO PANEL AND DISCARD.
4. DISCONNECT AND REMOVE EXISTING ELECTRICAL CONNECTIONS TO SUB-PANELBOARDS AND RECEPTACLES. IF FEASIBLE REUSE WIRING AND CONDUIT FOR TERMINATIONS WITHIN NEW MAIN DISTRIBUTION PANELBOARD (MDP).
5. ALL CONDUCTORS BETWEEN THE DISCONNECT SWITCH AND MDP TO BE REMOVED.
6. CONTRACTOR IS RESPONSIBLE FOR PRESERVING THE CMU SERVICE FEEDER PENETRATION.

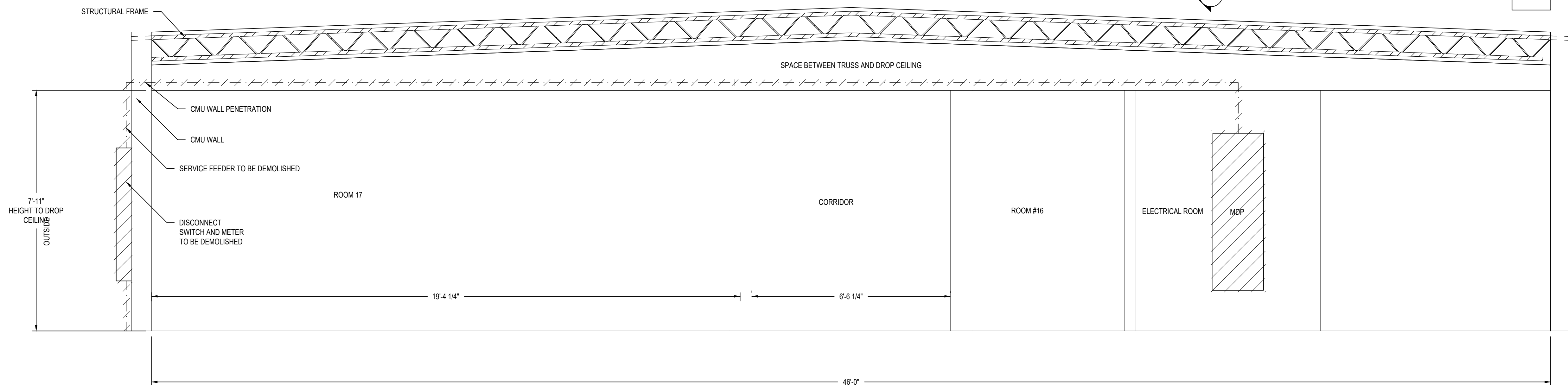
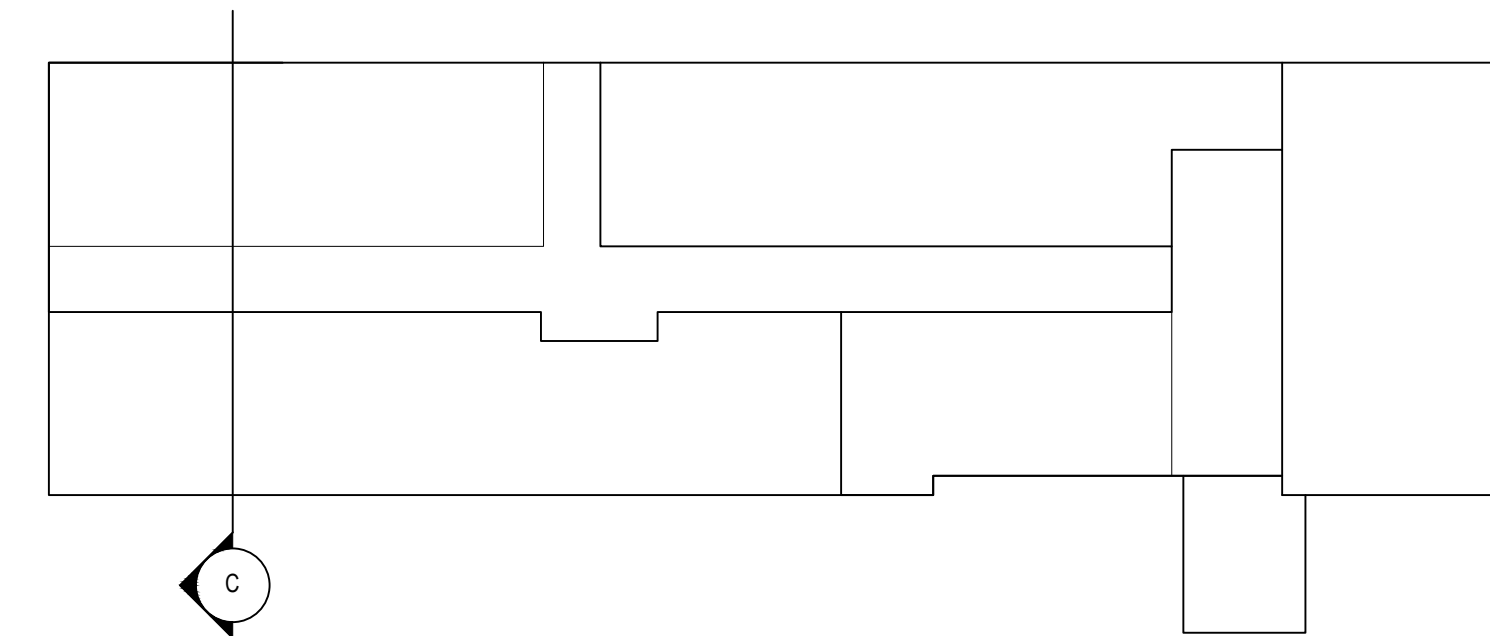


A MDP SERVICE FEEDER DEMOLITION PLAN
1/8"=1'



B DISCONNECT SWITCH AND METER FRONT VIEW
NOT TO SCALE

KEY PLAN:



C MDP SERVICE FEEDER DEMOLITION SECTION
1/2"=1'

A
B
C
D
E
F
G
H
I
J

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**MDP AND SERVICE FEEDER
DEMOLITION**

PROJECT NO.: 17002
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SCALE: AS NOTED
DRAWN BY: DS
REVIEWED BY: TDN

E-2.6

PROJECT PHASE:
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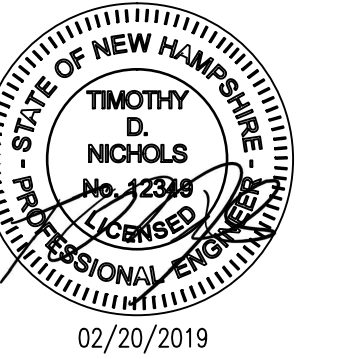
1 2 3 4 5 6 7 8 9 10 11 12

BRANCH WIRING / RECEPTACLES NEW WORK NOTES

1. ENSURE CIRCUIT HAS BEEN DE-ENERGIZED PRIOR TO COMMENCING WORK. COMPLY WITH OSHA CONSTRUCTION SAFETY STANDARDS.
2. COORDINATE WITH ALL TRADES FOR ROOM AND CIRCUIT OUTAGES.
3. INSTALL RECEPTACLE BOXES RECESSED INTO NEW EXTERIOR WALLS.
4. INSTALL FLUSH MOUNTED RECEPTACLES AND FACEPLATES INTO NEW WALLS.
5. WHERE FEASIBLE UTILIZE EXISTING RECEPTACLE MOUNTING BOXES AS PULL BOXES. PULLBOXES CAN REMAIN BEHIND THE EXTERIOR WALLS THAT ARE BEING BUILT-UP.
6. LABEL ALL NEW RECEPTACLES.
7. TEST RECEPTACLE TO ENSURE CIRCUIT IS FUNCTIONAL AND COMPLETE.



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4	LIGHT PLAN REVISION	06/25/2018
5	LIGHT PLAN REVISION	09/25/2018
6	ISSUED FOR BID	02/20/2019

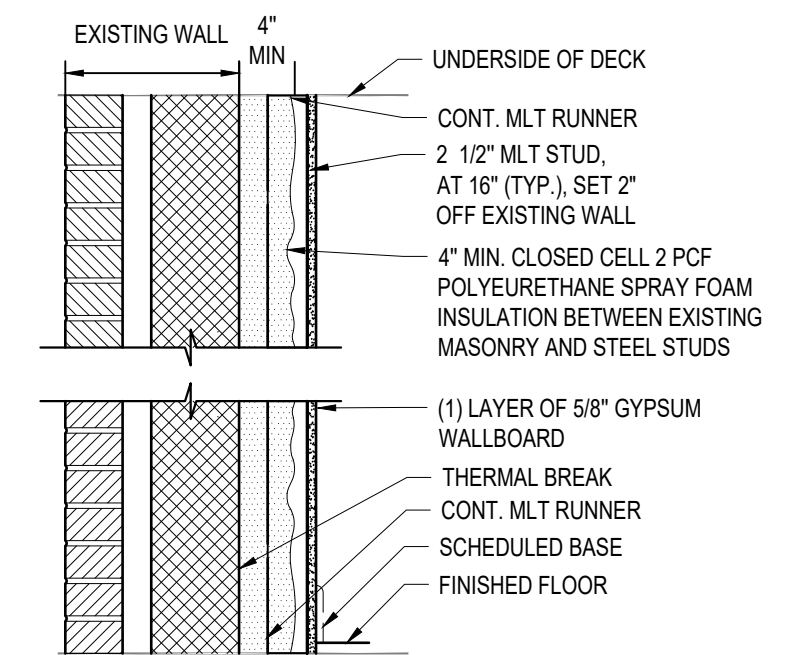
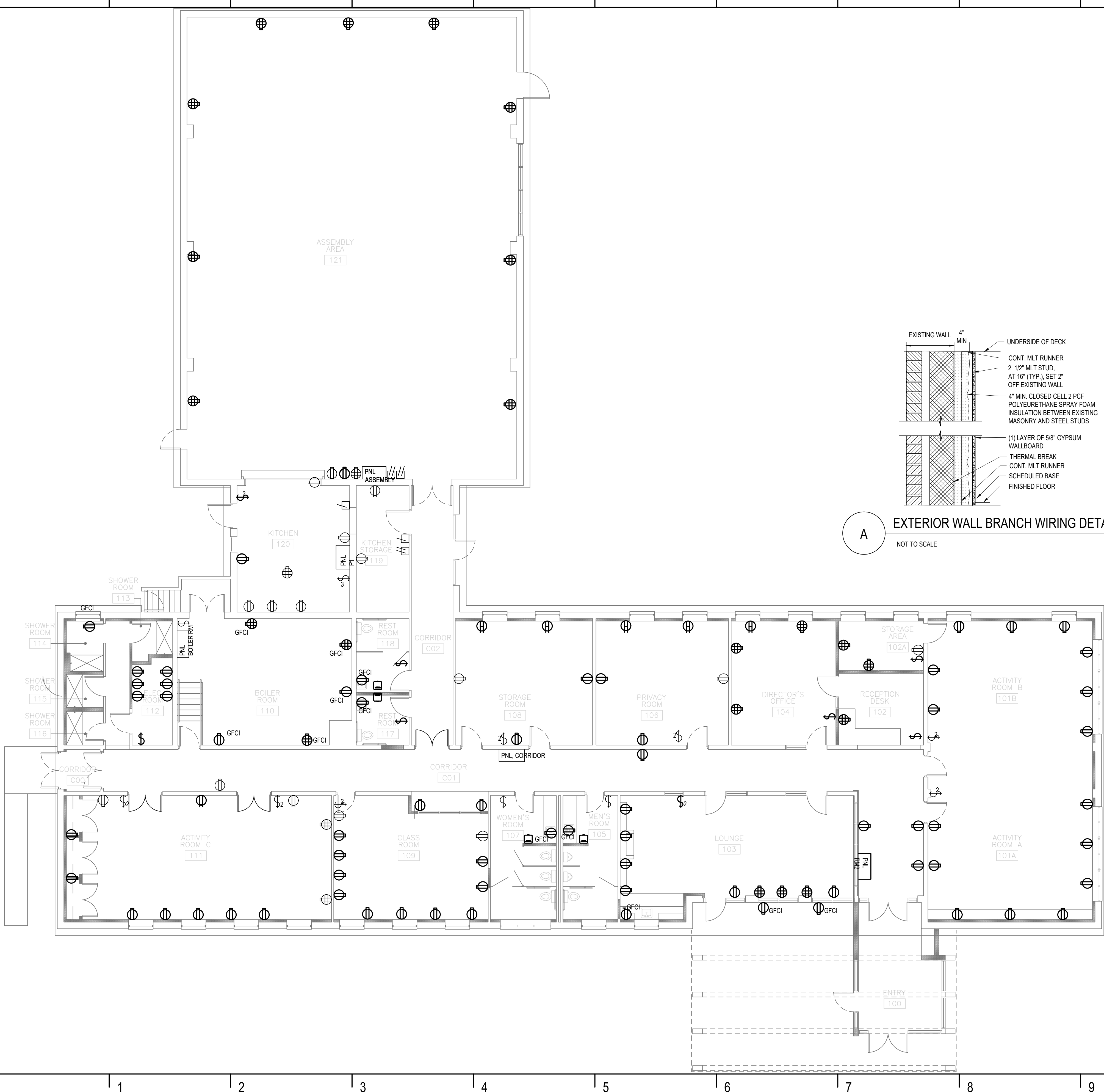


**BRANCH WIRING NEW WORK
PLAN**

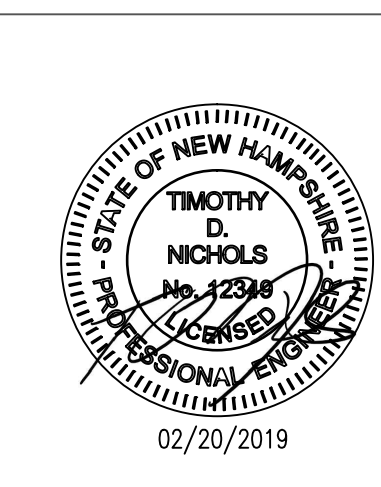
PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/8"=1'
DRAWN BY:	DS
REVIEWED BY:	TDN

E-3.0

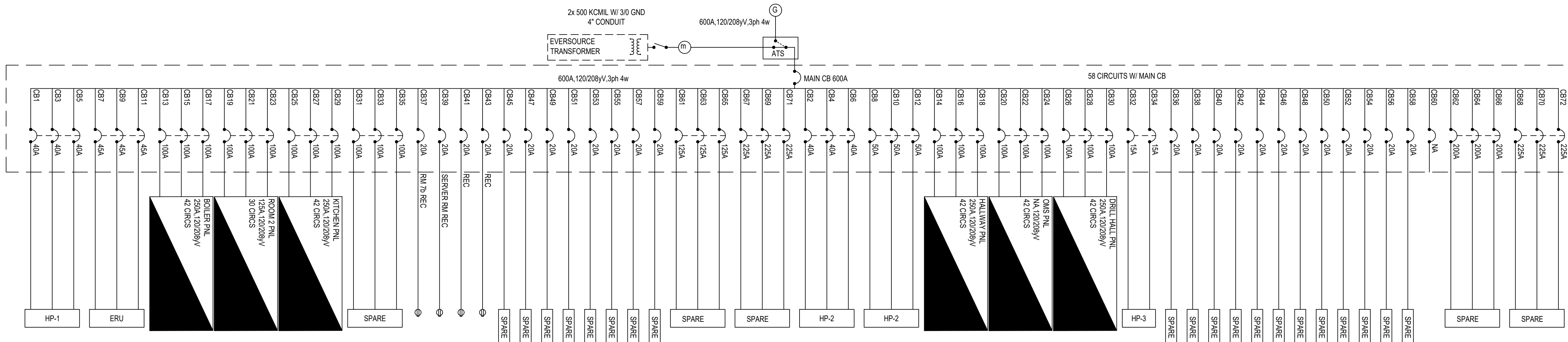
PROJECT PHASE:
ISSUED FOR BID



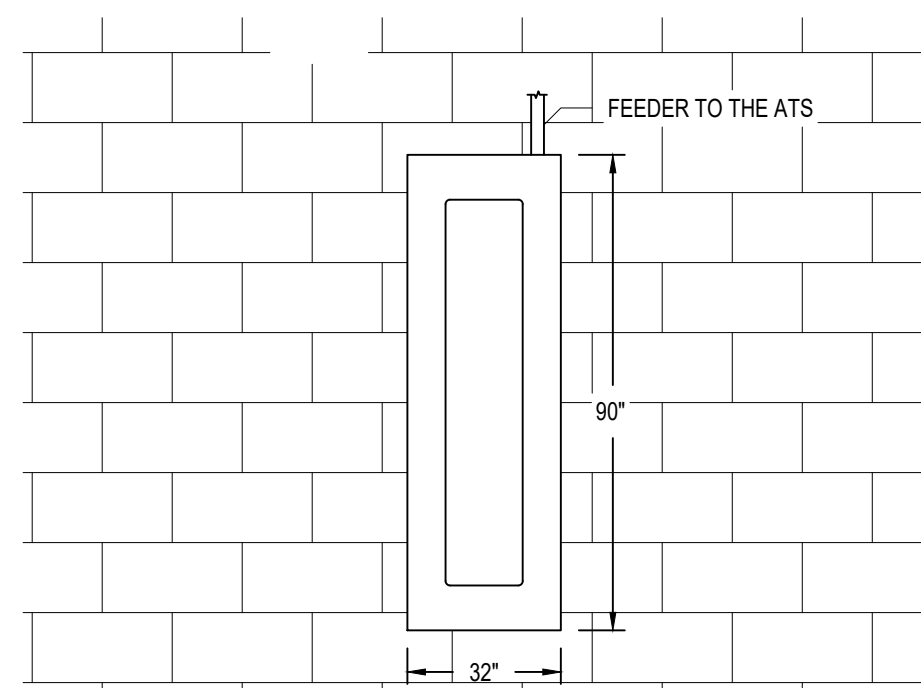
A EXTERIOR WALL BRANCH WIRING DETAIL
NOT TO SCALE



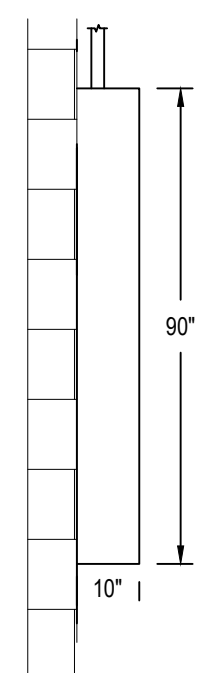
NEW MDP BASIS OF DESIGN
1. SIEMENS P4 PANELBOARD 600A, 120/208V



A NEW MDP DIAGRAM
NO SCALE



B NEW MDP FRONT VIEW
NOT TO SCALE



C NEW MDP SIDE VIEW
NOT TO SCALE

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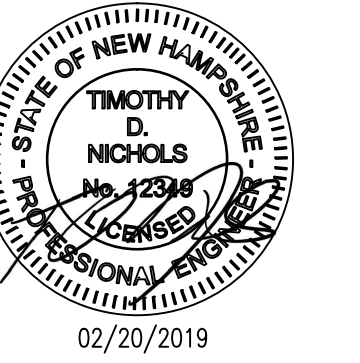
REVISIONS		
No.	DESCRIPTION	DATE
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2	85% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	LIGHT PLAN REVISION	06/25/2018
5	ISSUED FOR BID	02/20/2019

NEW MAIN DISTRIBUTION PANELBOARD DIAGRAM

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	DS
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PROJECT PHASE:
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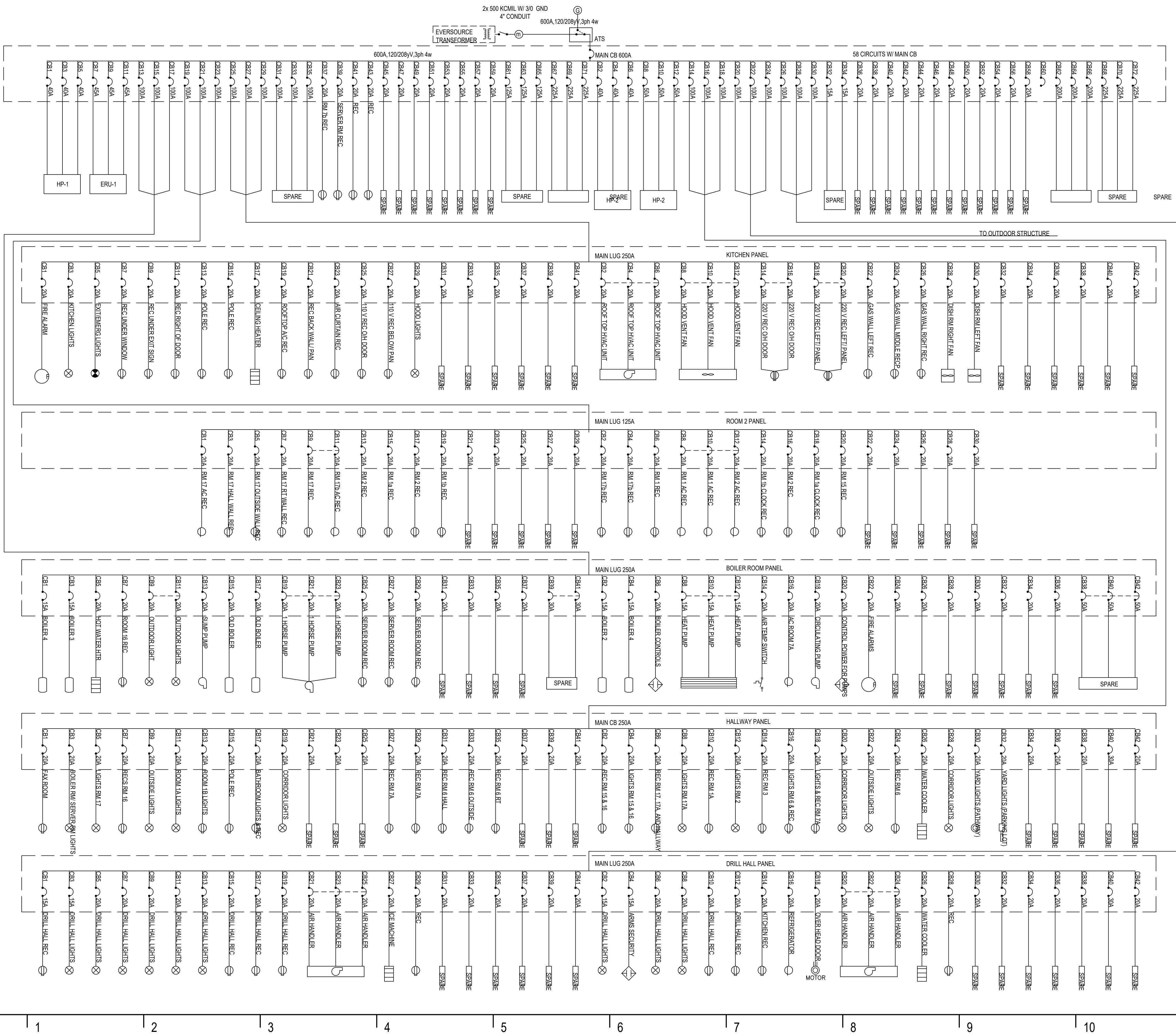
REVISIONS		
No.	DESCRIPTION	DATE
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5	ISSUED FOR BID	02/20/2019

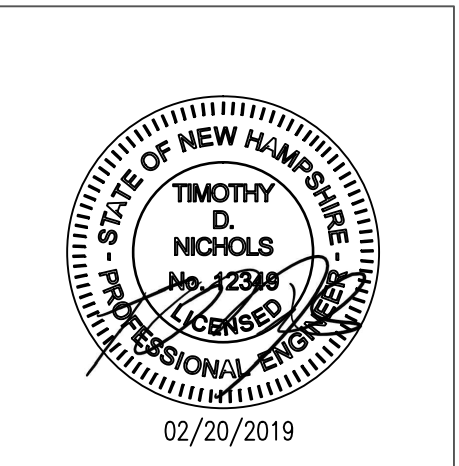
NEW ELECTRICAL SYSTEM DIAGRAM

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	DS
REVIEWED BY:	TDN

E-3.2

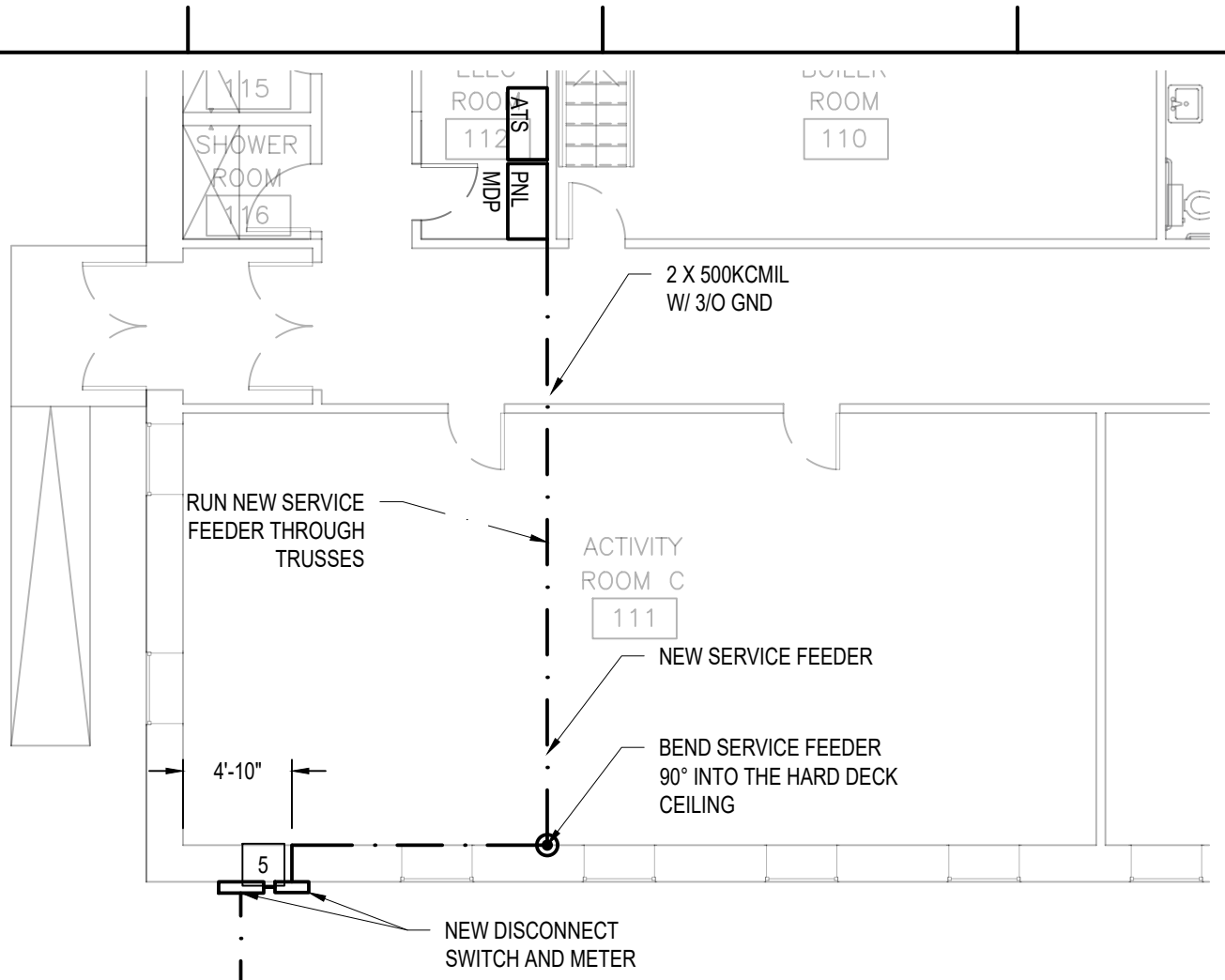
PROJECT PHASE:
ISSUED FOR BID



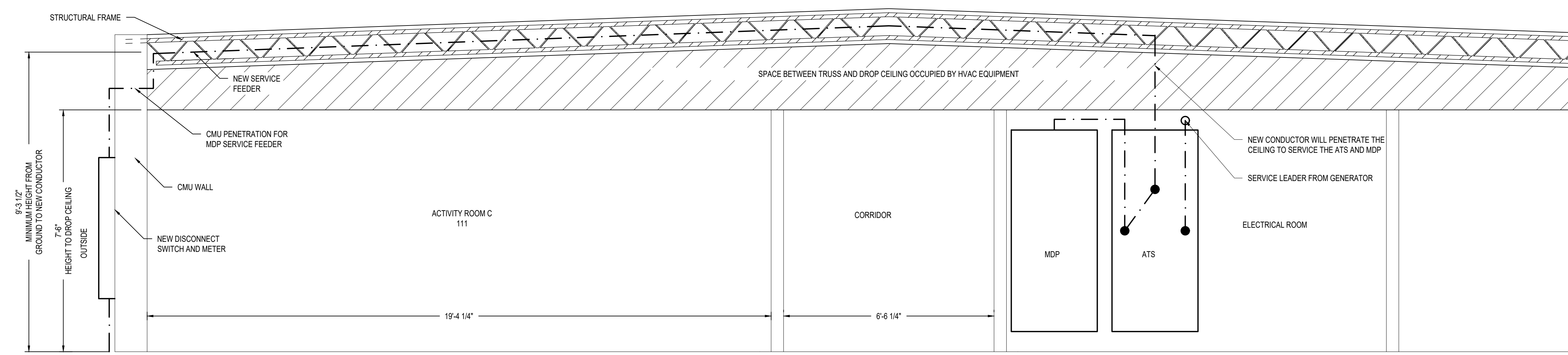


NEW WORK NOTES

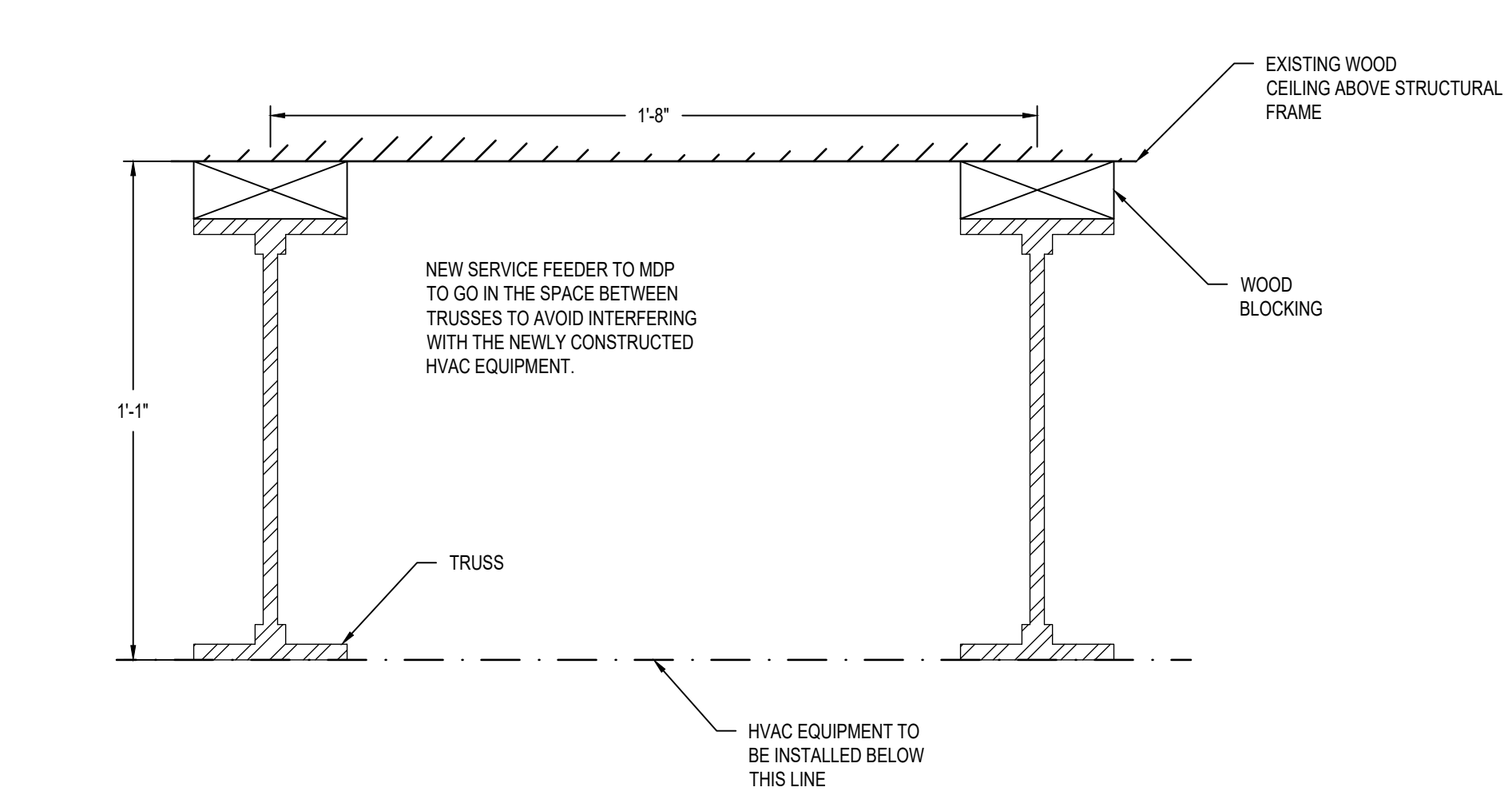
1. ENSURE MAIN ELECTRICAL HAS BEEN DE-ENERGIZED PRIOR TO COMMENCING WORK. COMPLY WITH OSHA CONSTRUCTION SAFETY STANDARDS.
2. COORDINATE WITH LOCAL ELECTRICAL UTILITY FOR OUTAGES AND WORK IMPACTING THE MAIN SERVICE FEEDER.
3. CONTRACTOR TO CONFIRM DIMENSIONS TO DETERMINE THE PROPER AMOUNT OF CONDUCTOR.
4. CONTRACTOR WILL DETERMINE BEST PATH FROM THE CMU WALL PENETRATION TO ELECTRICAL ROOM PROVIDED THE CONDUCTOR IS ROUTED THROUGH THE TRUSSES.
5. CMU WALL PENETRATION WILL BE PRESERVED AND USED TO ESTABLISH A CONNECTION TO THE FEEDER ON THE EXTERIOR.
6. CONTRACTOR WILL DETERMINE THE BEST METHOD TO FASTEN THE CONDUCTOR CONDUIT TO THE TRUSSES.
7. TEST MDP PANELBOARD TO ENSURE CIRCUIT IS FUNCTIONAL AND COMPLETE.
8. CONTRACTOR IS RESPONSIBLE FOR REPAIRS MORTAR DEFICIENCIES ON THE EXTERIOR BRICK FACADE POST INSTALLATION OF THE NEW DISCONNECT SWITCH AND METER.
9. EVERSOURCE PROVIDES AND INSTALLS NEW SERVICE FEEDER FROM SERVICE POLE TO EXTERIOR DISCONNECT.



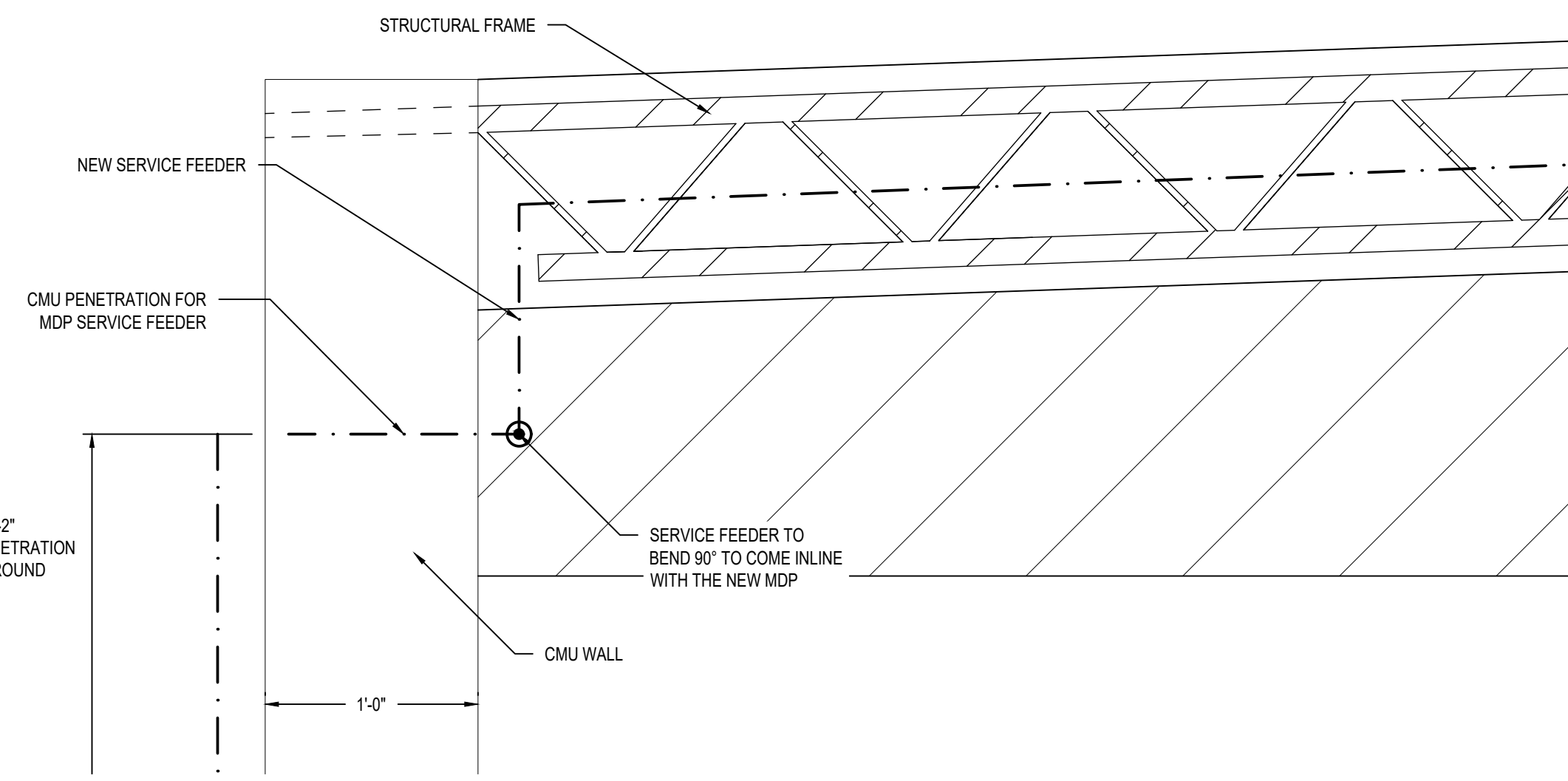
A NEW SERVICE FEEDER TOP VIEW
1/8"=1'



B NEW SERVICE FEEDER SECTION
1/2"=1'



C TRUSS CROSS SECTION
3"=1'



D NEW SERVICE FEEDER DETAIL
1-1/2"=1'

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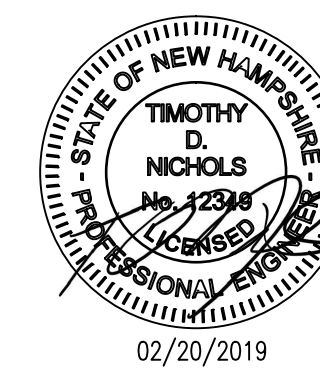
REVISIONS		
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MDP AND SERVICE FEEDER NEW WORK

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	AS NOTED
DRAWN BY:	DS
REVIEWED BY:	TDN

E-3.3

PROJECT PHASE:
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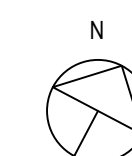


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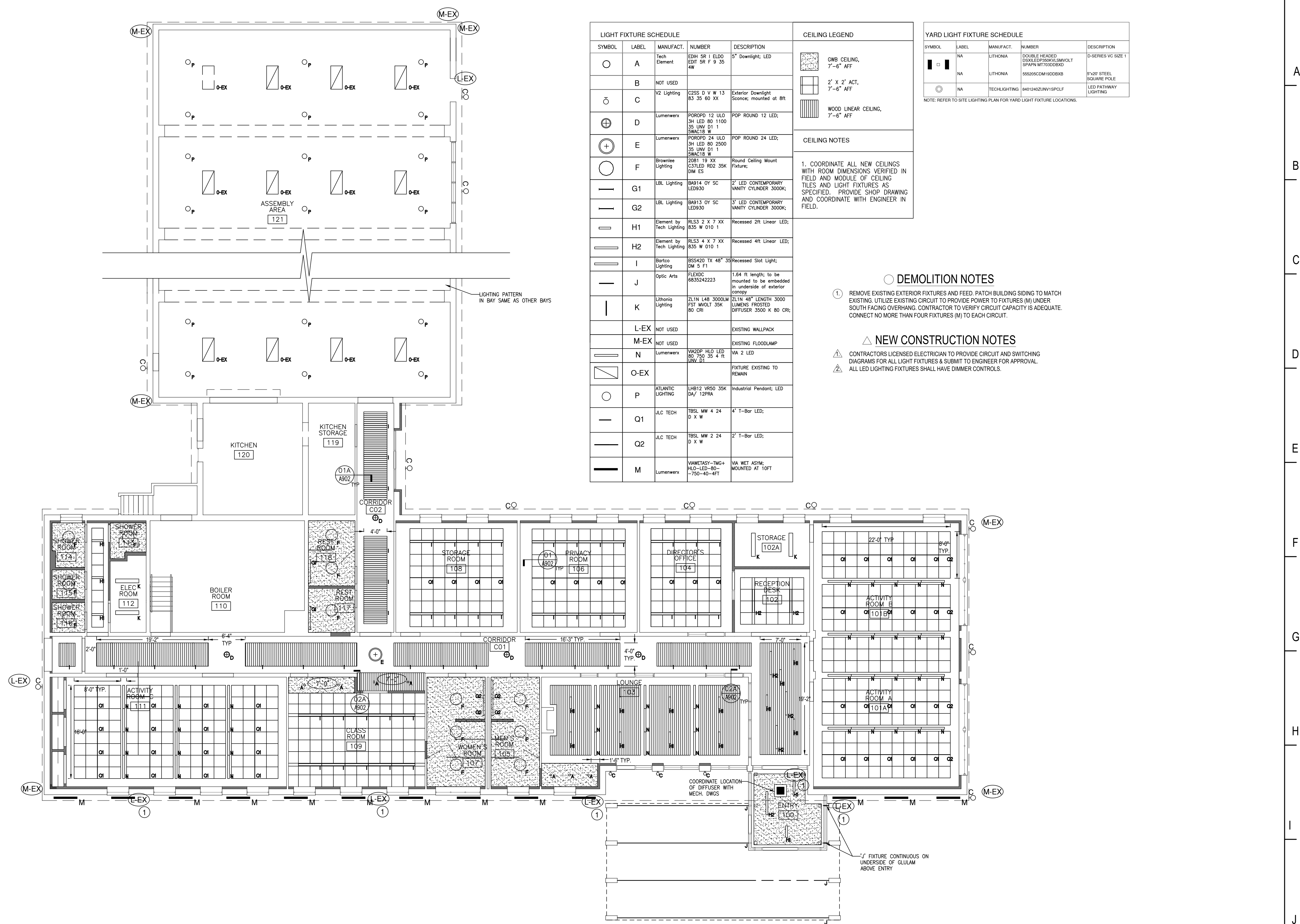


LIGHTING PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/8"=1'
DRAWN BY:	DS
REVIEWED BY:	TDN

E-4.0

PROJECT PHASE:
ISSUED FOR BID



LIGHT FIXTURE SCHEDULE					CEILING LEGEND	
SYMBOL	LABEL	MANUFACT.	NUMBER	DESCRIPTION		
○	A	Tech Element	EDH 5R I ELDO EDT 5R F 9 35 4W	5" Downlight; LED		GWB CEILING, 7'-6" AFF
○	B	NOT USED				2' X 2' ACT, 7'-6" AFF
○	C	V2 Lighting	C2SS D V W 13 83 35 60 XX	Exterior Downlight Sconce; mounted at 8ft		WOOD LINEAR CEILING, 7'-6" AFF
⊕	D	Lumenwerx	POROP 12 UL0 3H LED 80 1100 35 UNV D1 1 5WAC18 W	POP ROUND 12 LED;		
⊕	E	Lumenwerx	POROP 24 UL0 3H LED 80 2500 35 UNV D1 1 5WAC18 W	POP ROUND 24 LED;		
○	F	Brownlee Lighting	2081 19 XX C37LED R02 35K DIM ES	Round Ceiling Mount Fixture;		
—	G1	LBL Lighting	BA914 0Y SC LED930	2' LED CONTEMPORARY VANITY CYLINDER 3000K;		
—	G2	LBL Lighting	BA913 0Y SC LED930	3' LED CONTEMPORARY VANITY CYLINDER 3000K;		
—	H1	Element by Tech Lighting	RLS3 2 X 7 XX 835 W 010 1	Recessed 2ft Linear LED;		
—	H2	Element by Tech Lighting	RLS3 4 X 7 XX 835 W 010 1	Recessed 4ft Linear LED;		
—	I	Bartco Lighting	BSS420 TX 48" 35 DM 5 FT	Recessed Slot Light;		
—	J	Optic Arts	FLEXDC 6835242223	1.64 ft length; to be mounted to be embedded in underside of exterior canopy		
—	K	Lithonia Lighting	ZL1N L48 3000LM FST MVOLT 35K 80 CRI	ZL1N 48" LENGTH 3000 LUMENS FROSTED DIFFUSER 3500 K 80 CRI;		
—	L-EX	NOT USED		EXISTING WALLPACK		
—	M-EX	NOT USED		EXISTING FLOODLAMP		
—	N	Lumenwerx	VA2DP HLO LED 80 750 35 4 ft UNV D1	VIA 2 LED		
—	O-EX			FIXTURE EXISTING TO REMAIN		
○	P	ATLANTIC LIGHTING	LHB12 VR50 35K DA/ 12PRA	Industrial Pendant; LED		
—	Q1	JLC TECH	TBSL MW 4 24 D X W	4' T-Bar LED;		
—	Q2	JLC TECH	TBSL MW 2 24 D X W	2' T-Bar LED;		
—	M	Lumenwerx	WAWETASY-TMG+ HLO-LED-80- -750-40-4FT	VIA WET ASTM MOUNTED AT 10FT		

YARD LIGHT FIXTURE SCHEDULE				
SYMBOL	LABEL	MANUFACT.	NUMBER	DESCRIPTION
□	NA	LITHONIA	DOUBLE HEADED DSXILEP230KVL5MVOLT SPAPN MT7030DBXB	D-SERIES VC SIZE 1
□	NA	LITHONIA	555205CDM190DBXB	8"X20" STEEL SQUARE POLE
○	NA	TECHLIGHTING	84012402UNV1SPCLF	LED PATHWAY LIGHTING

NOTE: REFER TO SITE LIGHTING PLAN FOR YARD LIGHT FIXTURE LOCATIONS.

- DEMOLITION NOTES**
- 1. REMOVE EXISTING EXTERIOR FIXTURES AND FEED. PATCH BUILDING SIDING TO MATCH EXISTING. UTILIZE EXISTING CIRCUIT TO PROVIDE POWER TO FIXTURES (M) UNDER SOUTH FACING OVERHANG. CONTRACTOR TO VERIFY CIRCUIT CAPACITY IS ADEQUATE. CONNECT NO MORE THAN FOUR FIXTURES (M) TO EACH CIRCUIT.
- NEW CONSTRUCTION NOTES**
- 1. CONTRACTORS LICENSED ELECTRICIAN TO PROVIDE CIRCUIT AND SWITCHING DIAGRAMS FOR ALL LIGHT FIXTURES & SUBMIT TO ENGINEER FOR APPROVAL.
 - 2. ALL LED LIGHTING FIXTURES SHALL HAVE DIMMER CONTROLS.

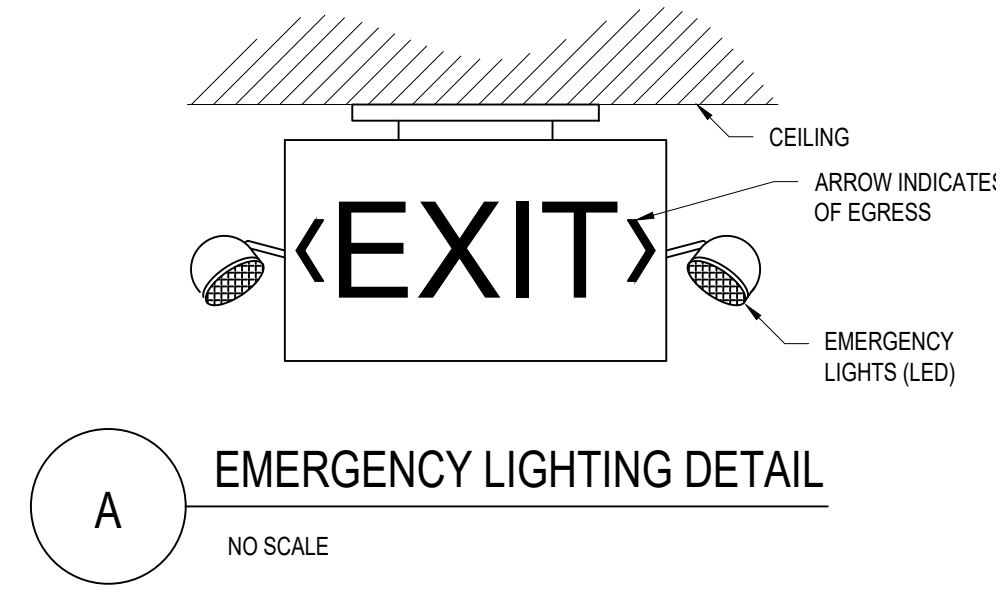
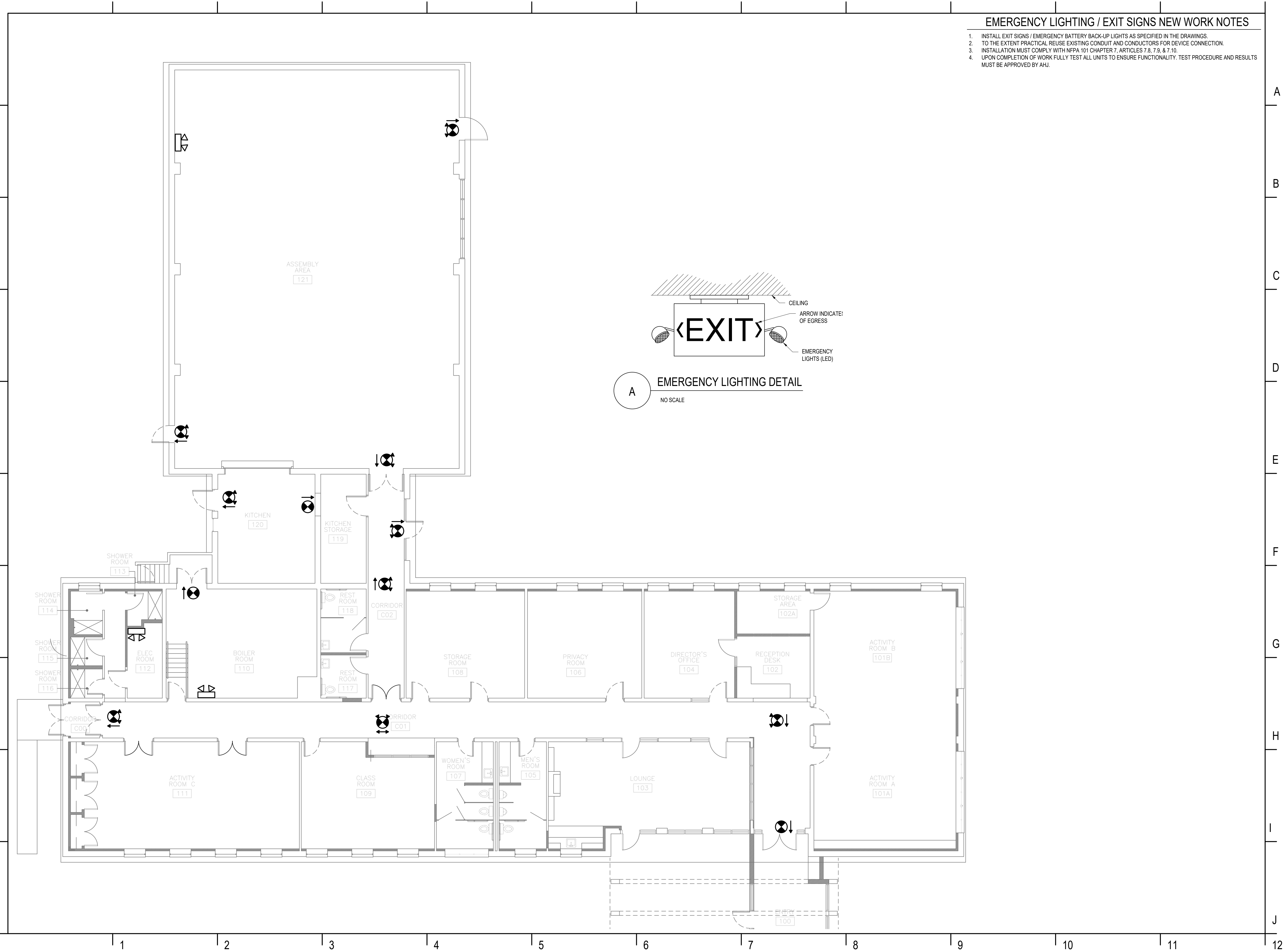
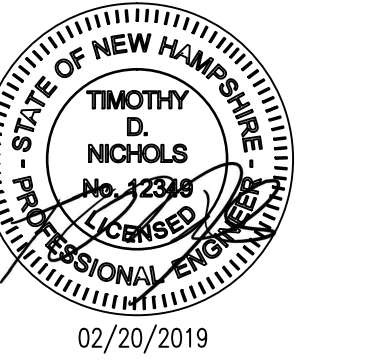
"J" FIXTURE CONTINUOUS ON
UNDERSIDE OF GLULAM
ABOVE ENTRY

EMERGENCY LIGHTING / EXIT SIGNS NEW WORK NOTES

1. INSTALL EXIT SIGNS / EMERGENCY BATTERY BACK-UP LIGHTS AS SPECIFIED IN THE DRAWINGS.
2. TO THE EXTENT PRACTICAL REUSE EXISTING CONDUIT AND CONDUCTORS FOR DEVICE CONNECTION.
3. INSTALLATION MUST COMPLY WITH NFPA 101 CHAPTER 7, ARTICLES 7.8, 7.9, & 7.10.
4. UPON COMPLETION OF WORK FULLY TEST ALL UNITS TO ENSURE FUNCTIONALITY. TEST PROCEDURE AND RESULTS MUST BE APPROVED BY AHJ.



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**EMERGENCY LIGHTING / EXIT
SIGN NEW WORK PLAN**

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/8"=1'
DRAWN BY:	DS
REVIEWED BY:	TDN

E-5.0

PROJECT PHASE:
ISSUED FOR BID

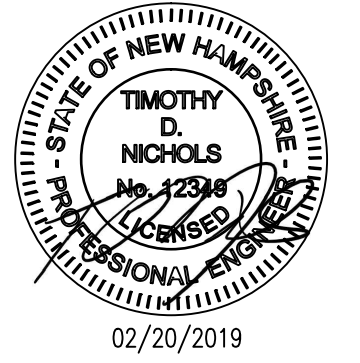
1 2 3 4 5 6 7 8 9 10 11 12

NEW WORK NOTES

1. ENSURE MAIN ELECTRICAL POWER HAS BEEN DE-ENERGIZED PRIOR TO COMMENCING WORK.
2. COORDINATE WITH LOCAL ELECTRICAL UTILITY FOR OUTAGES AND WORK IMPACTING THE MAIN SERVICE FEEDER.
3. CONTRACTOR TO CONFIRM DIMENSIONS TO DETERMINE THE PROPER AMOUNT OF CONDUIT.
4. GENERATOR SHALL BE RATED FOR 175KW, 120/208V 3-PH 4-WIRE.
5. CONTRACTOR TO DETERMINE THE BEST LOCATION FOR THE CMU WALL PENETRATIONS TO PROVIDE SERVICE FROM THE GENERATOR TO THE ATS.
6. CONTRACTOR WILL ENSURE THE SERVICE FEEDER FROM THE GENERATOR IS A MINIMUM OF 10' WHEN MOUNTED ON THE WALL.
7. CONTRACTOR WILL ENSURE THE SERVICE FEEDER HAS PROPER WEATHER PROTECTION WHEN MOUNTED ADJACENT TO THE BUILDING EXTERIOR.
8. CONTRACTOR WILL DETERMINE THE BEST METHOD TO FASTEN THE CONDUIT CONDUIT TO THE SUPPORTING WALLS.
9. TEST PANELBOARD TO ENSURE CIRCUIT IS FUNCTIONAL AND COMPLETE.



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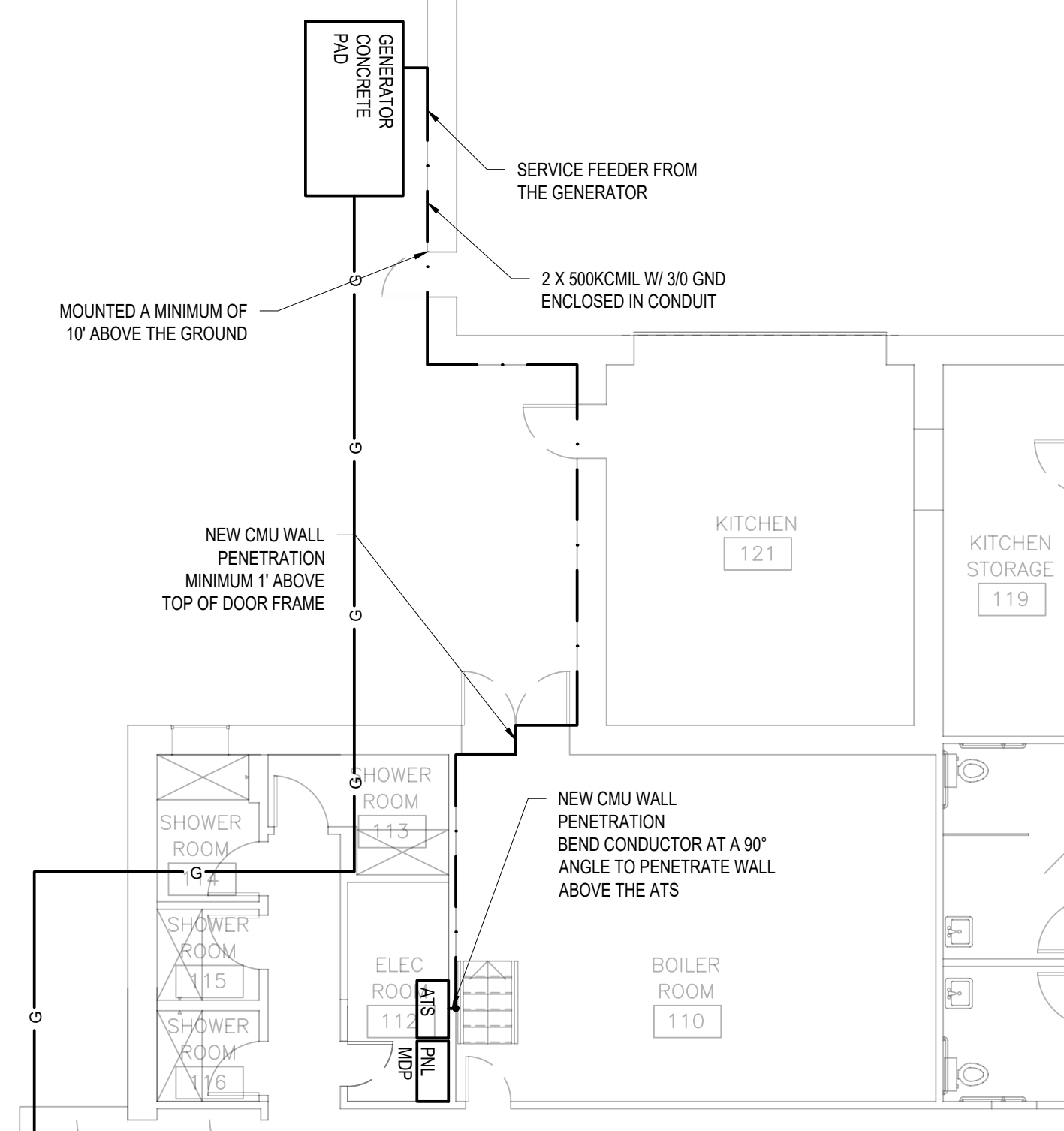
REVISIONS		
No.	DESCRIPTION	DATE
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6	ISSUED FOR BID	02/20/2019

**STANDBY GENERATOR NEW
WORK**

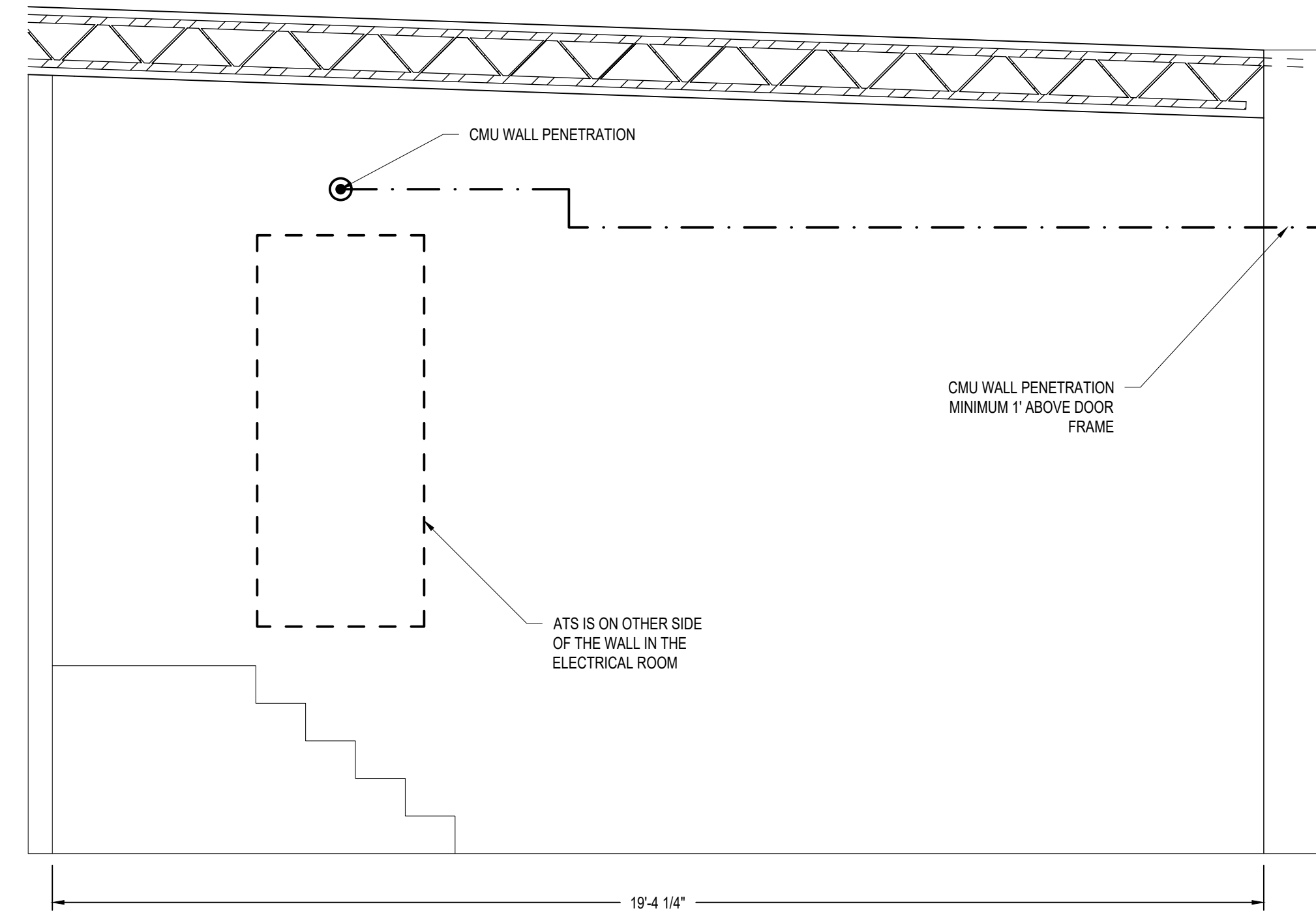
PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: AS NOTED
DRAWN BY: DS
REVIEWED BY: TDN

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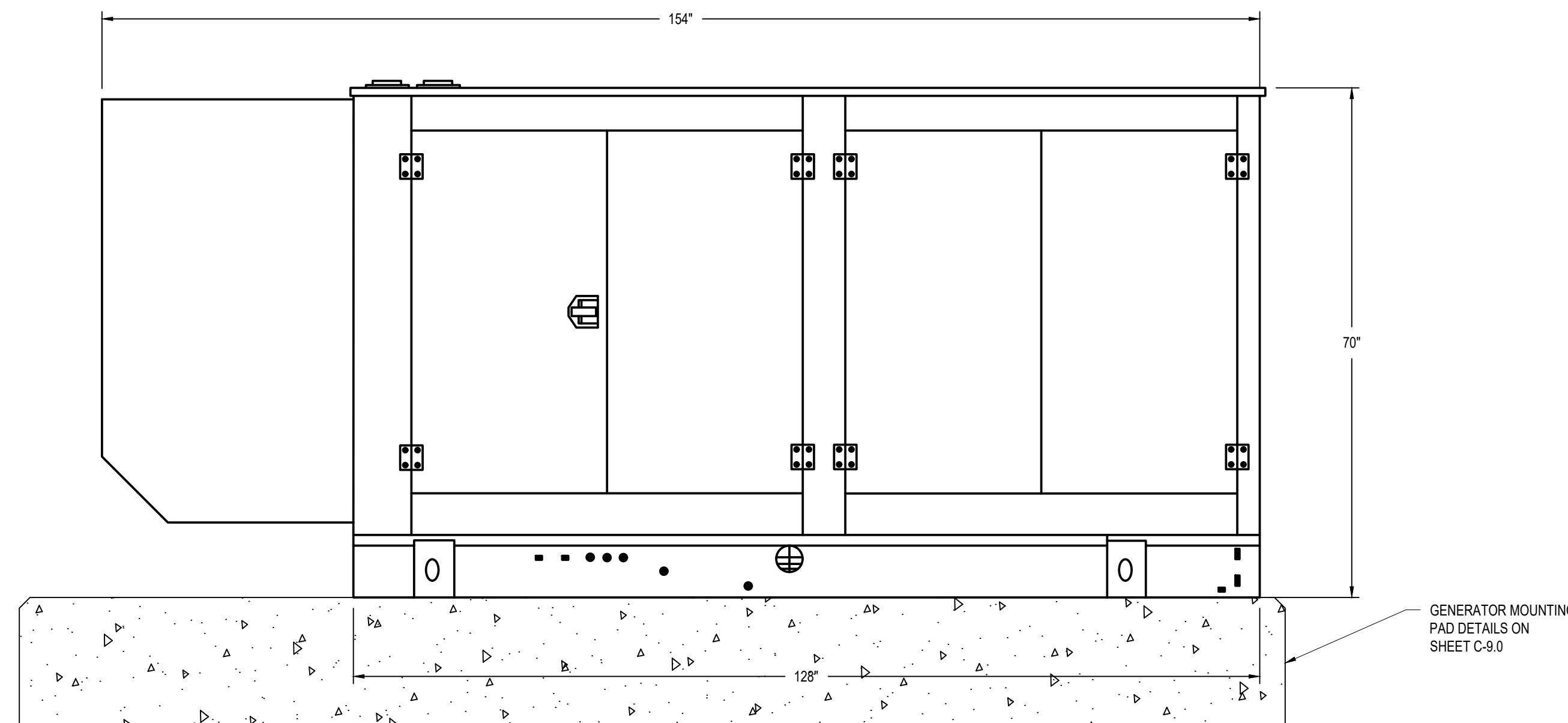
PROJECT PHASE:
ISSUED FOR BID



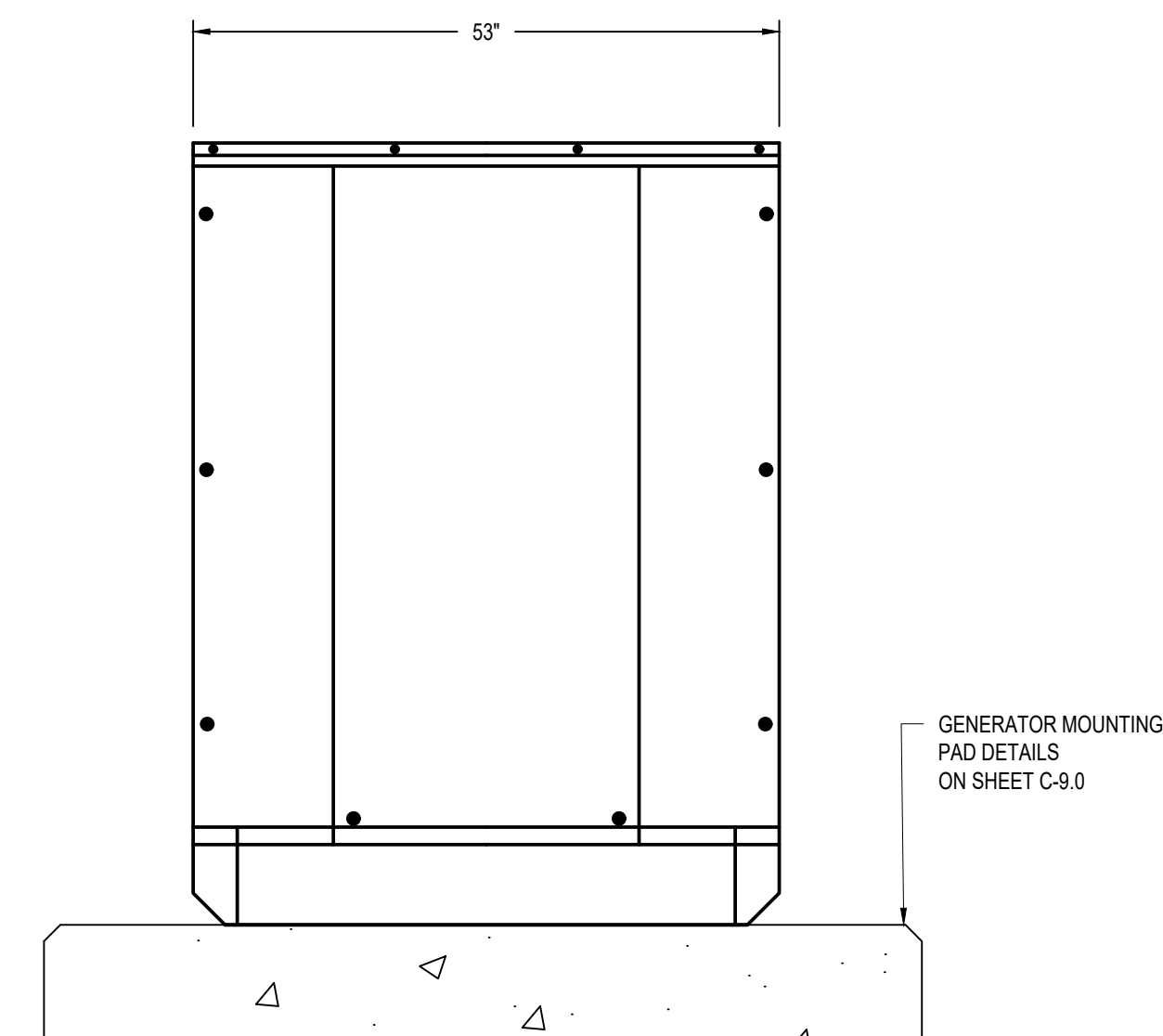
A GENERATOR SERVICE FEEDER NEW WORK TOP VIEW
1/8"=1'



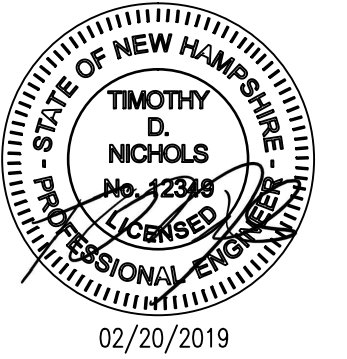
B GENERATOR SERVICE FEEDER NEW WORK SIDE VIEW
1/2"=1'



C GENERATOR SIDE VIEW
NOT TO SCALE



D GENERATOR END VIEW
NOT TO SCALE

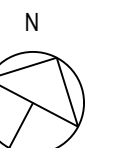


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**FIRE ALARM SYSTEM NEW
WORK**

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/8"=1'
DRAWN BY:	DS
REVIEWED BY:	TDN

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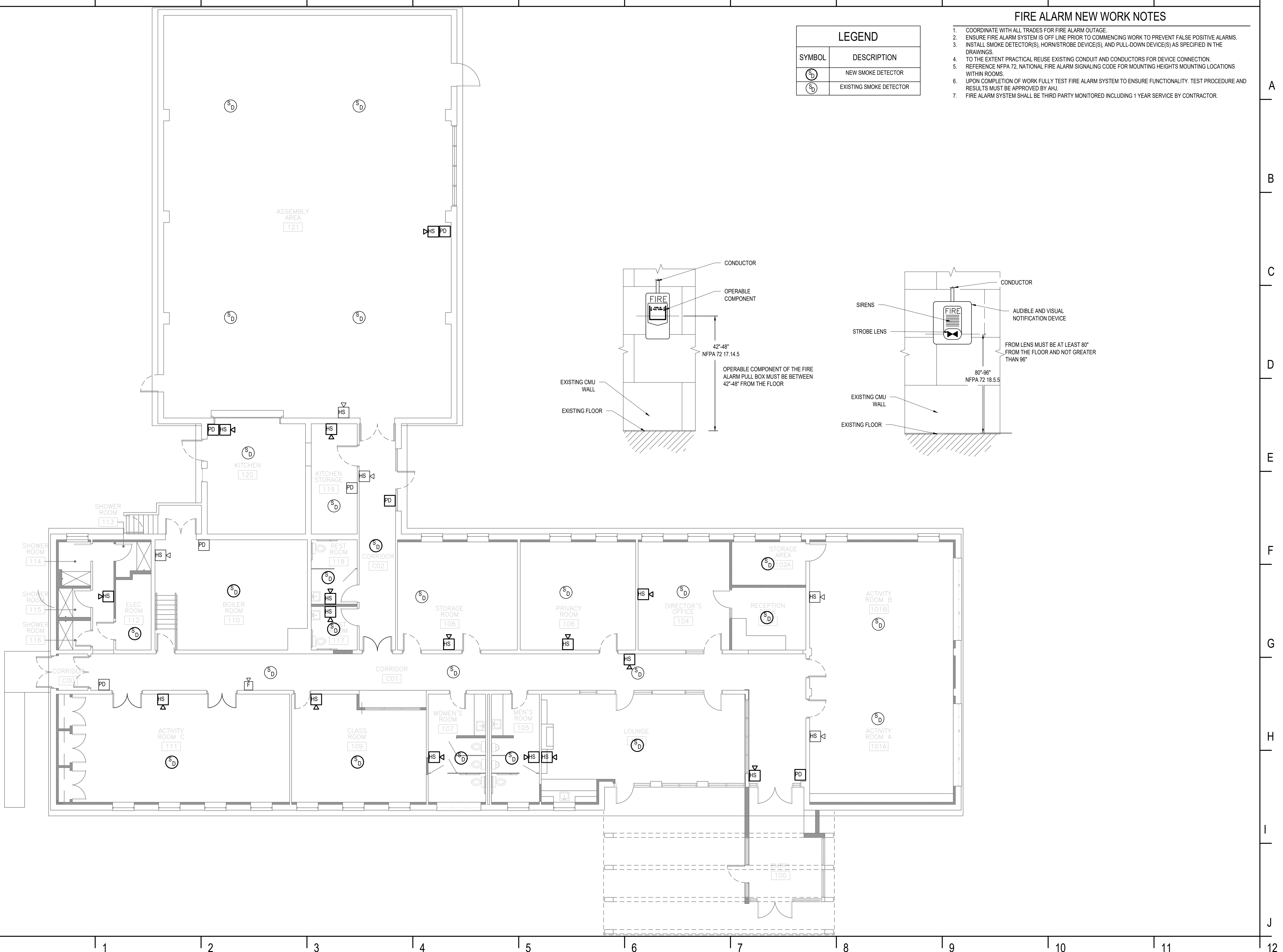
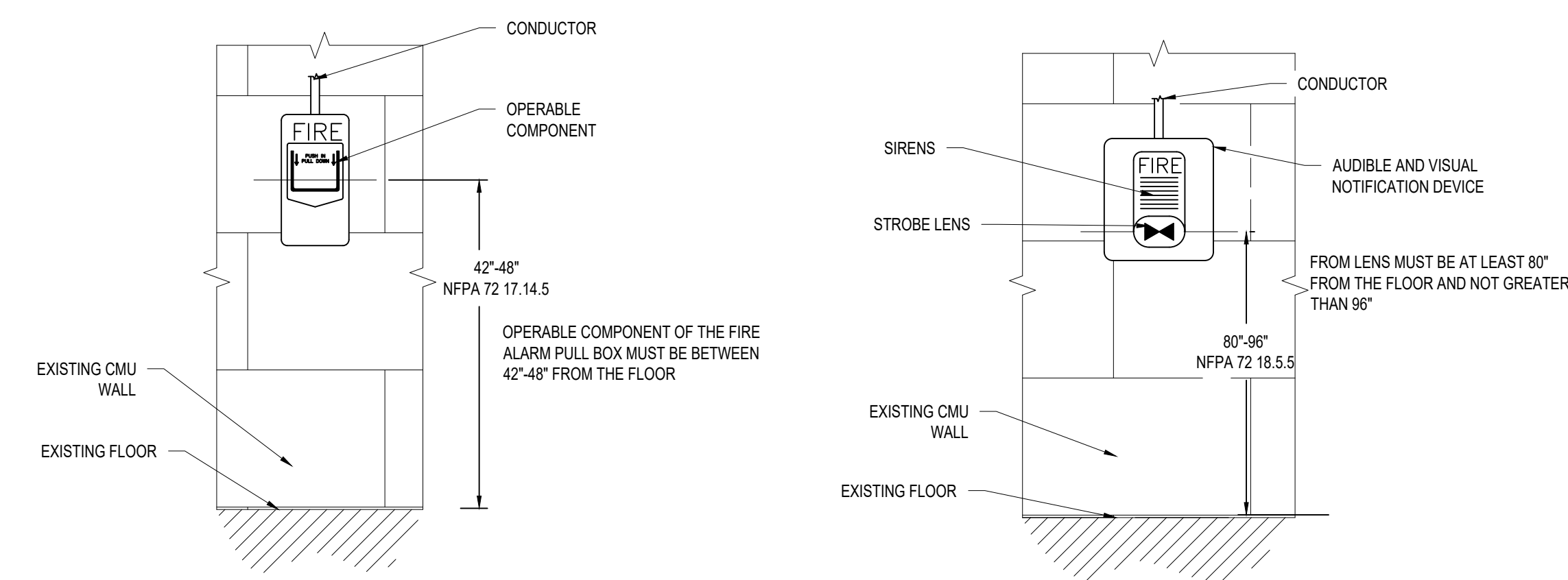
PROJECT PHASE:
ISSUED FOR BID

FIRE ALARM NEW WORK NOTES

- COORDINATE WITH ALL TRADES FOR FIRE ALARM OUTAGE.
- ENSURE FIRE ALARM SYSTEM IS OFF LINE PRIOR TO COMMENCING WORK TO PREVENT FALSE POSITIVE ALARMS.
- INSTALL SMOKE DETECTOR(S), HORN/STROBE DEVICE(S), AND PULL-DOWN DEVICE(S) AS SPECIFIED IN THE DRAWINGS.
- TO THE EXTENT PRACTICAL REUSE EXISTING CONDUIT AND CONDUCTORS FOR DEVICE CONNECTION.
- REFERENCE NFPA 72, NATIONAL FIRE ALARM SIGNALING CODE FOR MOUNTING HEIGHTS MOUNTING LOCATIONS WITHIN ROOMS.
- UPON COMPLETION OF WORK FULLY TEST FIRE ALARM SYSTEM TO ENSURE FUNCTIONALITY. TEST PROCEDURE AND RESULTS MUST BE APPROVED BY AHJ.
- FIRE ALARM SYSTEM SHALL BE THIRD PARTY MONITORED INCLUDING 1 YEAR SERVICE BY CONTRACTOR.

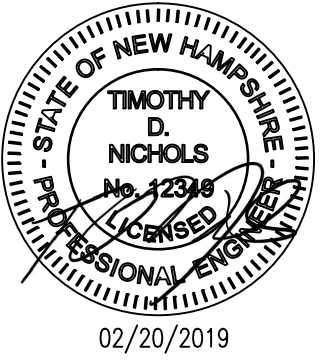
LEGEND

SYMBOL	DESCRIPTION
	NEW SMOKE DETECTOR
	EXISTING SMOKE DETECTOR





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FIRE ALARM SYSTEM ROOM SCHEDULE			
ROOM #	HORNS AND STROBES	SMOKE DETECTOR	PULL DOWN BOX
101A	EXISTING	EXISTING	NA
101B	EXISTING	EXISTING	NA
102	NA	TO BE INSTALLED	NA
102A	NA	TO BE INSTALLED	NA
103	TO BE INSTALLED	TO BE INSTALLED	NA
104	TO BE INSTALLED	EXISTING	NA
105	TO BE INSTALLED	TO BE INSTALLED	NA
106	TO BE INSTALLED	EXISTING	NA
107	TO BE INSTALLED	TO BE INSTALLED	NA
108	TO BE INSTALLED	TO BE INSTALLED	NA
109	TO BE INSTALLED	TO BE INSTALLED	NA
110	EXISTING	TO BE INSTALLED	EXISTING
111	TO BE INSTALLED	TO BE INSTALLED	NA
112	NA	TO BE INSTALLED	NA
113		NA	NA
114		NA	NA
115	TO BE INSTALLED OUTSIDE OF THE SHOWERS ON THE ADJACENT WALL	NA	NA
116		NA	NA
117	TO BE INSTALLED	TO BE INSTALLED	NA
118	TO BE INSTALLED	TO BE INSTALLED	NA
119	TO BE INSTALLED	EXISTING	EXISTING
120	TO BE INSTALLED	EXISTING	TO BE INSTALLED
121	TO BE INSTALLED	EXISTING	TO BE INSTALLED

HORNS AND STROBES						
EQUIPMENT	CANDELA (CD)	HORN (dBA)	VOLTAGE RANGE	MIN/MAX CURRENT DRAW	MOUNTING	COLOR
GAMEWELL FCI L-SERIES	SELECTABLE: 15,30,75,95,110,135,185	SELECTABLE: LOW OR HIGH 88+ dBA AT 16V	12 TO 24 VOLTS (NOMINAL)	52/242 (mA RMS)	WALL MOUNTED AT A HEIGHT OF 80 INCHES. NFPA 72 18.5.5	RED
NFPA 72 WILL BE USED TO DETERMINE THE LIGHT AND HORN INTENSITY. NFPA 72 18.4.3.5.1 NFPA 72 18.5.5.4.1						

SMOKE DETECTORS						
EQUIPMENT	OPERATING TEMP.	VOLTAGE RANGE	STANDBY CURRENT	MAX CURRENT DRAW	MOUNTING	COLOR
ASD-PLZF	32°F TO 120°F	15-32 VOLTS DC	.3mA @ 24V DC	6.5mA @ 24V DC	ON THE CEILING NFPA 72 17.6.3.1	RED

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**FIRE ALARM SYSTEM
SCHEDULE**

PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: NO SCALE
DRAWN BY: DS
REVIEWED BY: TDN

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PROJECT PHASE:
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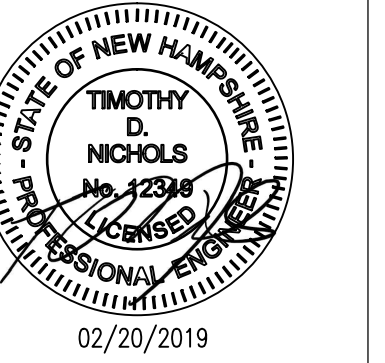
1 2 3 4 5 6 7 8 9 10 11 12

NEW WORK NOTES

1. THIS PLAN IS CONCEPTUAL ONLY.
2. CONTRACTOR RESPONSIBLE FOR SUBMITTING A DESIGN OF THE SECURITY SYSTEM FOR OWNER APPROVAL.
3. SECURITY SYSTEM SHALL BE THIRD PARTY MONITORED INCLUDING 1 YEAR SERVICE BY CONTRACTOR.

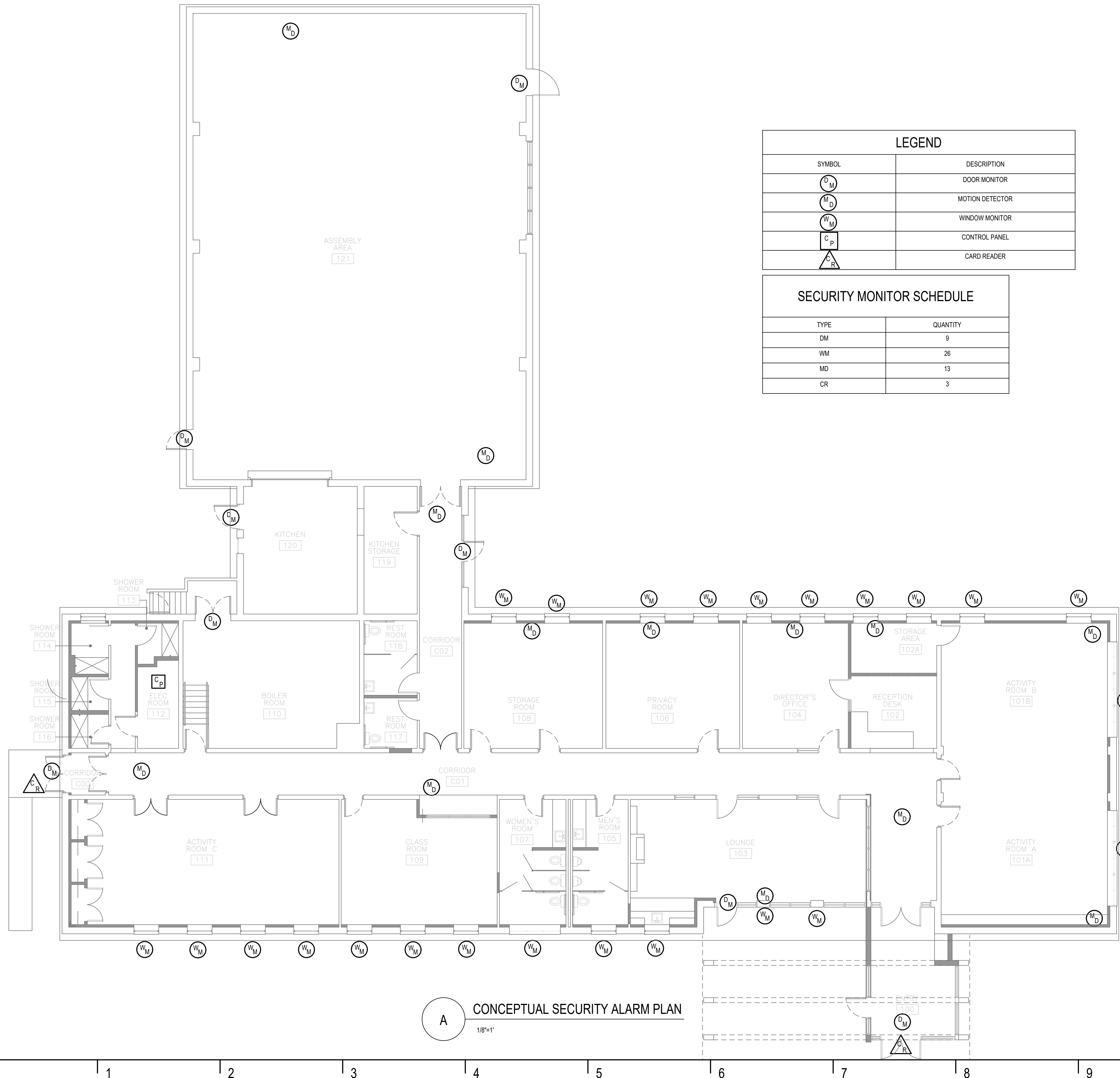


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LEGEND	
SYMBOL	DESCRIPTION
	DOOR MONITOR
	MOTION DETECTOR
	WINDOW MONITOR
	CONTROL PANEL
	CARD READER

SECURITY MONITOR SCHEDULE	
TYPE	QUANTITY
DM	9
WM	26
MD	13
CR	3

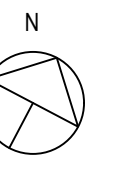


A CONCEPTUAL SECURITY ALARM PLAN
1/8"=1'

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CITY OF PORTSMOUTH
1 JUNKINS AVE
PORTSMOUTH SENIOR ACTIVITY CENTER
125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	LIGHT PLAN REVISION	06/25/2018
5	LIGHT PLAN REVISION	09/25/2018
6	ISSUED FOR BID	02/20/2019



SECURITY SYSTEM CONCEPT PLAN
PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: 1/8"=1'
DRAWN BY: DS
REVIEWED BY: TDN

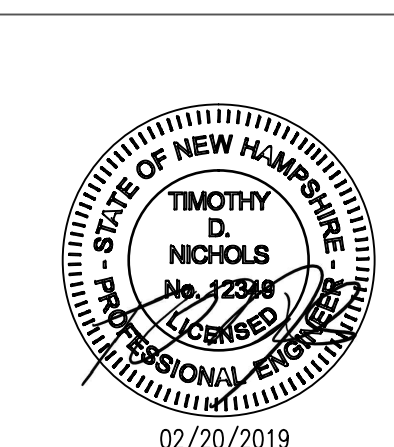
E-7.0

PROJECT PHASE:
ISSUED FOR BID

1 2 3 4 5 6 7 8 9 10 11 12



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CITY OF PORTSMOUTH
1 JUNKINS AVE.

**PORTSMOUTH
SENIOR ACTIVITY
CENTER**

125 COTTAGE ST.
PORTSMOUTH, NH 03801

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4	ISSUED FOR BID	02/20/2019

GENERAL NOTES

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-1.0

PROJECT PHASE:
ISSUED FOR BID

MECHANICAL GENERAL NOTES

- THE MECHANICAL PLANS AND DETAILS INDICATE THE GENERAL INTENT AND ARE NOT INTENDED TO SHOW ALL ITEMS TO BE REMOVED OR RETAINED. THE MECHANICAL CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE SUBMISSION OF BIDS TO BECOME FAMILIAR WITH THE ACTUAL CONDITIONS AND EXTENT OF WORK. DEVICES AND EQUIPMENT LOCATED ON WALLS AND/OR CEILINGS TO BE REMOVED SHALL BE DISCONNECTED AND MADE SAFE FOR REMOVAL. THE MECHANICAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY UNANTICIPATED HIDDEN CONDITIONS ENCOUNTERED DURING DEMOLITION.
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL SYSTEMS OR BUILDING COMPONENTS DAMAGED DURING THE EXECUTION OF WORK. DAMAGE SHALL INCLUDE BUT NOT BE LIMITED TO THE DESTRUCTION OR DISPOSAL OF ITEMS INTENDED TO REMAIN OR BE SALVAGED.
- THE MECHANICAL CONTRACTOR SHALL PROPERLY POWER OFF AND DE-ENERGIZE ANY EXISTING HVAC EQUIPMENT BEFORE ANY DEMOLITION OR CONSTRUCTION.
- ALL REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF, OR RECYCLED WHERE APPLICABLE, UNLESS IDENTIFIED FOR REUSE OR TURNED OVER TO OWNER. THE OWNER'S REPRESENTATIVE SHALL INSPECT ALL RETAINED ITEMS PRIOR TO PLACEMENT IN THE IDENTIFIED STORAGE LOCATION BY THE MECHANICAL CONTRACTOR.
- THE HVAC DUCTING LAYOUT PLAN IS INTENDED TO PROVIDE A MINIMUM CEILING HEIGHT OF 7'-6". IF ANY OBSTRUCTIONS LIMIT THE HEIGHT THE MECHANICAL CONTRACTOR IS TO CONSULT WITH THE DESIGN ENGINEER.
- IF ANY CMU WALL PENETRATIONS ARE MADE TO ACCOMMODATE NEW DUCTING, THE MECHANICAL CONTRACTOR SHALL FIRE SEAL PENETRATIONS WITH THE APPROVED GROUT OR CAULKING. NO FOAM IS PERMITTED FOR THIS APPLICATION.
- MECHANICAL CONTRACTOR SHALL INSULATE ALL DUCTWORK IN UNCONDITIONED SPACES (ELECTRICAL AND MECHANICAL ROOM) WITH A MINIMUM OF R-8 FOIL FACED FSK.
- ALL EQUIPMENT SHALL BE INSTALLED, TESTED, AND COMMISSIONED PER MANUFACTURER STANDARDS. WARRANTY INFORMATION WILL BE PROVIDED TO THE OWNER.
- ALL INSTALLED DUCT WORK MUST COMPLY WITH ASHRAE 90.6.4.4.2.1 LEVEL A SEALING.
- STANDARDS TO BE USED AND COMPLIED WITH
 - ASHRAE 90.1-2007 SECTION 6.4.2.2.1
 - ASHRAE 15-2016 SECTION 8.10.3 EX 5A
- FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS FOR DETAILS ON UNIT HANGING, REFRIGERANT EVACUATION, CONTROLS CONNECTIONS, ETC.
- CONTRACTOR SHALL TAKE EVERY PRECAUTION NOT TO INTERRUPT, PENETRATE THROUGH OR FASTEN TO HISTORIC TRIM WORK.
- THE CONTRACTOR SHALL CONNECT THEIR WORK TO VARIOUS EXISTING PIPING, DUCTWORK, AND CONTROL SYSTEMS IN THE BUILDING. THE NEW WORK SHALL BE COMPATIBLE WITH ANY OF THE EXISTING SYSTEMS TO REMAIN. LOCATION OF EQUIPMENT OR THE ROUTING OF THE VARIOUS SYSTEMS AS WELL AS OPENINGS IN FLOOR SLABS OR WALLS SHALL BE GOVERNED BY THE EXISTING CONDITIONS AS THEY APPEAR IN THE FIELD. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS.
- THE INTERIOR OF ALL DUCTWORK VISIBLE THROUGH A GRILLE OR DIFFUSER SHALL BE PAINTED FLAT BLACK.
- THE EXTERIOR OF ALL DUCTWORK SHALL BE PAINTED FLAT BLACK.
- ALL EQUIPMENT LOCATED ABOVE THE CLOUD CEILINGS SHALL BE PAINTED FLAT BLACK.
 - THIS INCLUDES, BUT IS NOT LIMITED TO; FCUs, ERUs.
- SIZE OF DUCT RUN-OUT TO A DIFFUSER SHALL EQUAL DIFFUSER NECK SIZE.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING SERVICES ON ALL EXISTING HVAC EQUIPMENT INDICATED TO BE REUSED:
 - FILTER CHANGES
 - BALANCING
 - LUBRICATION
- CONTRACTOR SHALL REPORT ANY EXISTING EQUIPMENT DEFICIENCIES FOUND TO THE ENGINEER.
- CONTRACTOR SHALL SEAL ALL DUCTING IN THE COURSE OF CONSTRUCTION TO MINIMIZE DEBRIS CONTAMINATION. CONTRACTOR SHALL CLEAN ALL DUCTING AND REPLACE AIR FILTERS DURING COMMISSIONING AND STAR-UP.
- ALL PLUMBING FITTINGS AND PIPE MUST BE CERTIFIED LEAD FREE AND SPECIFIED FOR POTABLE USE.

AIR REGISTER LEGEND

TAG	SYMBOL	DESCRIPTION
RA-#		RETURN AIR REGISTER. TAG DENOTES EQUIPMENT NUMBER.
FA-#		FRESH AIR INTAKE, MOUNTED ON ROOF. TAG DENOTES EQUIPMENT NUMBER.
DA-#		DISCHARGE AIR, MOUNTED ON ROOF. TAG DENOTES EQUIPMENT NUMBER.
EA-# ##CFM		EXHAUST AIR, MOUNTED IN A CMU WALL PENETRATION. TAG DENOTES EQUIPMENT NUMBER AND CFM.
EA-# ##CFM		EXHAUST AIR, MOUNTED IN THE CEILING. TAG DENOTES EQUIPMENT NUMBER AND CFM.
SA-# ##CFM		SUPPLY AIR REGISTER. TAG DENOTES EQUIPMENT NUMBER AND CFM.

HVAC EQUIPMENT LEGEND

TAG	DESCRIPTION
AAA ##	HVAC EQUIPMENT TAG. AAA DENOTES THE SPECIFIC EQUIPMENT ABBREVIATION. ## DENOTES THE EQUIPMENT NUMBER.
BB-# ##FT	BASEBOARD PIPING TAG AND SECTION LENGTH (FT)
	REFRIGERANT PIPING

MECHANICAL ABBREVIATIONS

ACCU	AIR COOLED CONDENSING UNIT
AHU	AIR HANDLING UNIT
BB	BASEBOARD PIPING
CFM	CUBIC FEET PER MINUTE
DA	DISCHARGE AIR
EA	EXHAUST AIR
ERU	ENERGY RECOVERY UNIT
FA	FRESH AIR
FCU	FAN COIL UNIT
HP	HEAT PUMP
RA	RETURN AIR
SA	SUPPLY AIR
AS	AIR SOURCE
SD	AUTOMATIC SMOKE/FIRE DAMPER
SS	DUCT SMOKE SENSOR
TYP	TYPICAL
UH	UNIT HEATER
ACU	AIR CONDITIONING UNIT
ASHP	AIR SOURCE HEAT PUMP
VRF	VARIABLE REFRIGERANT FLOW

DUCTING LEGEND

SYMBOL	DESCRIPTION
##X##	SPIRAL FLAT OVAL DUCTING MAJOR AXIS BY MINOR AXIS.
##Ø	SPIRAL CIRCULAR DUCTING DIAMETER.
	ARROW INDICATES DIRECTION OF FLOW.
	INDICATES A CHANGE IN ELEVATION IN THE DUCT WORK.

LINE WEIGHT EXAMPLES

	THIS LINE WEIGHT INDICATES A NEWLY CONSTRUCTED FEATURE.
	THIS LINE WEIGHT INDICATES A FEATURE THAT ALREADY EXISTS.

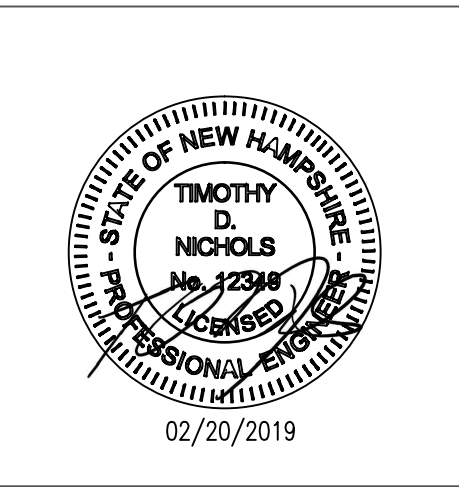
1 2 3 4 5 6 7 8 9 10 11 12

DEMOLITION KEYNOTES

1. REMOVE THROUGH-WALL ACUS. TEMPORARILY SEAL TO PREVENT WALL TO PREVENT MOISTURE INVASION.
2. REMOVE AND DISPOSE OF CEILING MOUNTED HEATER UNITS. REMOVE ELECTRICAL SERVICE TO THE NEAREST JUNCTION BOX. CAP AND SECURE. INSTALL BALL VALVES AS CLOSE TO THE CEILING AS POSSIBLE ON HOT WATER SUPPLY AND RETURN.
3. REMOVE AND DISPOSE OF BASEBOARD HEAT EMITTERS. INSTALL BALL VALVES AS CLOSE TO THE CEILING AS POSSIBLE ON HOT WATER SUPPLY AND RETURN.
4. REMOVE AND DISPOSE OF BASEBOARD HEAT EMITTERS. CAP HOT WATER SUPPLY AND RETURN AS CLOSE TO THE CEILING AS POSSIBLE.
5. ABANDONED IN PLACE AND DISCONNECTED WATER HEATER TO BE REMOVED AND DISPOSED OF. EXISTING AND FUNCTIONAL DHW TANK TO BE DISCONNECTED, REMOVED, AND SALVAGED.
6. FOR GENERAL NOTES REFER TO SHEET M-1.0.
7. CONTRACTOR RESPONSIBLE FOR OFF SITE DISPOSAL OF ALL EQUIPMENT AND MATERIALS AT PERMITTED WASTE TRANSFER FACILITY LICENSED FOR REFRIGERANT RECOVERY.
8. REMOVE MAIN BUILDING SPACE HEAT CIRCULATION PUMP.



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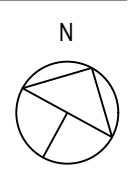


CITY OF PORTSMOUTH
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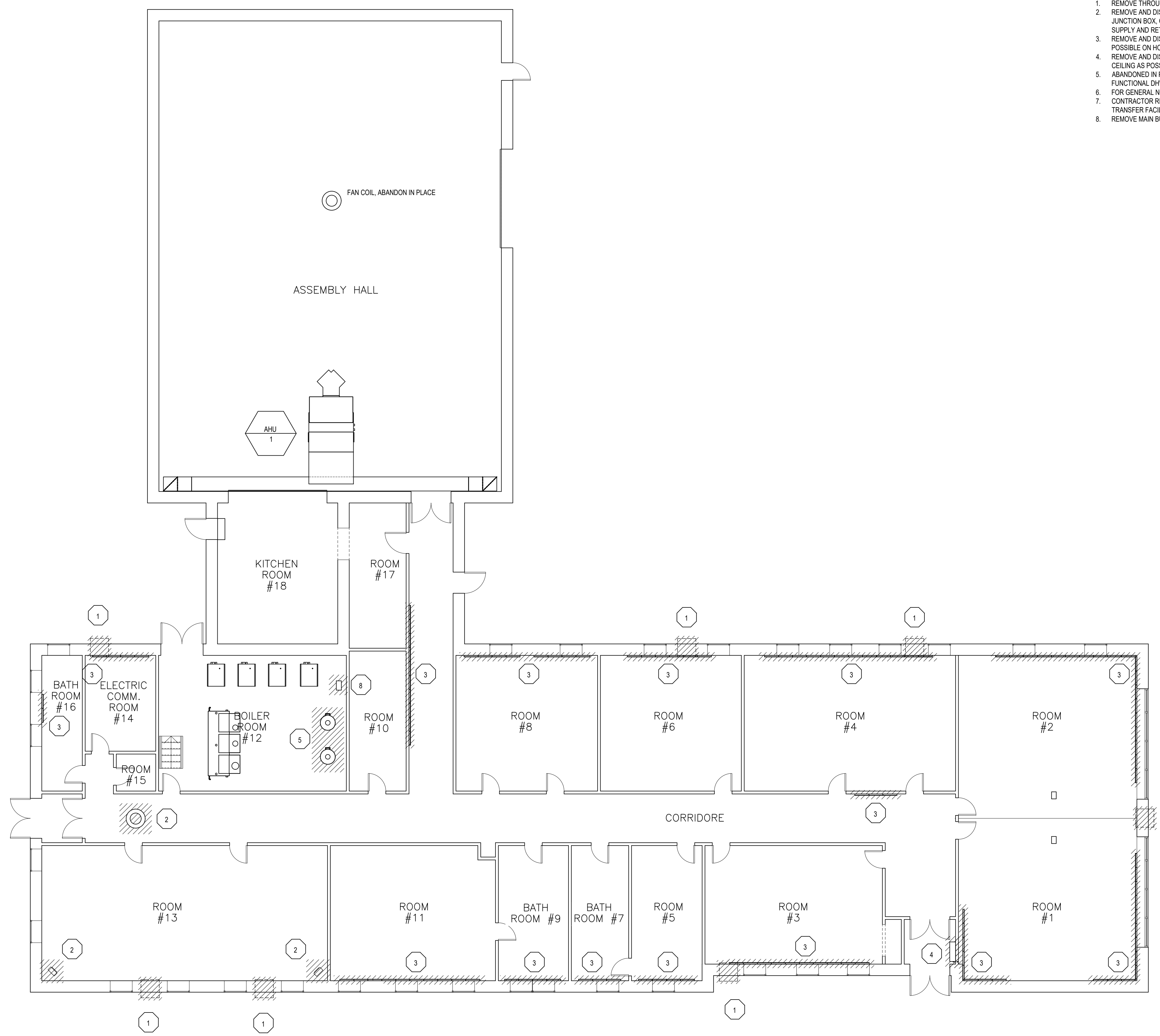


MECHANICAL DEMOLITION PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/8"=1'0"
DRAWN BY:	NPA
REVIEWED BY:	TDN

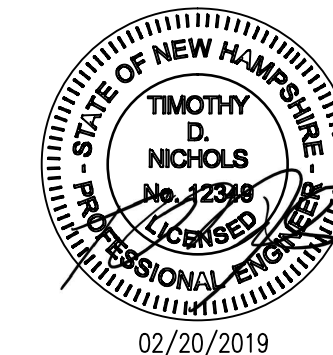
M-2.0

PROJECT PHASE:
ISSUED FOR BID



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- NEW WORK KEYNOTES**
- REFRIGERANT LINE SHALL NOT PASS THROUGH CORRIDOR WITHOUT SPECIFIED ENCASMENT. REFER TO SHEET M-8.0, DETAIL E.
 - THROUGH ROOF PENETRATION FOR ERU INLET AND OUTLET. EACH ERU HAS 1 INLET AND 1 OUTLET. REFER TO SHEET M-8.0, DETAIL A.
 - ALL EA CFM VALUES ARE MINIMUM FLOW RATES. SET EACH ERU PER THE "LOSSNAY ERU CFM AND OVERRIDE SCHEDULE" ON SHEET M-7.1.
 - FOR GENERAL NOTES REFER TO SHEET M-1.0.

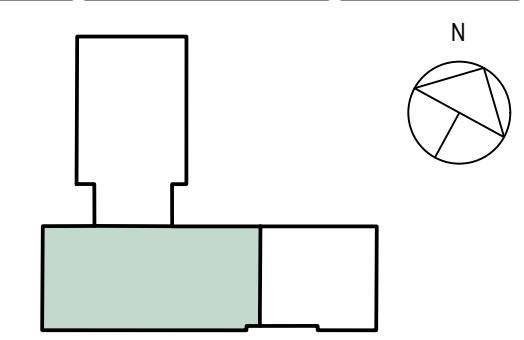
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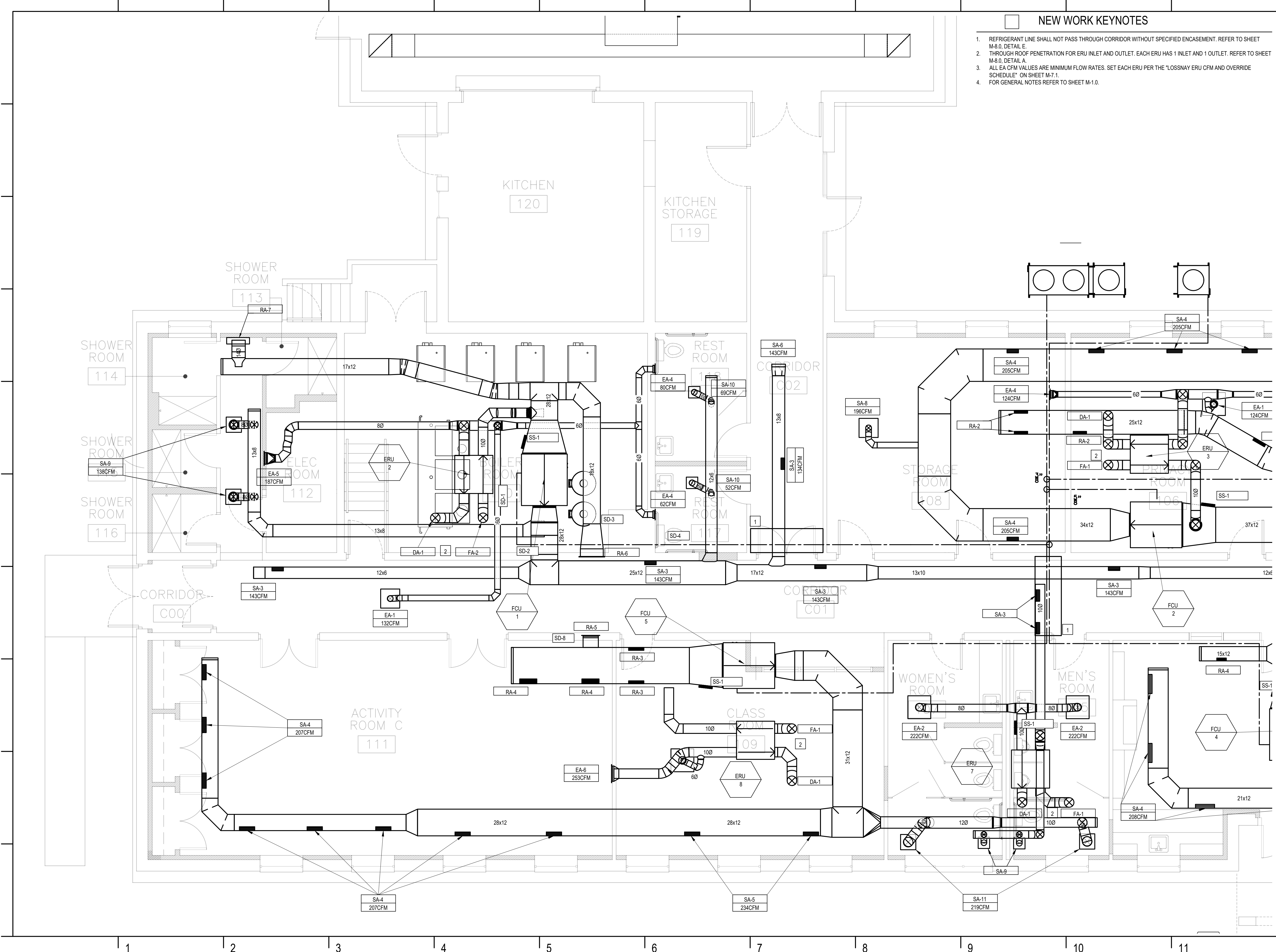


HVAC DUCTING PLAN - MAIN WEST

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/4"=1'
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-3.0

PROJECT PHASE:
ISSUED FOR BID



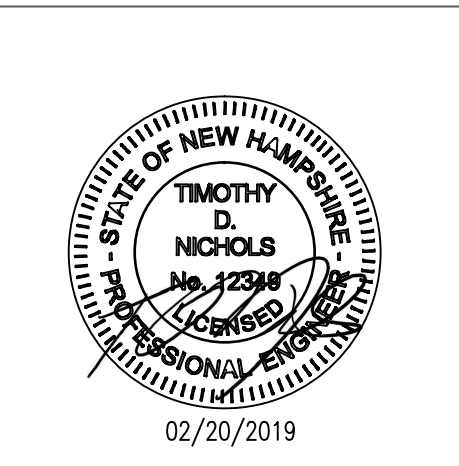
1 2 3 4 5 6 7 8 9 10 11 12

NEW WORK KEYNOTES

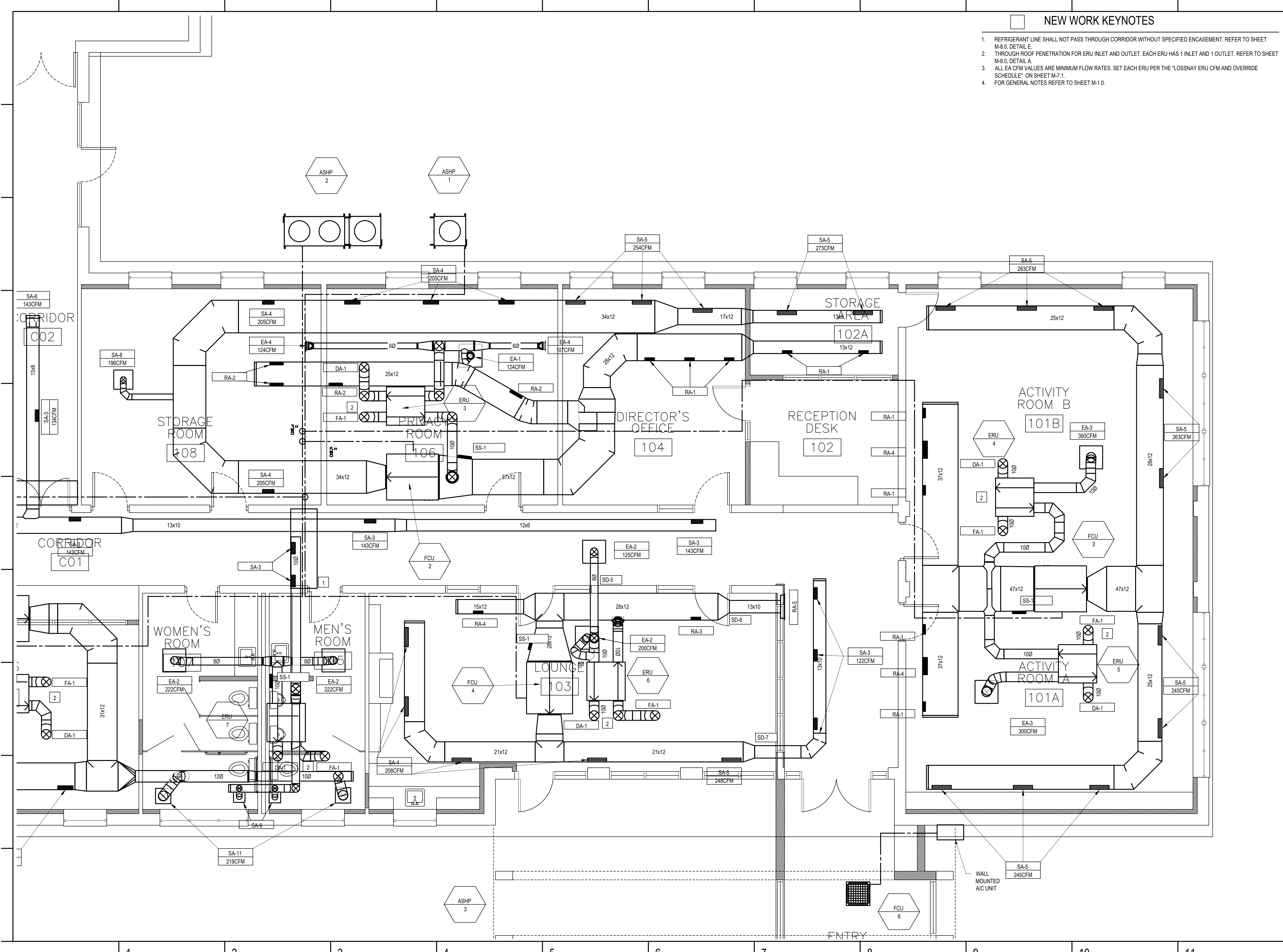
1. REFRIGERANT LINE SHALL NOT PASS THROUGH CORRIDOR WITHOUT SPECIFIED ENCASEMENT. REFER TO SHEET M-8.0, DETAIL E.
2. THROUGH ROOF PENETRATION FOR ERU INLET AND OUTLET. EACH ERU HAS 1 INLET AND 1 OUTLET. REFER TO SHEET M-8.0, DETAIL A.
3. ALL EA CFM VALUES ARE MINIMUM FLOW RATES. SET EACH ERU PER THE "LOSSNAY ERU CFM AND OVERRIDE SCHEDULE" ON SHEET M-7.1.
4. FOR GENERAL NOTES REFER TO SHEET M-1.0.



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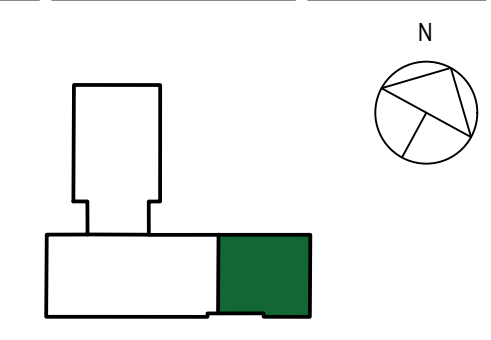


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3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019



HVAC DUCTING PLAN - MAIN EAST

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/4"=1'
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-3.1

PROJECT PHASE:
ISSUED FOR BID

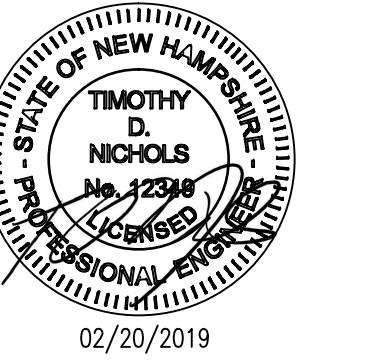
1 2 3 4 5 6 7 8 9 10 11 12

NEW WORK KEYNOTES

1. PLACE GRILLE AT SAME HEIGHT AS NEW SUPPLY DUCTING AND CENTRALLY ON A HORIZONTAL PLANE.
2. FOR GENERAL NOTES REFER TO SHEET M-1.0.
3. INSTALL CUSTOM COOLING COIL THAT FITS INTO EXISTING RESISTANCE HEATER LOCATION.



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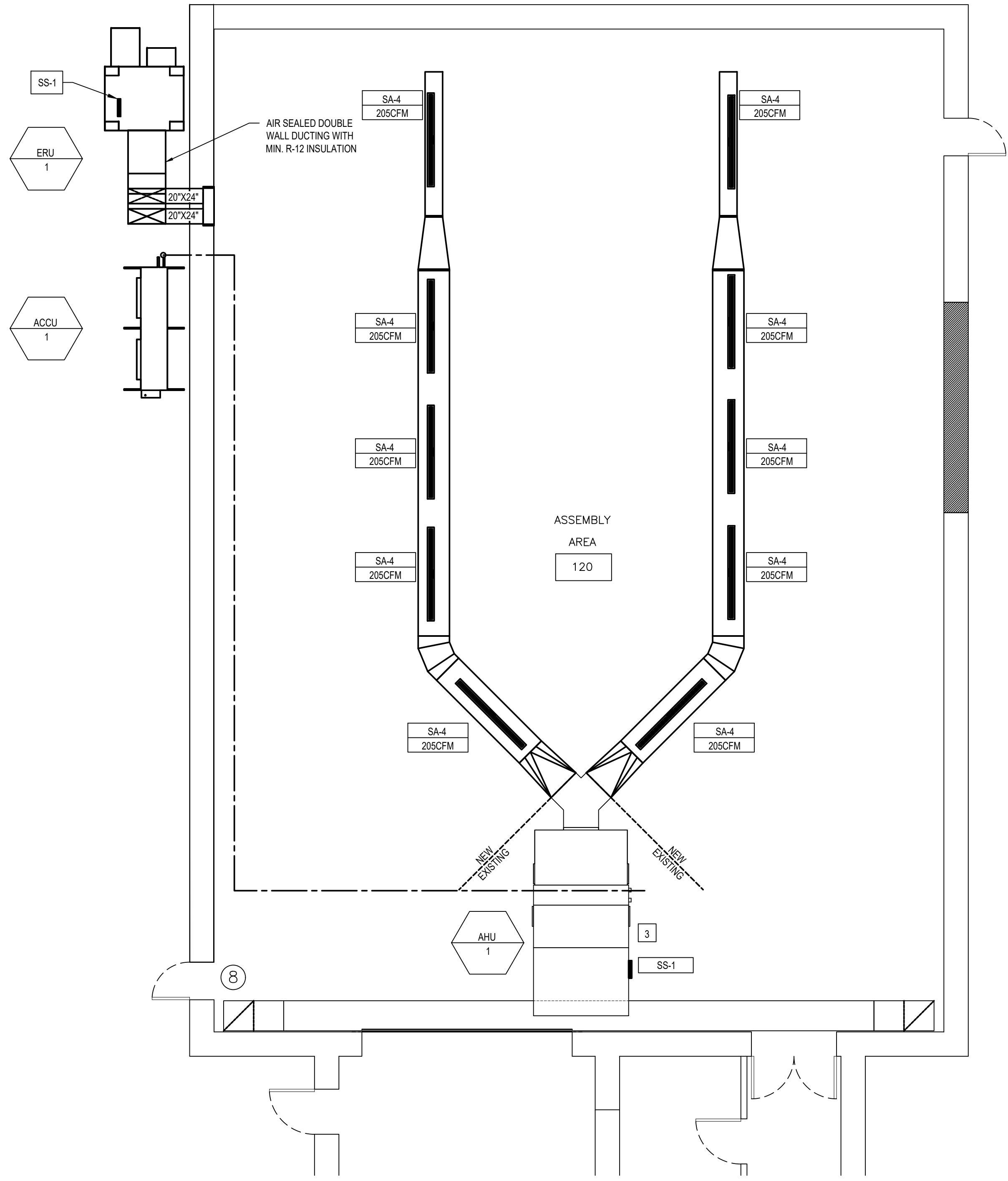


HVAC DUCTING PLAN -
ASSEMBLY HALL

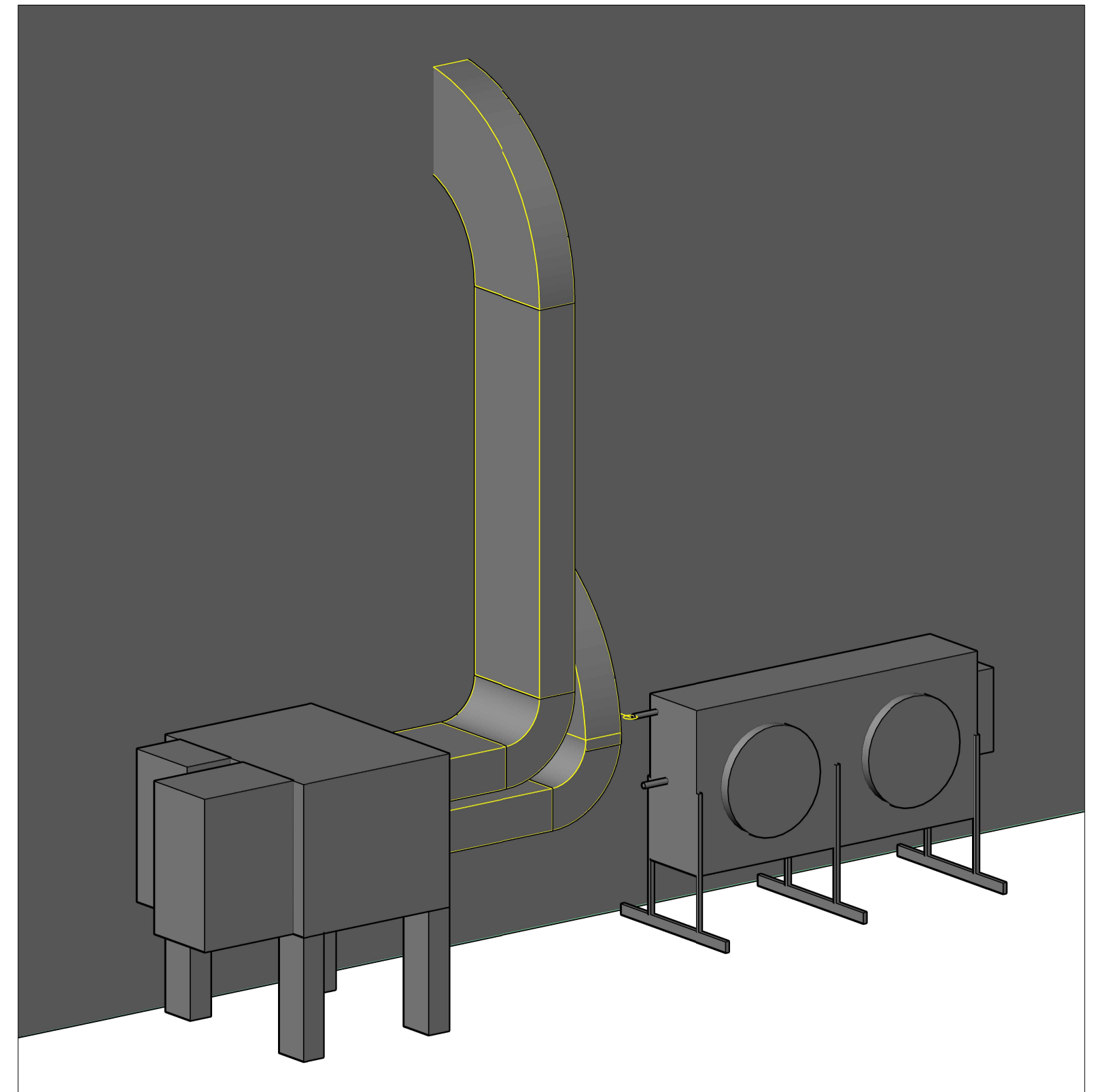
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DATE ISSUED:	02/20/2019
SCALE:	AS NOTED
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-3.2

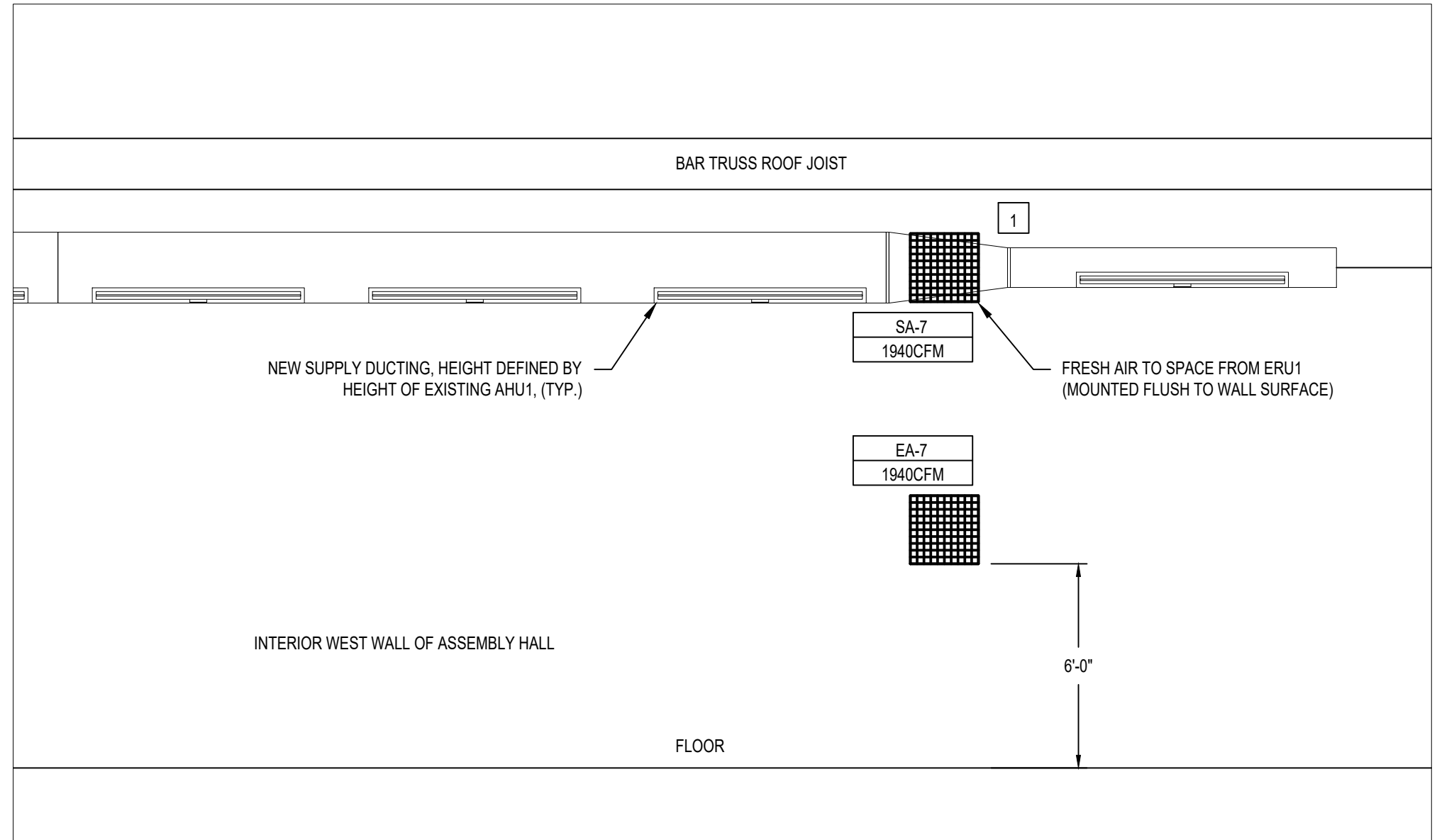
PROJECT PHASE:
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A HVAC DUCTING, ASSEMBLY HALL
3/16"=1'



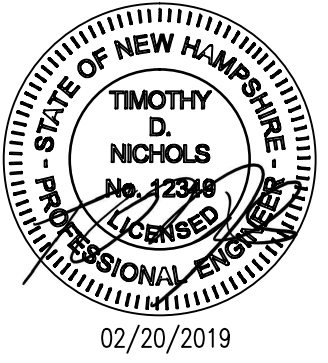
B ERU1/ACCU1 EXTERIOR ISO VIEW
NO SCALE



C ERU GRILLE LOCATIONS
1/4"=1'

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HVAC/DUCT ELEVATIONS

PROJECT NO.:	17002
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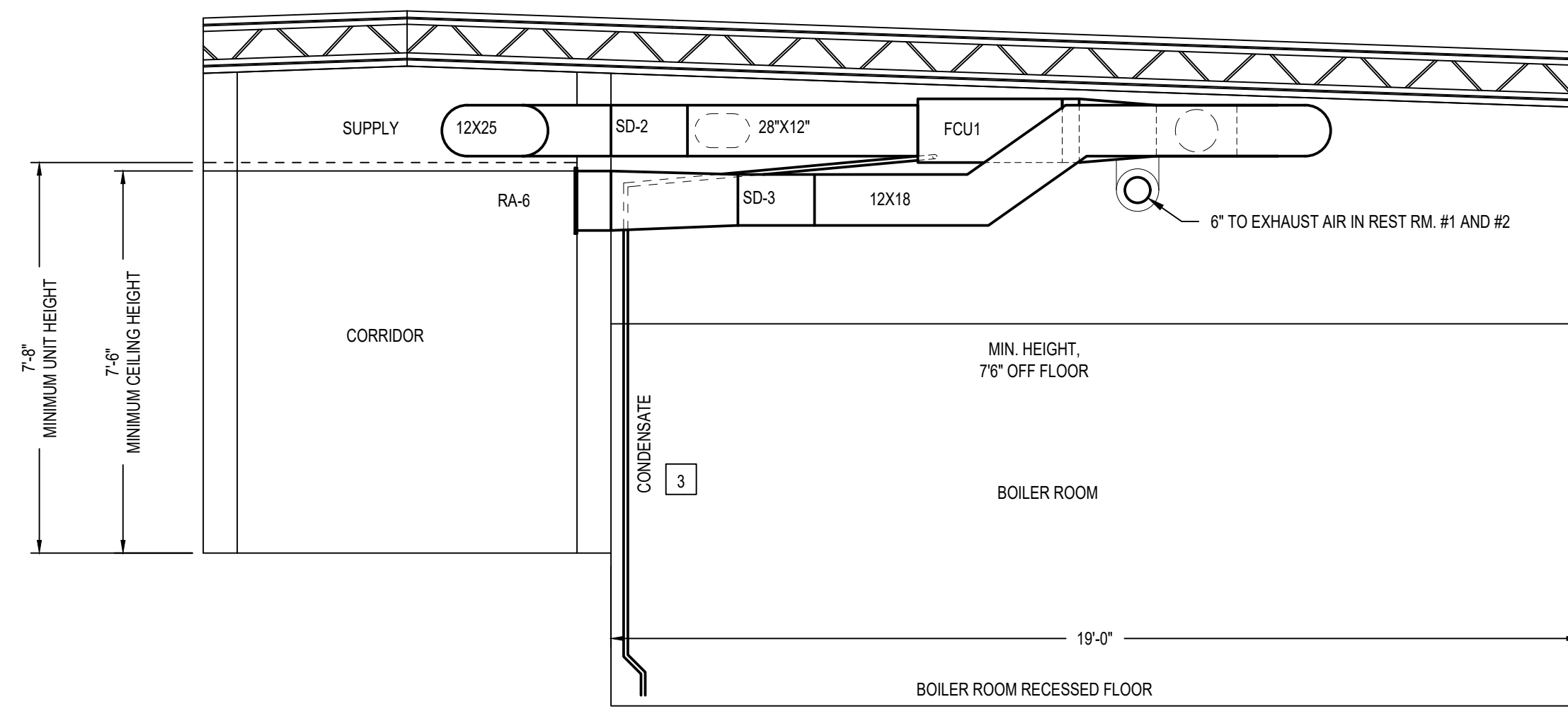
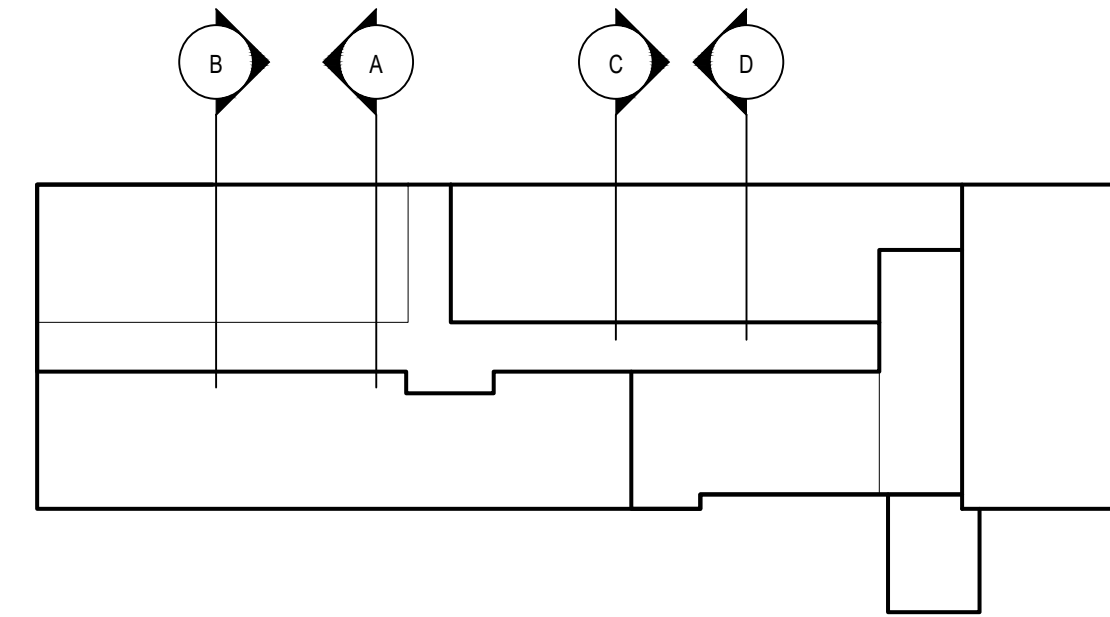
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PROJECT PHASE:
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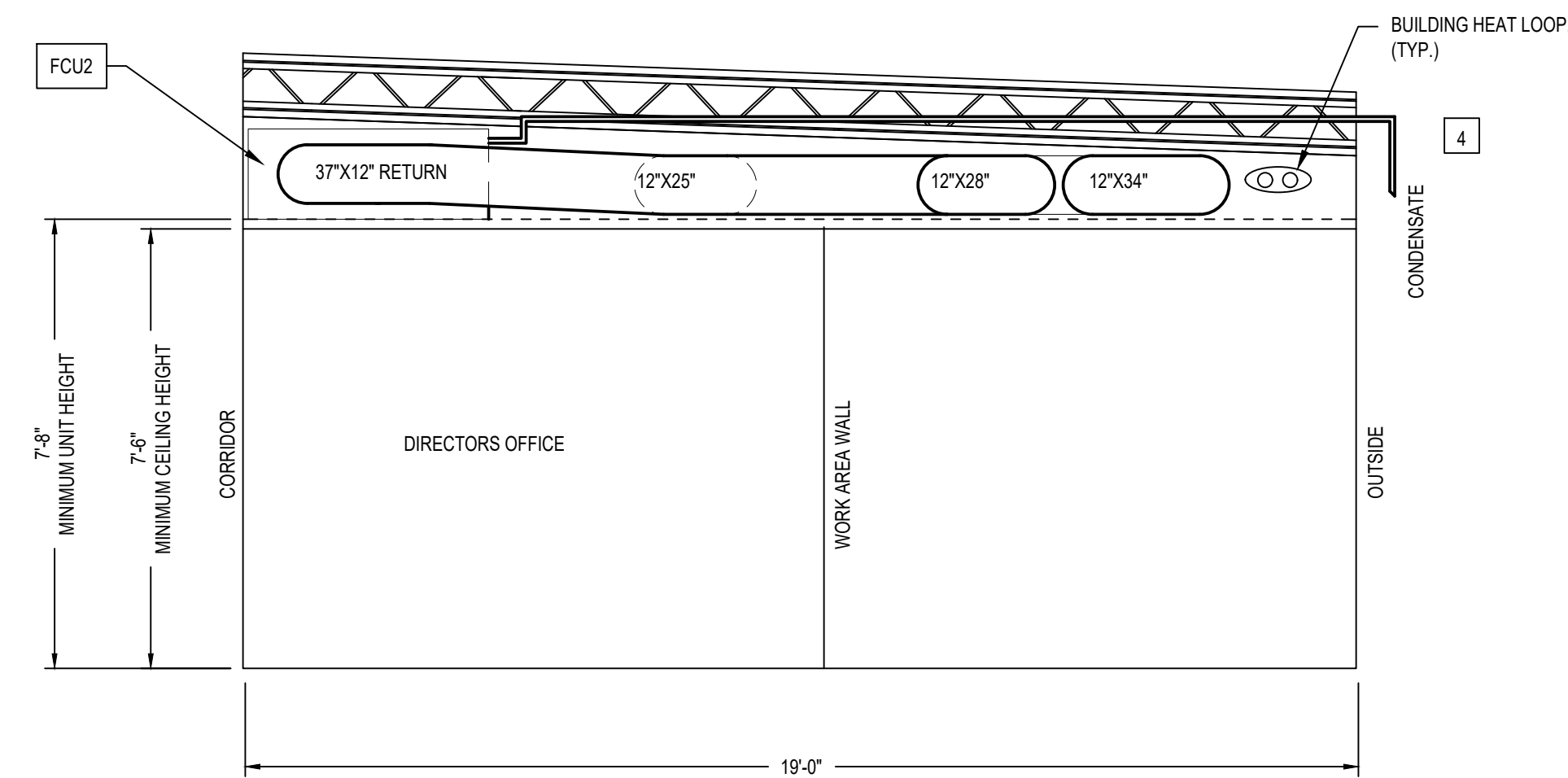
NEW WORK KEYNOTES

- FOR ROOF PENETRATIONS REFER TO SHEET M-8.0, DETAIL A.
- ALL FRESH AIR AND DISCHARGE AIR ERU PIPING WITHIN THE BUILDING SHALL BE SEALED AND INSULATED WITH R-8 FOIL FACED FSK DUCT INSULATION.
- 1" PVC CONDENSATE PIPE AT A MINIMUM OF 1/4" PITCH WILL DRAIN INTO FLOOR DRAIN.
- 1" PVC CONDENSATE PIPE AT A MINIMUM OF 1/4" PITCH WILL DRAIN OUT OF SOFFIT. THE PVC PIPE WILL EXTEND ~2" BELOW BOTTOM OF SOFFIT AND BE CUT AT A 45° ANGLE. COLOR MATCH PVC WITH SOFFIT. THE HIGHEST POINT OF THE DRAIN SHALL NOT BE MORE THAN 21'-12" ABOVE THE BOTTOM OF THE FCU. THE DRAIN SHALL NOT BE PLACED WITHIN 12" LATERALLY OF ANY WINDOWS EDGE.
- ALL DUCTWORK WITHIN THE BOILER ROOM MUST BE SEALED AND INSULATED WITH R-8 FOIL FACED FSK DUCT INSULATION.
- FOR GENERAL NOTES REFER TO SHEET M-1.0.

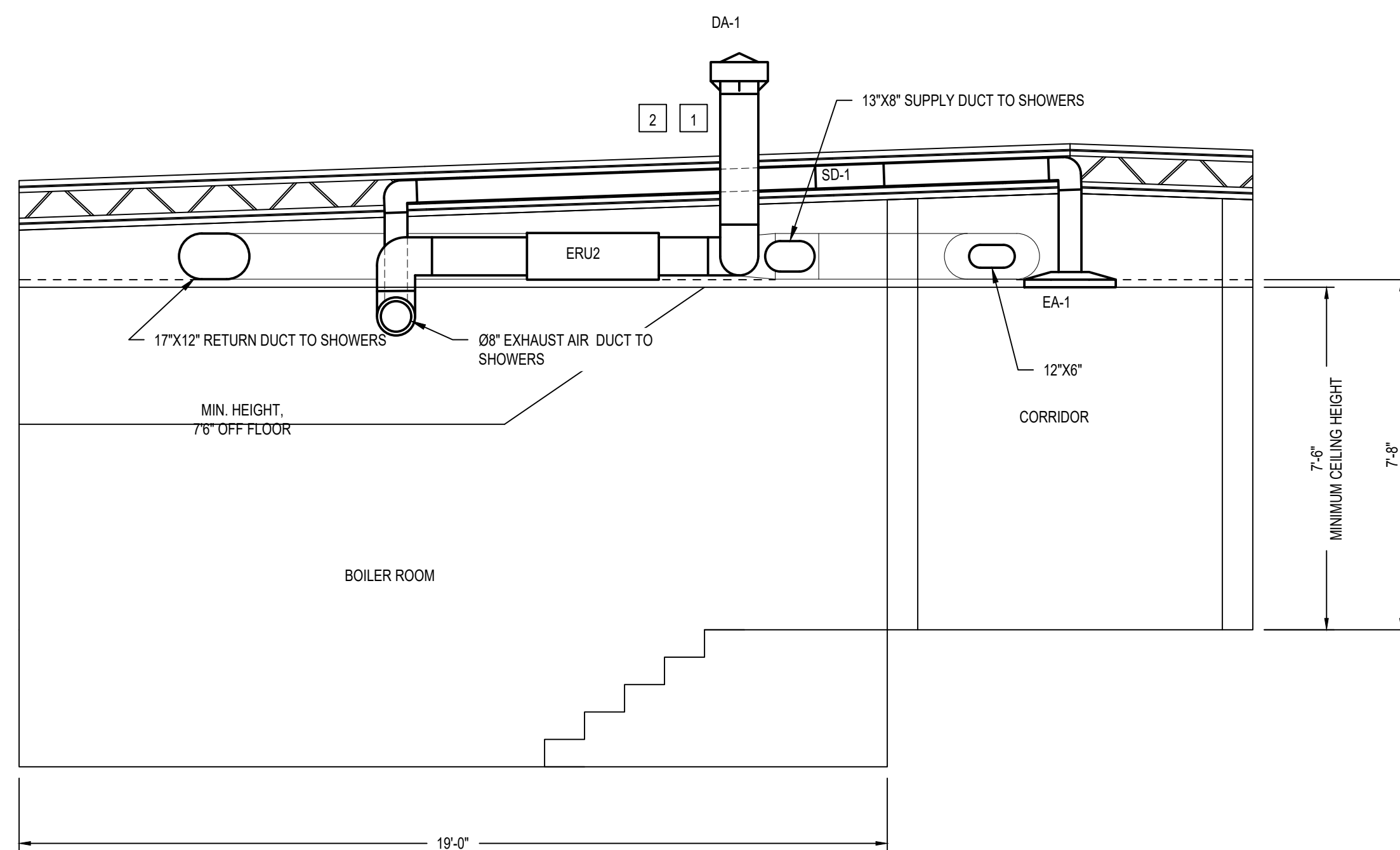
KEY PLAN:



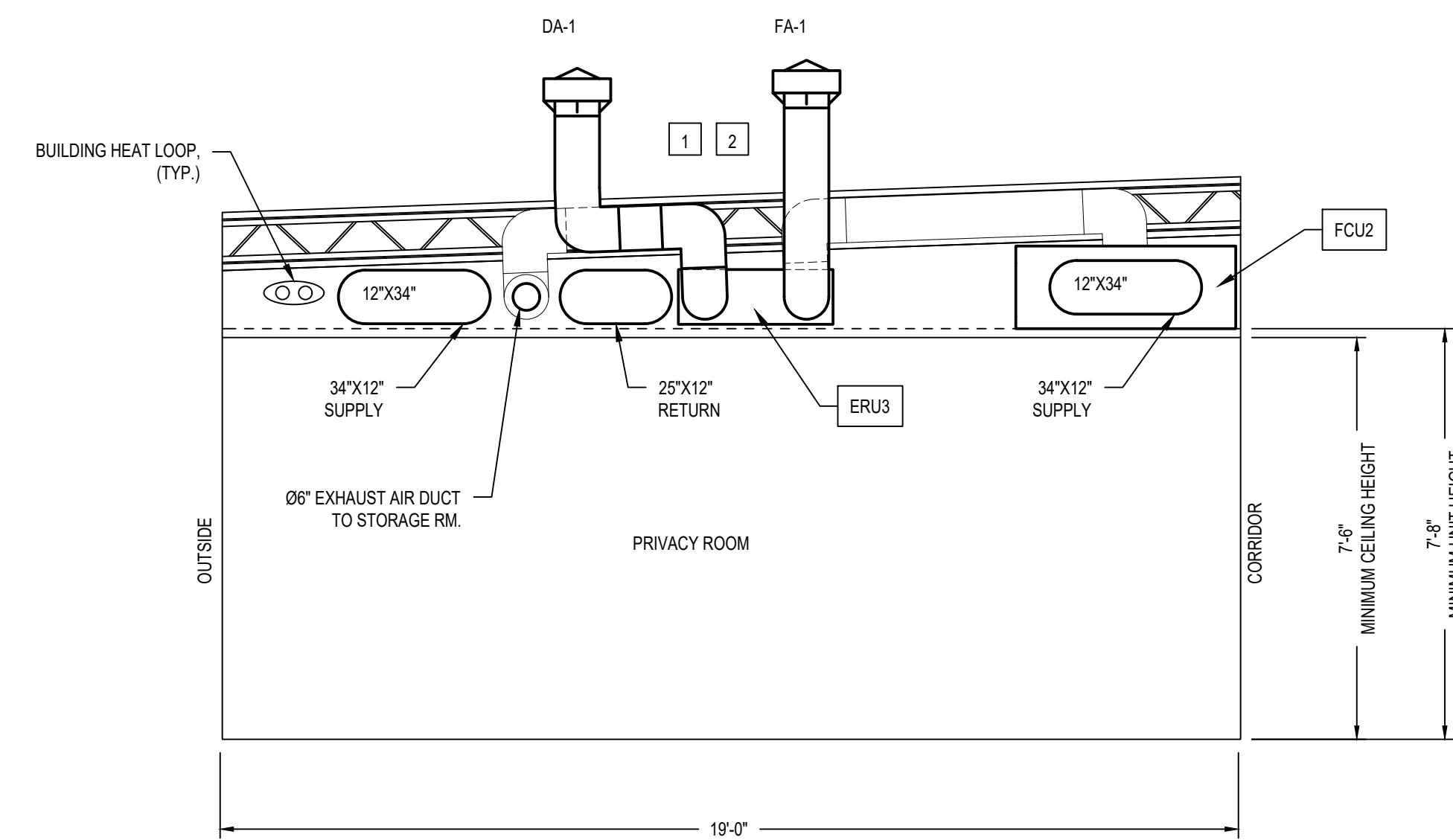
A ZONE: NORTHWEST, VIEW FROM EAST
3/8"=1'



C ZONE: NORTH, VIEW FROM EAST
3/8"=1'



B ZONE: NORTHWEST, VIEW FROM WEST
3/8"=1'



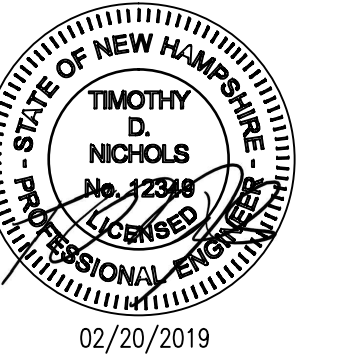
D ZONE: NORTH, VIEW FROM WEST
3/8"=1'

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- FOR GENERAL NOTES REFER TO SHEET M-1.0.



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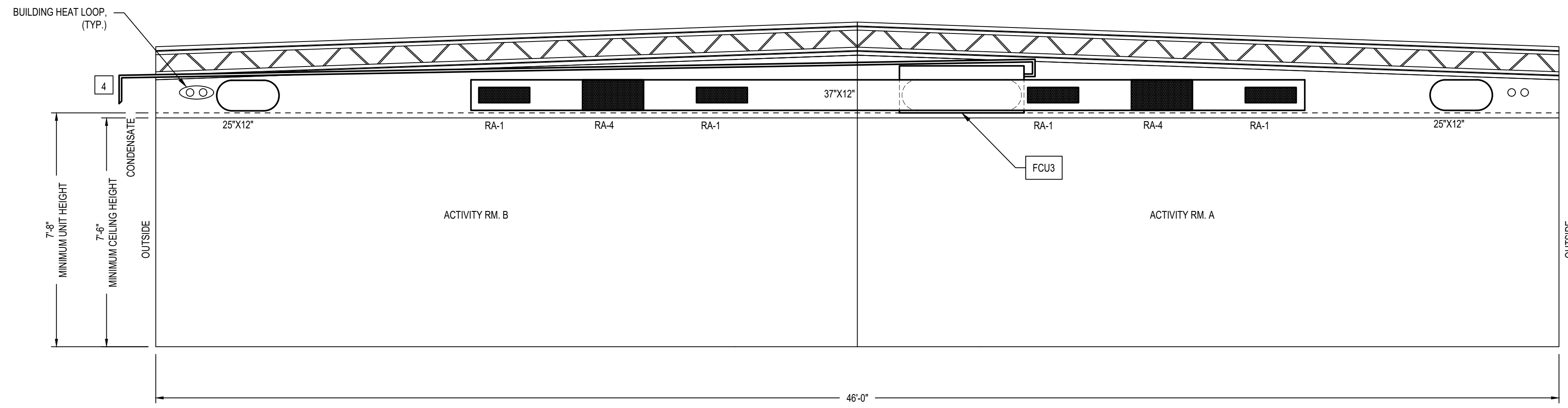
REVISIONS		
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2	95% SUBMISSION	01/12/2018
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HVAC/DUCT ELEVATIONS

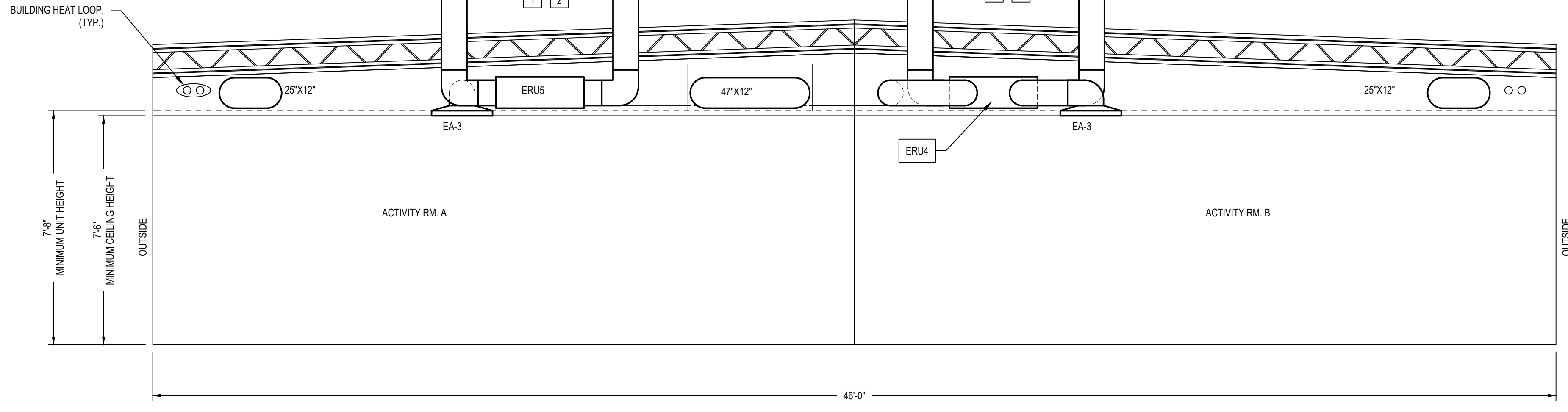
PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	AS NOTES
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-4.1

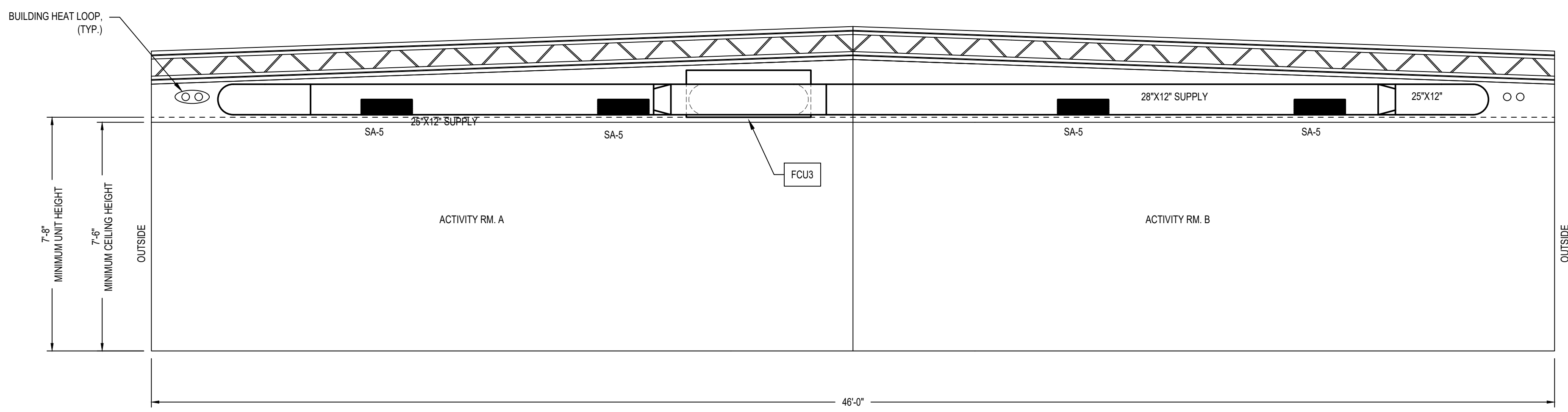
PROJECT PHASE:
ISSUED FOR BID



A ZONE: EAST, VIEW FROM WEST
3/8"=1"

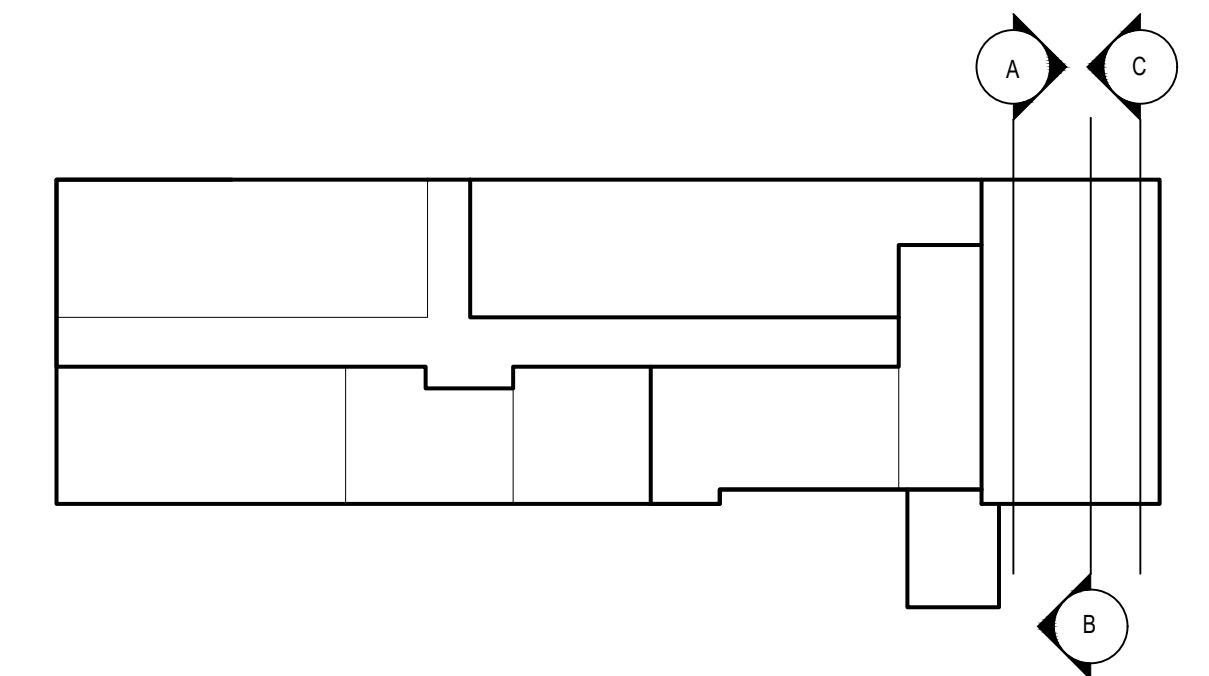


B ZONE: EAST, VIEW FROM EAST
3/8"=1"



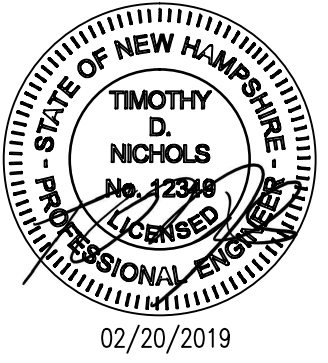
C ZONE: EAST, VIEW FROM EAST
3/8"=1"

KEY PLAN:



1 2 3 4 5 6 7 8 9 10 11 12

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CITY OF PORTSMOUTH
1 JUNKINS AVE.

**PORTSMOUTH
SENIOR ACTIVITY
CENTER**

125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019

HVAC/DUCT ELEVATIONS

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	AS NOTES
DRAWN BY:	NPA
REVIEWED BY:	TDN

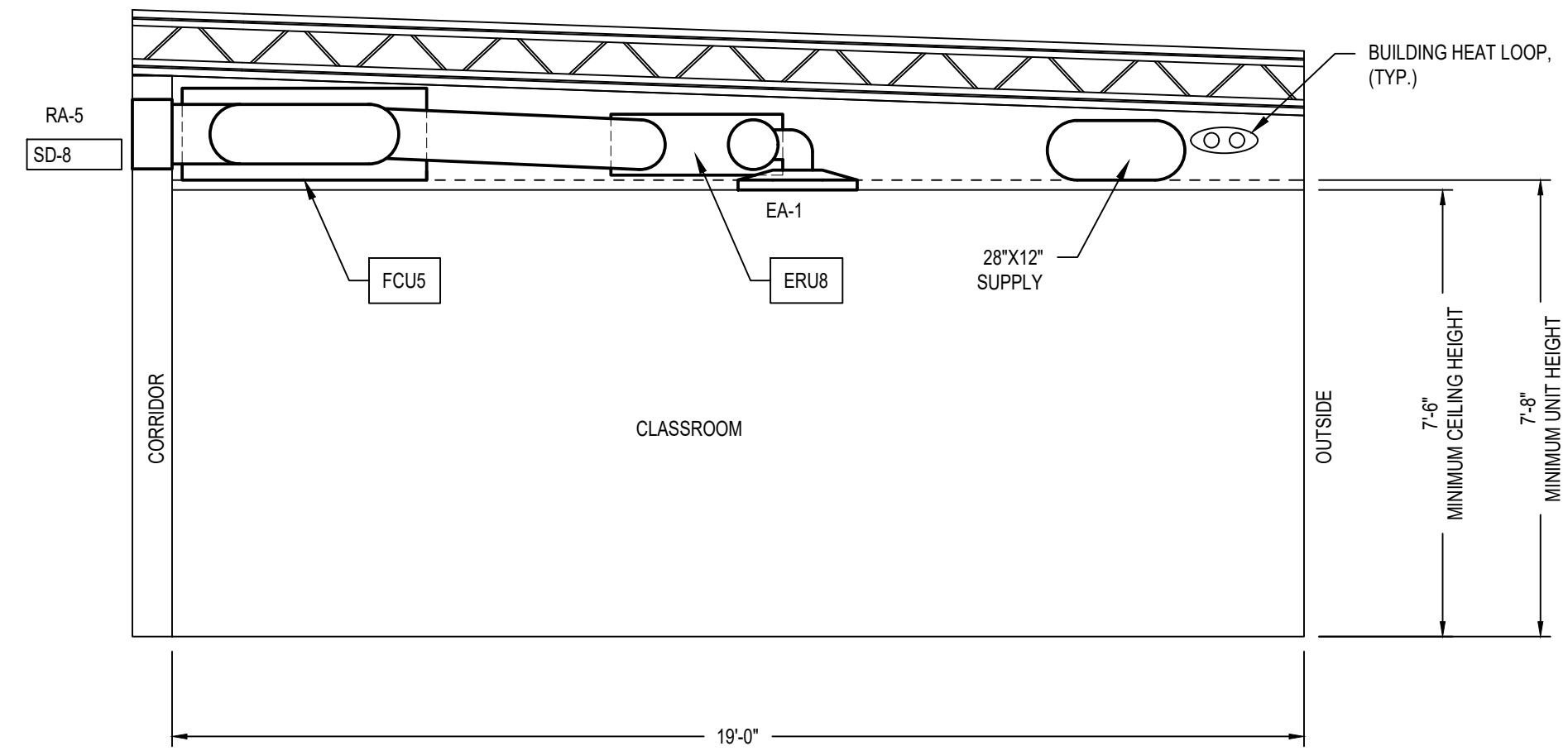
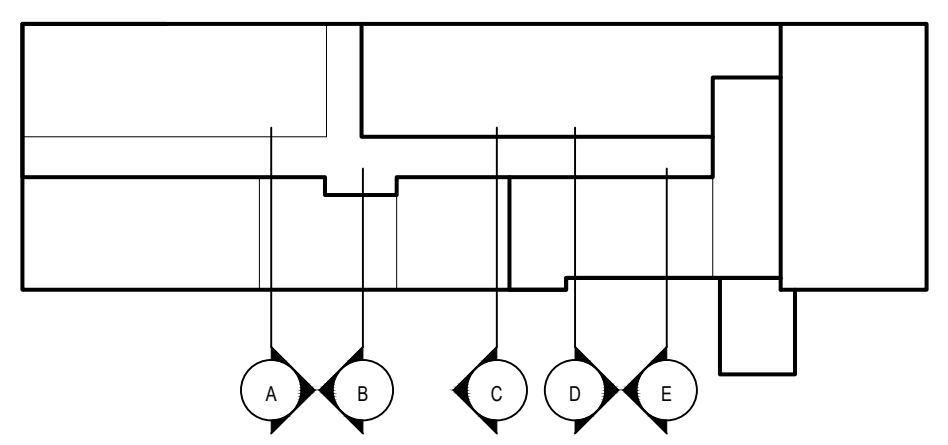
M-4.2

PROJECT PHASE:
ISSUED FOR BID

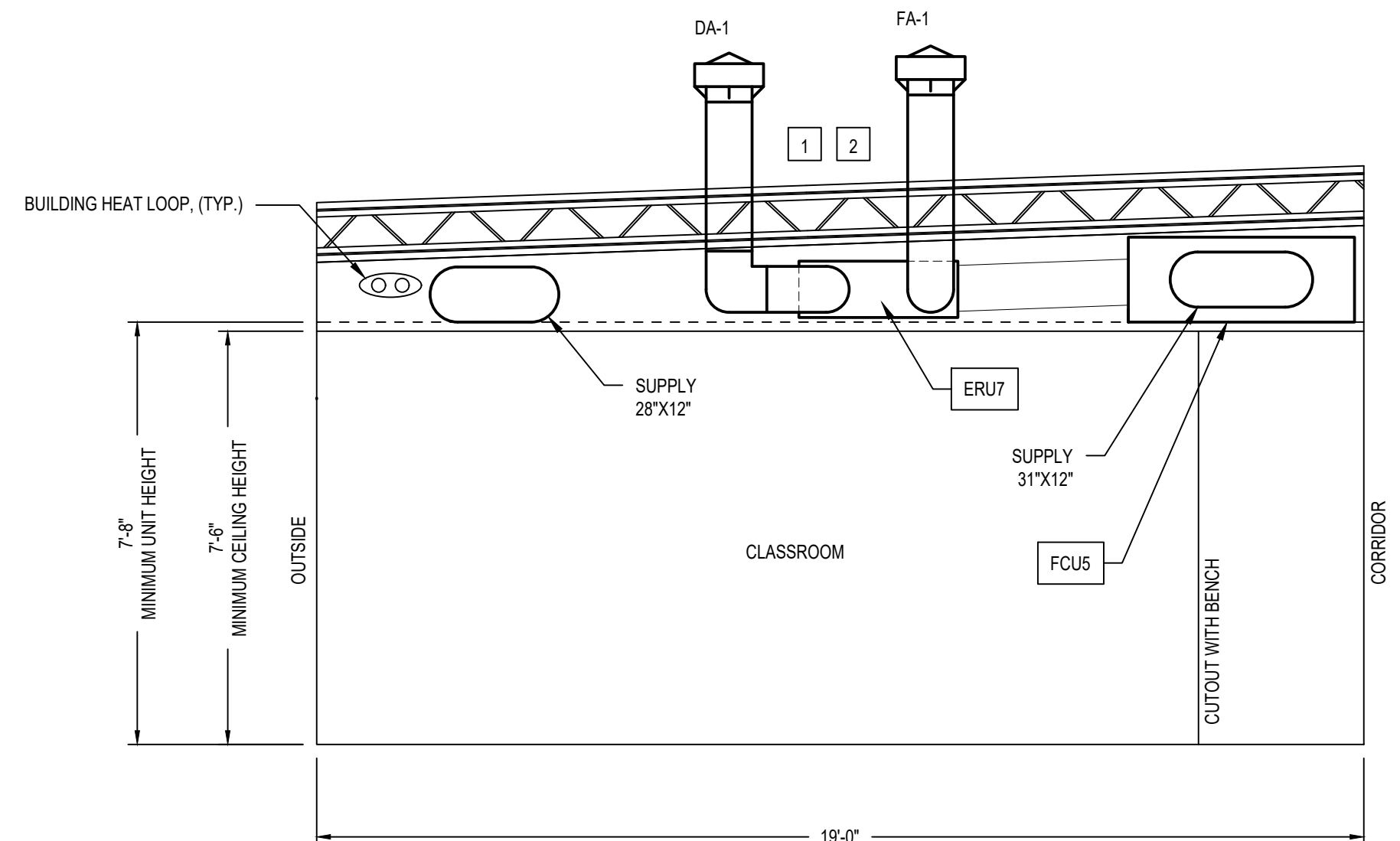
NEW WORK KEYNOTES

- FOR ROOF PENETRATIONS REFER TO SHEET M-8.0, DETAIL A.
- ALL FRESH AIR AND DISCHARGE AIR ERU PIPING WITHIN THE BUILDING SHALL BE SEALED AND INSULATED WITH R-8 FOIL FACED FSK DUCT INSULATION.
- 1" PVC CONDENSATE PIPE AT A MINIMUM OF 1/2" PITCH WILL DRAIN INTO FLOOR DRAIN.
- 1" PVC CONDENSATE PIPE AT A MINIMUM OF 1/2" PITCH WILL DRAIN OUT OF SOFFIT. THE PVC PIPE WILL EXTEND 2' BELOW BOTTOM OF SOFFIT AND BE CUT AT A 45° ANGLE. COLOR MATCH PVC WITH SOFFIT. THE HIGHEST POINT OF THE DRAIN SHALL NOT BE MORE THAN 21-1/2" ABOVE THE BOTTOM OF THE FCU. THE DRAIN SHALL NOT BE PLACED WITHIN 12" LATERALLY OF ANY WINDOWS EDGE.
- FOR GENERAL NOTES REFER TO SHEET M-1.0.

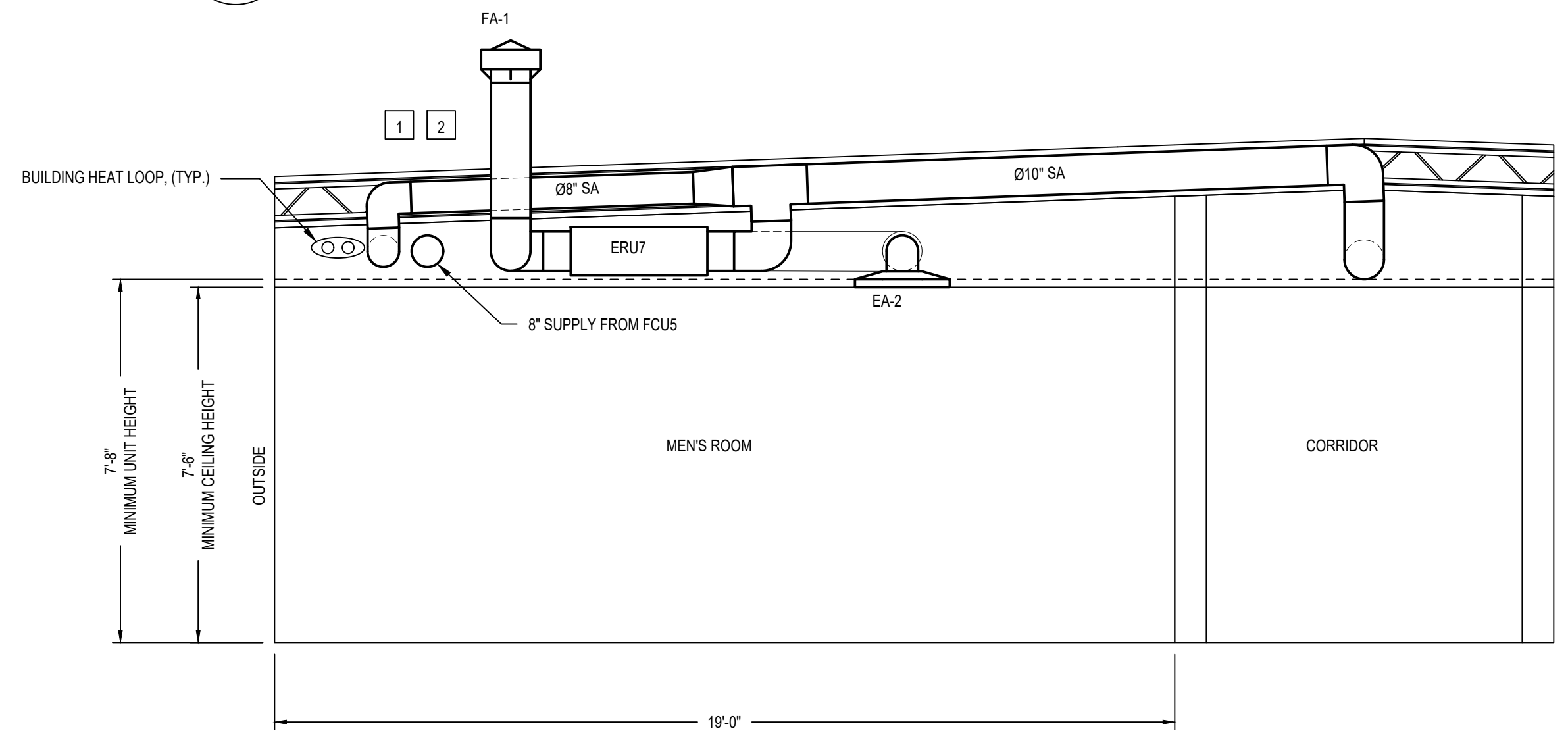
KEY PLAN:



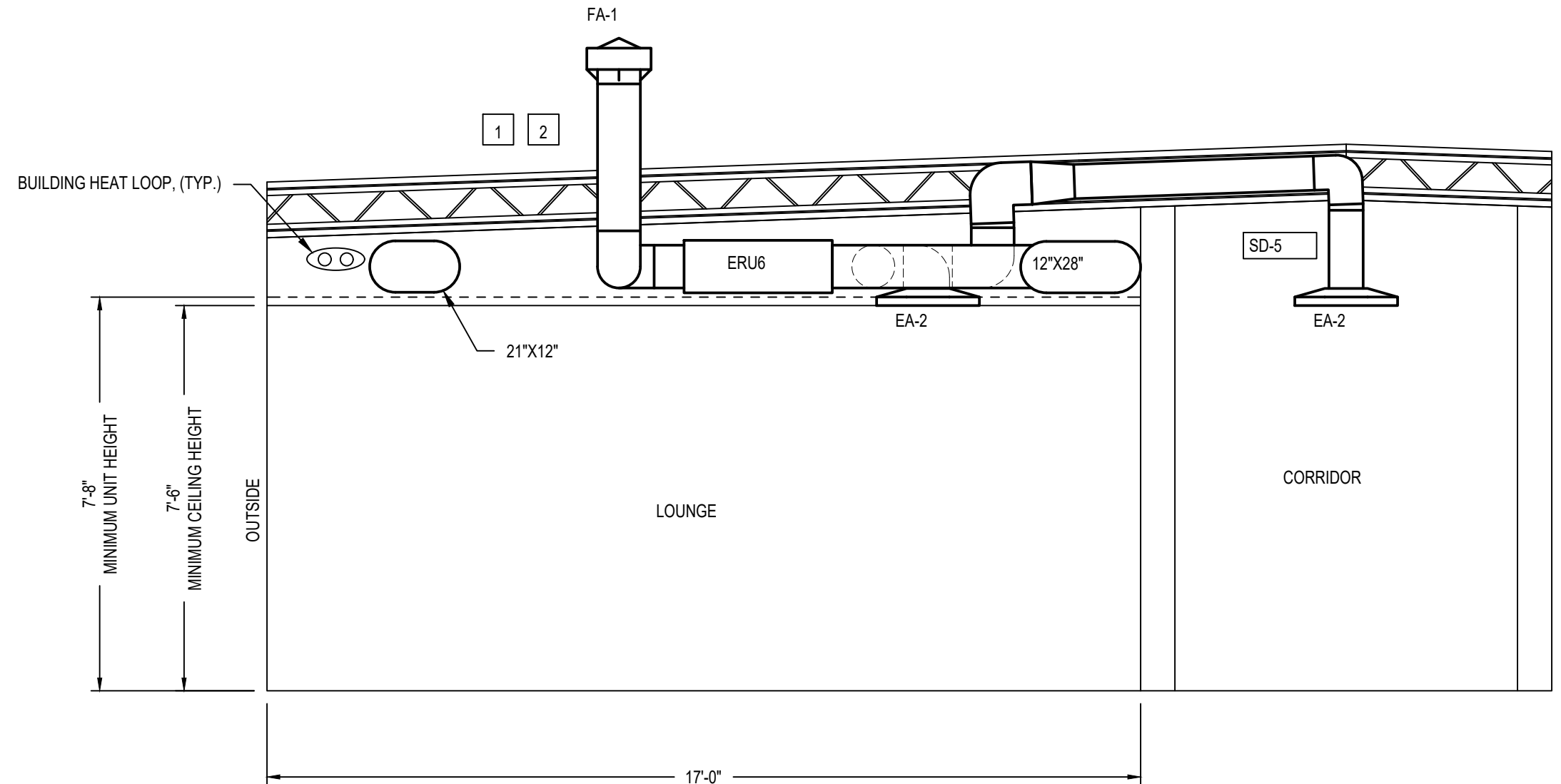
A ZONE: SOUTHWEST, VIEW FROM WEST
3/8"=1'



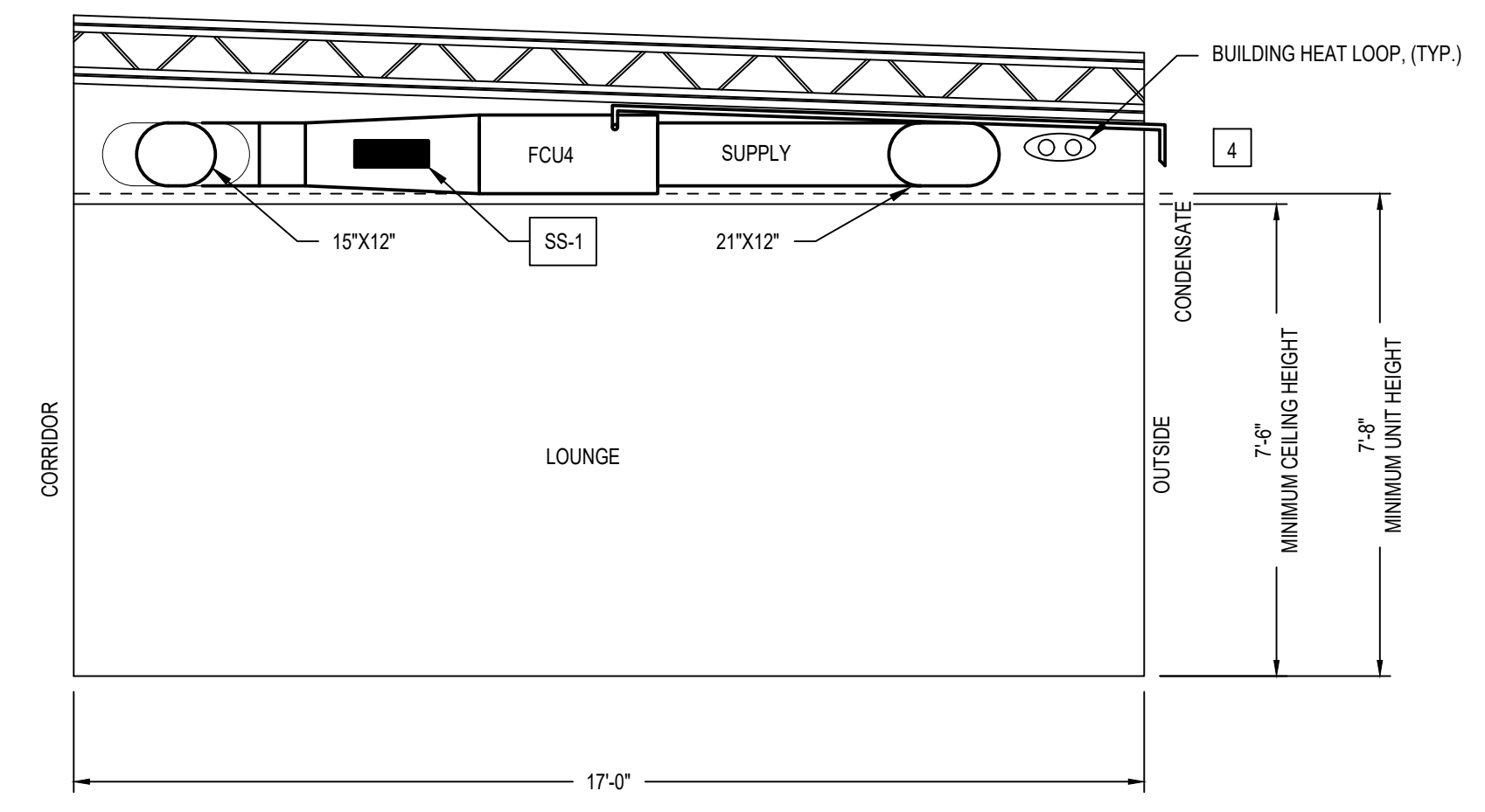
B ZONE: SOUTHWEST, VIEW FROM EAST
3/8"=1'



C ZONE: SOUTHWEST, VIEW FROM EAST
3/8"=1'



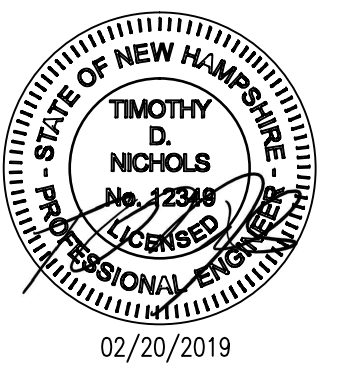
D ZONE: SOUTH, VIEW FROM EAST
3/8"=1'



E ZONE: SOUTH, VIEW FROM WEST
3/8"=1'



13 WATER ST NEWMARKET NH
(603) 200-0096 AECGR.COM

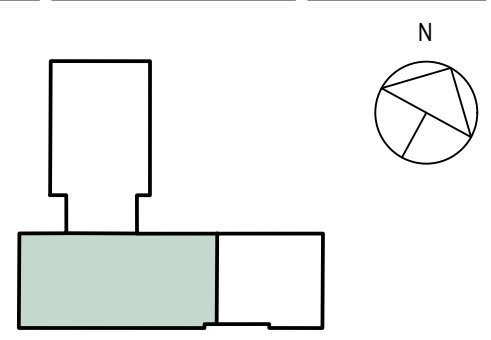


CITY OF PORTSMOUTH
1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019



HYDRONIC DISTRIBUTION PLAN - MAIN WEST

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/4"=1'
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-5.0

PROJECT PHASE:
ISSUED FOR BID

GENERAL NOTES

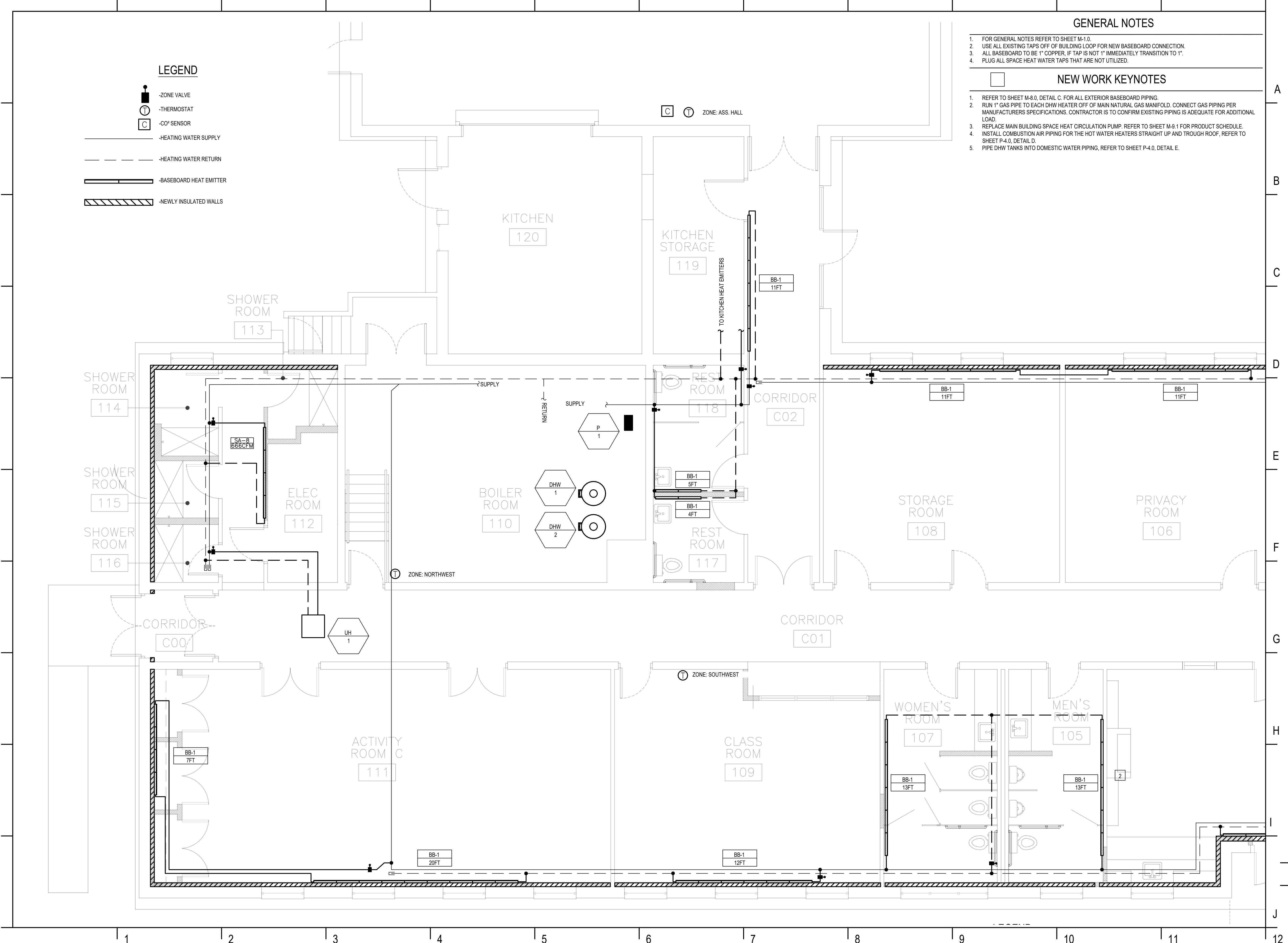
- FOR GENERAL NOTES REFER TO SHEET M-1.0.
- USE ALL EXISTING TAPS OFF OF BUILDING LOOP FOR NEW BASEBOARD CONNECTION.
- ALL BASEBOARD TO BE 1" COPPER, IF TAP IS NOT 1" IMMEDIATELY TRANSITION TO 1".
- PLUG ALL SPACE HEAT WATER TAPS THAT ARE NOT UTILIZED.

NEW WORK KEYNOTES

- REFER TO SHEET M-8.0, DETAIL C, FOR ALL EXTERIOR BASEBOARD PIPING.
- RUN 1" GAS PIPE TO EACH DHW HEATER OFF OF MAIN NATURAL GAS MANIFOLD. CONNECT GAS PIPING PER MANUFACTURERS SPECIFICATIONS. CONTRACTOR IS TO CONFIRM EXISTING PIPING IS ADEQUATE FOR ADDITIONAL LOAD.
- REPLACE MAIN BUILDING SPACE HEAT CIRCULATION PUMP. REFER TO SHEET M-9.1 FOR PRODUCT SCHEDULE.
- INSTALL COMBUSTION AIR PIPING FOR THE HOT WATER HEATERS STRAIGHT UP AND THROUGH ROOF. REFER TO SHEET P-4.0, DETAIL D.
- PIPE DHW TANKS INTO DOMESTIC WATER PIPING, REFER TO SHEET P-4.0, DETAIL E.

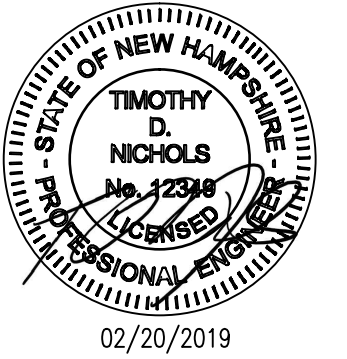
LEGEND

- ZONE VALVE
- THERMOSTAT
- CO2 SENSOR
- HEATING WATER SUPPLY
- HEATING WATER RETURN
- BASEBOARD HEAT EMITTER
- NEWLY INSULATED WALLS





13 WATER ST NEWMARKET NH
(603) 200-0096 AECGR.COM

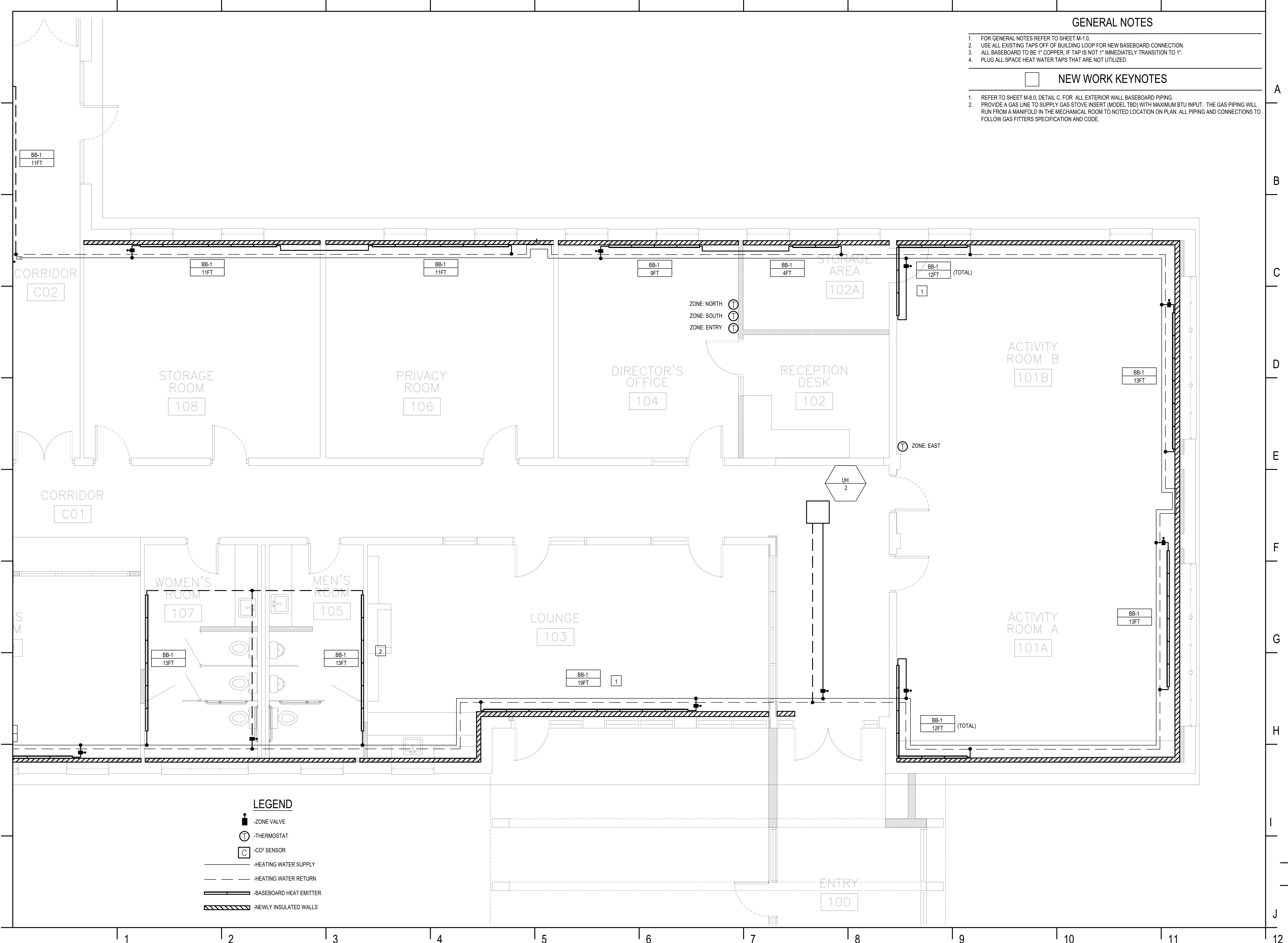


GENERAL NOTES

- FOR GENERAL NOTES REFER TO SHEET M-1.0.
- USE ALL EXISTING TAPS OFF OF BUILDING LOOP FOR NEW BASEBOARD CONNECTION.
- ALL BASEBOARD TO BE 1" COPPER, IF TAP IS NOT 1" IMMEDIATELY TRANSITION TO 1".
- PLUG ALL SPACE HEAT WATER TAPS THAT ARE NOT UTILIZED.

NEW WORK KEYNOTES

- REFER TO SHEET M-8.0, DETAIL C, FOR ALL EXTERIOR WALL BASEBOARD PIPING.
- PROVIDE A GAS LINE TO SUPPLY GAS STOVE INSERT (MODEL TBD) WITH MAXIMUM BTU INPUT. THE GAS PIPING WILL RUN FROM A MANIFOLD IN THE MECHANICAL ROOM TO NOTED LOCATION ON PLAN. ALL PIPING AND CONNECTIONS TO FOLLOW GAS FITTERS SPECIFICATION AND CODE.



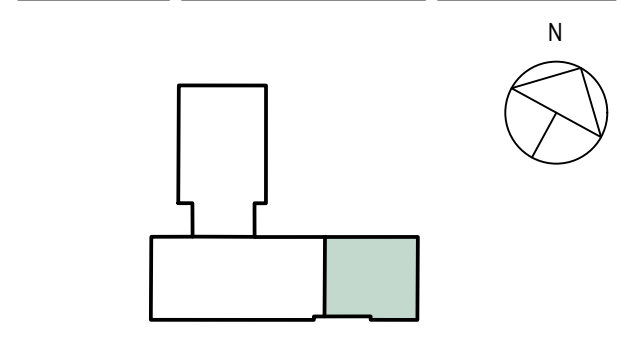
LEGEND

- ZONE VALVE
- THERMOSTAT
- CO₂ SENSOR
- HEATING WATER SUPPLY
- HEATING WATER RETURN
- BASEBOARD HEAT EMITTER
- NEWLY INSULATED WALLS

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PORTSMOUTH SENIOR ACTIVITY CENTER
125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	LIGHT PLAN REVISION	09/25/2018
5	ISSUED FOR BID	02/20/2019



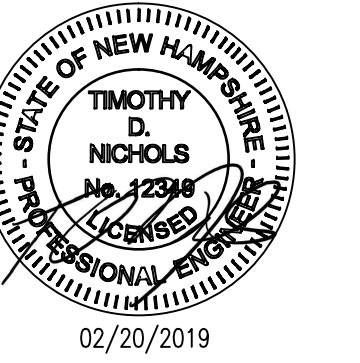
HYDRONIC DISTRIBUTION PLAN - MAIN EAST

PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: 1/4"=1'
DRAWN BY: NPA
REVIEWED BY: TDN

M-5.1

PROJECT PHASE: **ISSUED FOR BID**

1 2 3 4 5 6 7 8 9 10 11 12



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**PORTSMOUTH
SENIOR ACTIVITY
CENTER**

125 COTTAGE ST.
PORTSMOUTH, NH 03801

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3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019

VRF SYSTEMS

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-6.0

PROJECT PHASE:
ISSUED FOR BID

LINE LENGTH AND DIAMETER		
ITEM	LENGTH	DIAMETER
A	7'-6"	3/4" - 1-1/8"
B	2'-9"	3/4" - 1-1/8"
C	26'-6"	3/4" - 1-1/8"
D	91'-9"	3/4" - 1-1/8"
E	1'-0"	3/4" - 1-1/8"
F	10'-6"	3/4" - 1-1/8"
G	45'-3"	3/4" - 1-1/8"

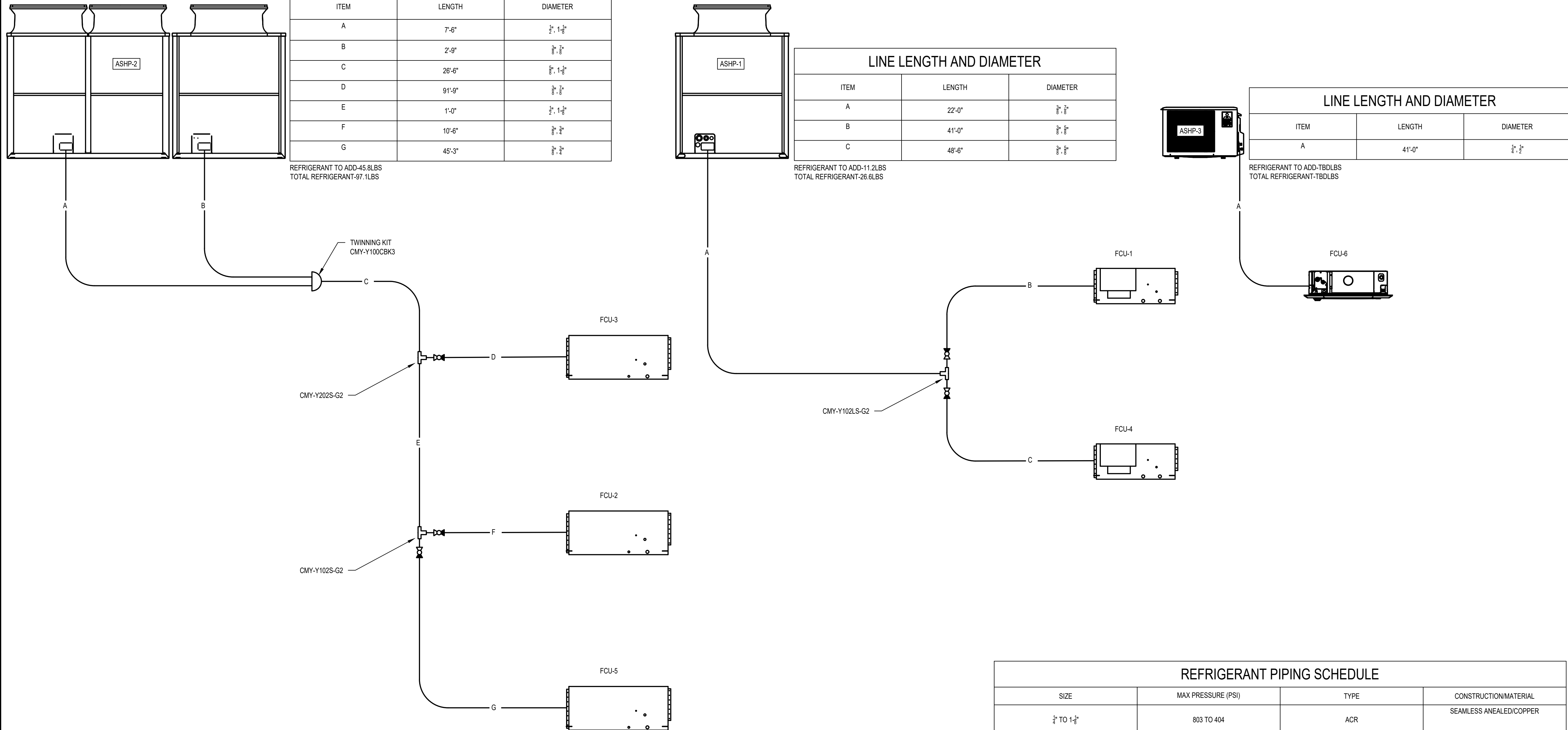
REFRIGERANT TO ADD-45.8LBS
TOTAL REFRIGERANT-97.1LBS

LINE LENGTH AND DIAMETER		
ITEM	LENGTH	DIAMETER
A	22'-0"	3/4" - 1-1/8"
B	41'-0"	3/4" - 1-1/8"
C	48'-6"	3/4" - 1-1/8"

REFRIGERANT TO ADD-11.2LBS
TOTAL REFRIGERANT-26.6LBS

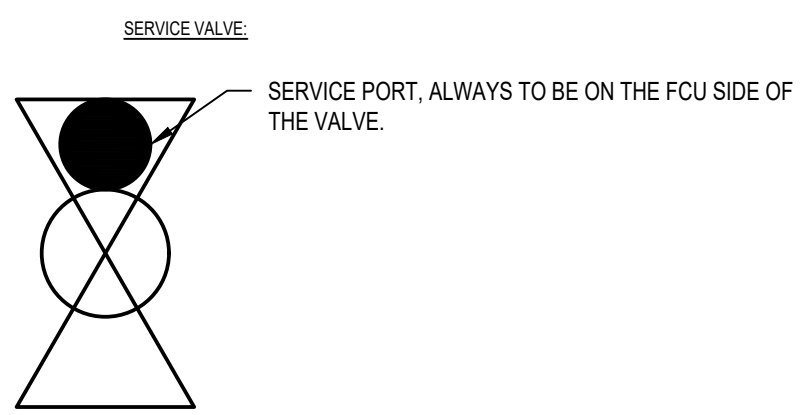
LINE LENGTH AND DIAMETER		
ITEM	LENGTH	DIAMETER
A	41'-0"	3/4" - 1-1/8"

REFRIGERANT TO ADD-TBDLBS
TOTAL REFRIGERANT-TBDLBS

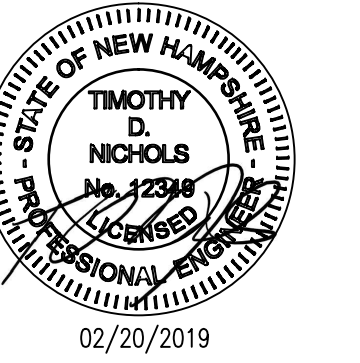


REFRIGERANT PIPING SCHEDULE			
SIZE	MAX PRESSURE (PSI)	TYPE	CONSTRUCTION/MATERIAL
3/4" TO 1-1/8"	803 TO 404	ACR	SEAMLESS ANEALDED/COPPER

REFRIGERANT SERVICE VALVE SCHEDULE					
TAG	SERVES (FCU)	SIZE	MAX PRESSURE (PSI)	MANUFACTURER	MODEL
VHD	3	3/8"	700	PARKER	EBV-1130
VLD	3	3/8"	700	PARKER	EBV-1130
VHF	2	1/2"	700	PARKER	EBV-1130
VLF	2	3/8"	700	PARKER	EBV-1130
VHG	5	3/8"	700	PARKER	EBV-1130
VLG	5	3/8"	700	PARKER	EBV-1130
VHB	1	3/8"	700	PARKER	EBV-1130
VLB	1	3/8"	700	PARKER	EBV-1130
VHC	4	3/8"	700	PARKER	EBV-1130
VLC	4	3/8"	700	PARKER	EBV-1130



A SERVICE VALVE MUST BE ON THE HIGH PRESSURE LINE AND THE LOW PRESSURE LINE. TWO VALVES PER EACH DEPICTED IN DIAGRAM. PLACE VALVE NEAR JUNCTION.



CITY OF PORTSMOUTH
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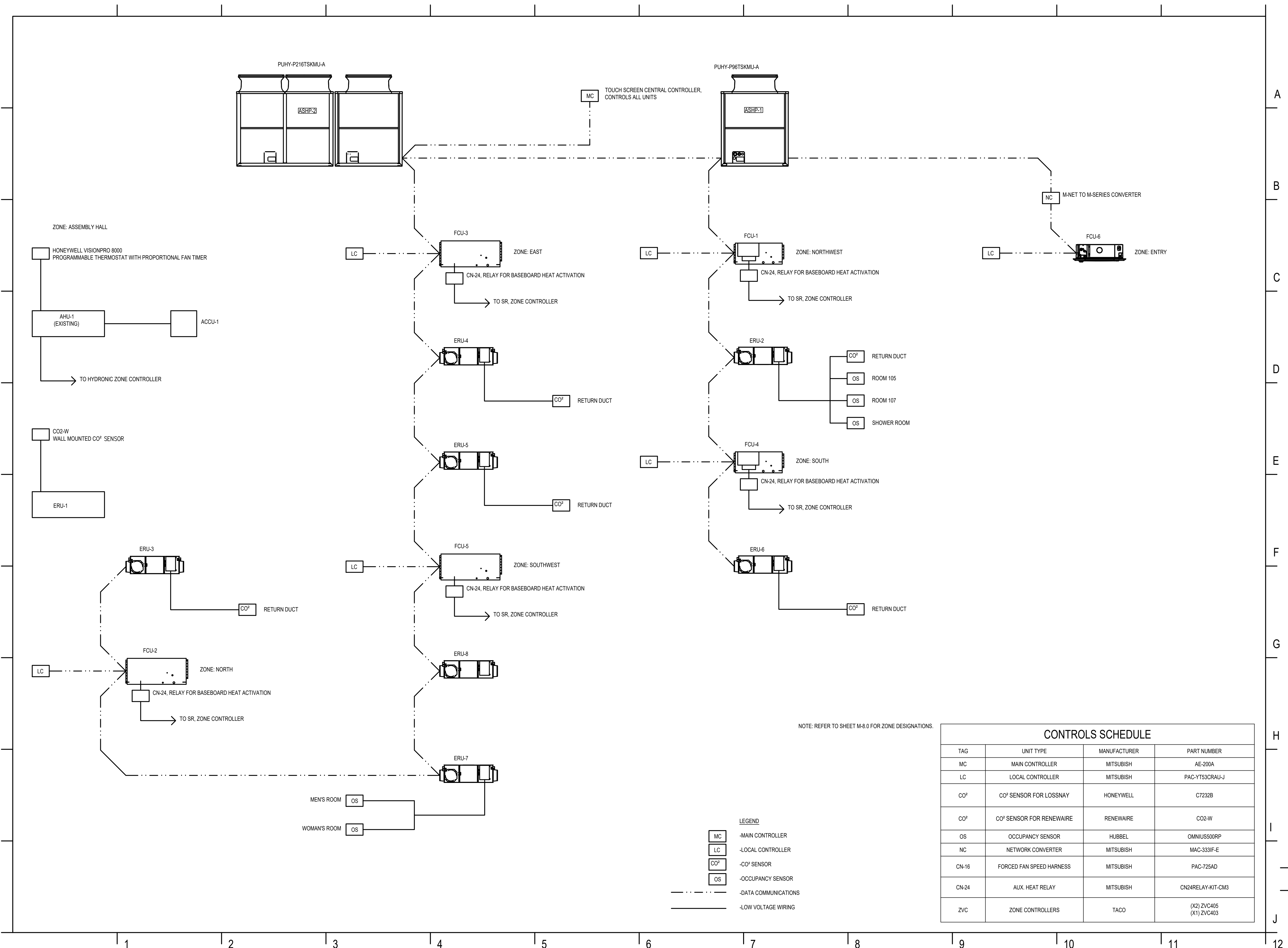
REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019

VRF CONTROL SYSTEMS

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

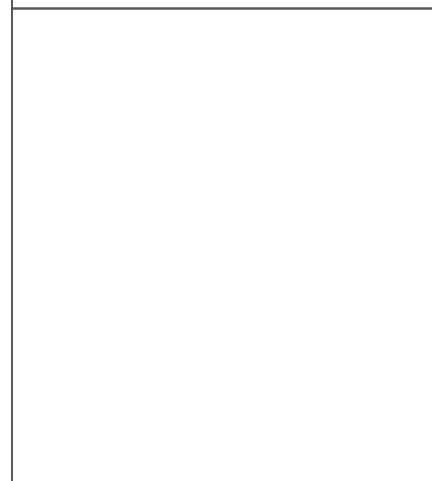
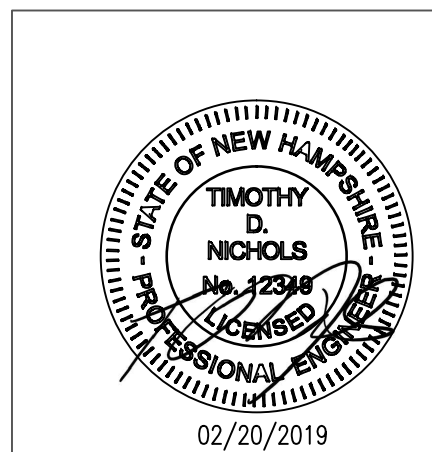
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PROJECT PHASE:
ISSUED FOR BID



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CITY OF PORTSMOUTH
1 JUNKINS AVE.

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SEQUENCE OF OPERATIONS

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-7.1

PROJECT PHASE:
ISSUED FOR BID

- FCU SEQUENCE OF OPERATIONS**
- GENERAL:
- THE TEMPERATURE IS DETERMINED WITHIN THE UNIT, NOT AT THE THERMOSTAT.
 - THE SET POINT IS ADJUSTABLE AT THE LOCAL CONTROLLER OR THE CENTRAL CONTROLLER.
- FAN CONTROL:
- THE FAN RUNS CONTINUOUSLY WHILE OCCUPIED, AS THE TEMPERATURE IS DETERMINED VIA SENSOR IN THE RETURN PLENUM.
 - DURING NIGHT SETBACK, THE SYSTEM WILL CYCLE ON DURING UNOCCUPIED PERIODS AS NEEDED TO MAINTAIN UNOCCUPIED TEMPERATURE SET POINT.
- HEATING CONTROL:
- WHEN SPACE TEMPERATURE IS 1.5°F BELOW SET POINT, THE HEAT PUMP WILL ACTIVATE TO MAINTAIN SET POINT. WHEN SPACE IS AT SET POINT, THE HEAT PUMP WILL BE DEACTIVATED.
 - WHEN SPACE TEMPERATURE IS 3°F BELOW SET POINT FOR ANY REASON, THE BOILERS AND ZONE VALVES FOR THE RESPECTIVE ZONE ARE ACTIVATED TO MAINTAIN SET POINT. WHEN SPACE IS AT SET POINT, THE BOILERS AND ZONE VALVES WILL BE DEACTIVATED.
 - DURING A DEFROST CYCLE OR FAULT, THE BOILERS AND ZONE VALVES FOR THE RESPECTIVE ZONE WILL BE ACTIVATED. WHEN SPACE IS AT SET POINT, THE BOILERS AND ZONE VALVES WILL BE DEACTIVATED.
 - WHEN OUTDOOR TEMPERATURE IS 15°F OR COLDER, THE ASHPs SHUT OFF THEIR COMPRESSORS AND THE BOILERS BECOME THE SOLE SUPPLIER OF SPACE HEAT.
- COOLING CONTROL:
- WHEN SPACE TEMPERATURE IS 1.5°F ABOVE SET POINT, THE HEAT PUMP WILL ACTIVATE TO MAINTAIN SET POINT. WHEN SPACE IS AT SET POINT, ALL WILL DEACTIVATE.

- LOSSNAY ERU SEQUENCE OF OPERATIONS**
- GENERAL:
- THE ON/OFF FUNCTION OF THE ERU MIRRORS THE FCU.
 - THE ERU CAN BE ADJUSTED INDEPENDENTLY VIA THE CENTRAL CONTROLLER.
- FAN CONTROL:
- EACH ERU WILL HAVE A SPECIFIED STANDBY OPERATION FAN SPEED.
 - PSC-12 WILL BE CONTROLLED INDEPENDENTLY FROM ANY FCU.
 - SEE SCHEDULE BELOW FOR ALL FAN SPEED DETAILS.
- AUTOMATIC VENTILATION:
- LOSSNAYS MONITOR INDOOR, OUTDOOR, AND SPACE SET POINTS AND ADJUSTS THE CORE BYPASS ACCORDINGLY TO MAXIMIZE EFFICIENCY.
- OVERRIDE CONTROL:
- A CO² SENSOR IN THE RETURN PLENUM WILL DETERMINE CO² LEVELS WITHIN THE CONDITIONED SPACE.
 - WHEN CO² LEVELS EXCEED 800PPM THE FAN SPEED WILL BE OVERRIDDEN. AT 700PPM, STANDBY SPEED RESUMES.
 - WHEN AN OCCUPANCY SENSOR IS TRIGGERED THE FAN SPEED WILL BE OVERRIDDEN FOR A MINIMUM OF 8 MINUTES.
 - SEE SCHEDULE BELOW FOR ALL OVERRIDE DETAILS.

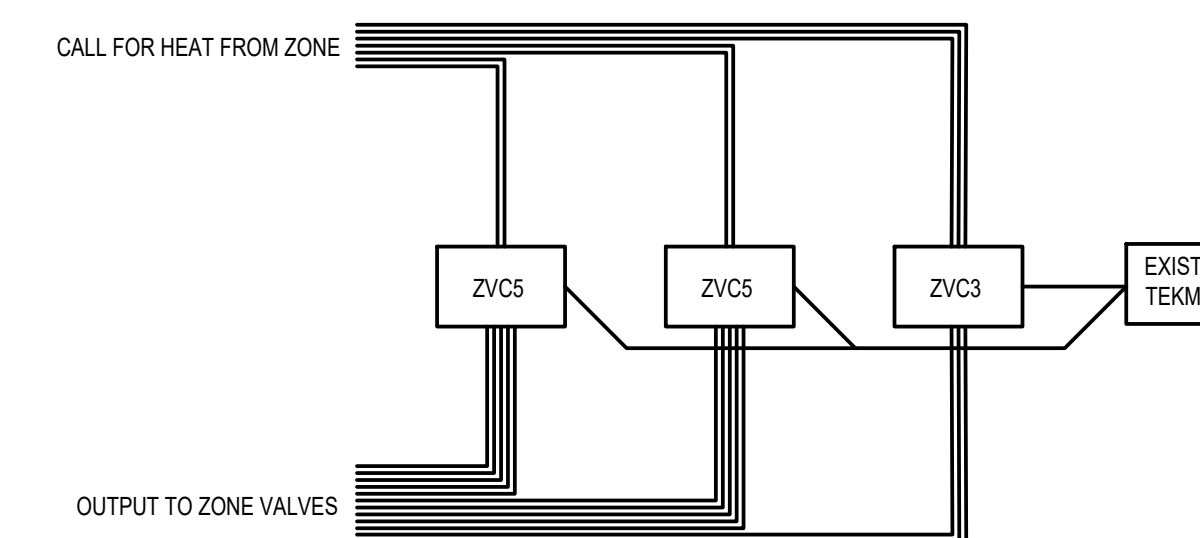
- AHU (PSC-19) SEQUENCE OF OPERATIONS**
- GENERAL:
- THE TEMPERATURE IS DETERMINED AT THE THERMOSTAT.
 - THE SET POINT IS ADJUSTABLE AT THE THERMOSTAT.
- FAN CONTROL:
- THE FAN IS AUTOMATICALLY CONTROLLED BY THE HEATING AND COOLING MODES.
 - THE FAN IS ON A PROPORTIONAL TIMER CONTROLLED BY THE THERMOSTAT, RUNNING THE FAN ~35% OF THE TIME, REGARDLESS OF MODE.
- HEATING CONTROL:
- WHEN SPACE TEMPERATURE IS 2°F BELOW SET POINT, THE BOILERS, RESPECTIVE ZONE VALVE AND FAN WILL ENERGIZE TO MAINTAIN SET POINT. WHEN SPACE IS AT SET POINT, ALL WILL DE-ENERGIZE.
- COOLING CONTROL:
- WHEN SPACE TEMPERATURE IS 2°F ABOVE SET POINT, THE ACCU AND FAN WILL ENERGIZE TO MAINTAIN SET POINT. WHEN SPACE IS AT SET POINT, ALL WILL DE-ENERGIZE.

- ERU (PSC-1) SEQUENCE OF OPERATIONS**
- GENERAL:
- CO² SENSOR WITH READOUT SHALL BE LOCATED ON A WALL SURFACE ADJACENT TO THE THERMOSTAT.
- ON/OFF OPERATION:
- THE ERU WILL VARY FAN SPEEDS FROM 0 - 100% DEPENDENT ON CO₂ VALUES IN THE CONDITIONED SPACE. (0% @ 350PPM AND 100% @ 1000PPM)
 - IF THE CO² LEVELS ARE BELOW SAFE PARAMETERS, THE UNIT IS IN STANDBY MODE.

- ZONE/BOILER CONTROLS SEQUENCE OF OPERATIONS**
- ON A CALL FOR HEAT:
- A CALL FOR HEAT FROM ANY ONE OF THE SIX ZONES WILL ENERGIZE THE EXISTING TEKMAR BOILER CONTROL AND OPEN THE RESPECTIVE ZONE VALVE.
 - WHEN THERE ARE NO CALLS FOR HEAT, ALL ZONE VALVES ARE CLOSED, AND BOILERS AND ALL ASSOCIATED PUMPS ARE OFF.
- TEKMAR OUTDOOR RESET:
- BOILER TEMP WILL VARY DEPENDANT ON OUTDOOR TEMPERATURE.
 - 0°F OUTDOOR AIR TEMPERATURE=190°F BOILER WATER TEMPERATURE.
 - 60°F OUTDOOR AIR TEMPERATURE=140°F BOILER WATER TEMPERATURE.
 - 62°F OUTDOOR AIR TEMPERATURE=WARM WEATHER SHUTDOWN. BOILERS AND ASSOCIATED PUMPS REMAIN OFF REGARDLESS OF CALL FOR HEAT.

- SMOKE/FIRE DAMPER AND SMOKE SENSOR SEQUENCE OF OPERATIONS**
- GENERAL:
- SMOKE IS SENSED AT THE RETURN OF EACH FCU, AHU-1, ERU-1, AND ERU-7.
 - DAMPERS ARE POWERED BY THE SERVICE SWITCH OF EACH UNIT. (POWER=OPEN, NO POWER=CLOSED "FAIL-SAFE")
- UPON THE DETECTION OF SMOKE IN DUCTWORK:
- THE SMOKE SENSOR SENDS A SIGNAL TO THE FIRE PANEL.
 - THE FIRE CONTROL PANEL RELEASES A RELAY WHICH INTERRUPTS THE POWER TO THE RESPECTIVE UNIT.
 - WHEN POWER IS INTERRUPTED TO ANY UNIT, THE ASSOCIATED DAMPERS SPRING CLOSE.
 - A TROUBLE ALARM IS PRESENT AT THE FIRE PANEL, AN AUDIO VISUAL SIGNAL WILL SOUND AND A TROUBLE SIGNAL WILL BE SENT TO A SUPERVISING LOCATION.

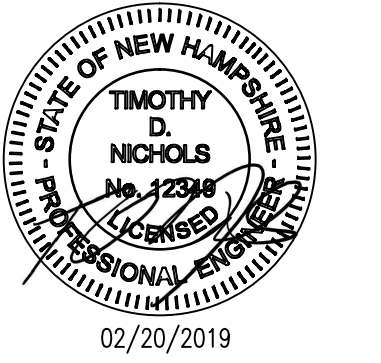
LOSSNAY ERU CFM AND OVERRIDE SCHEDULE				
UNIT CALLOUT	STANDBY OPERATION FAN SPEED (CFM)	OVERRIDE FAN SPEED (CFM)	NUMBER OF CO ² SENSORS FOR OVERRIDE	NUMBER OF OCCUPANCY SENSORS FOR OVERRIDE
ERU-2	147	470	1	3
ERU-3	147	420	1	0
ERU-4	147	330	1	0
ERU-5	147	330	1	0
ERU-6	147	330	1	0
PSC-7	147	470	0	2
ERU-8	147	420	1	0



A ZONE/BOILER CONTROL DIAGRAM
NO SCALE

ZONE/BOILER CONTROL SCHEDULE				
	ZONE SLOT	SPACE	# OF VALVES	ZONE
TACO ZVC405	#1	WEST HALL	1	NORTHWEST
	#2	SHOWERS: 113->116	1	
	#3	REST RM. #1: 118 RESR RM. #2: 117	1	
	#4	NORTH HALL	1	NORTH
		STORAGE RM.: 108 PRIVACY RM.: 106	1	
#5	DIRECTORS OFFICE: 104	1	EAST	
	WORK AREA: 102A	1		
TACO ZVC405	#1	ACTIVITY RM. B: 101B	1	EAST
	#2		1	
	#3	ACTIVITY RM. A: 101A	1	
	#4	EAST HALL	1	SOUTH
			1	
#5	LOUNGE: 103	1		
TACO ZVC403	#1	KITCHEN: 121	1	KITCHEN
	#2	ASS. HALL: 120	1	ASS. HALL
	#3	SPARE	0	SPARE

ZONE VALVE SCHEDULE				
UNIT	MANUFACTURER & MODEL	SIZE & TYPE	POWER	
	TACO		SOURCE	CONSUMPTION
ZONE VALVE	SENTRY, Z100C2	1", SWEAT	24VAC	11.4W



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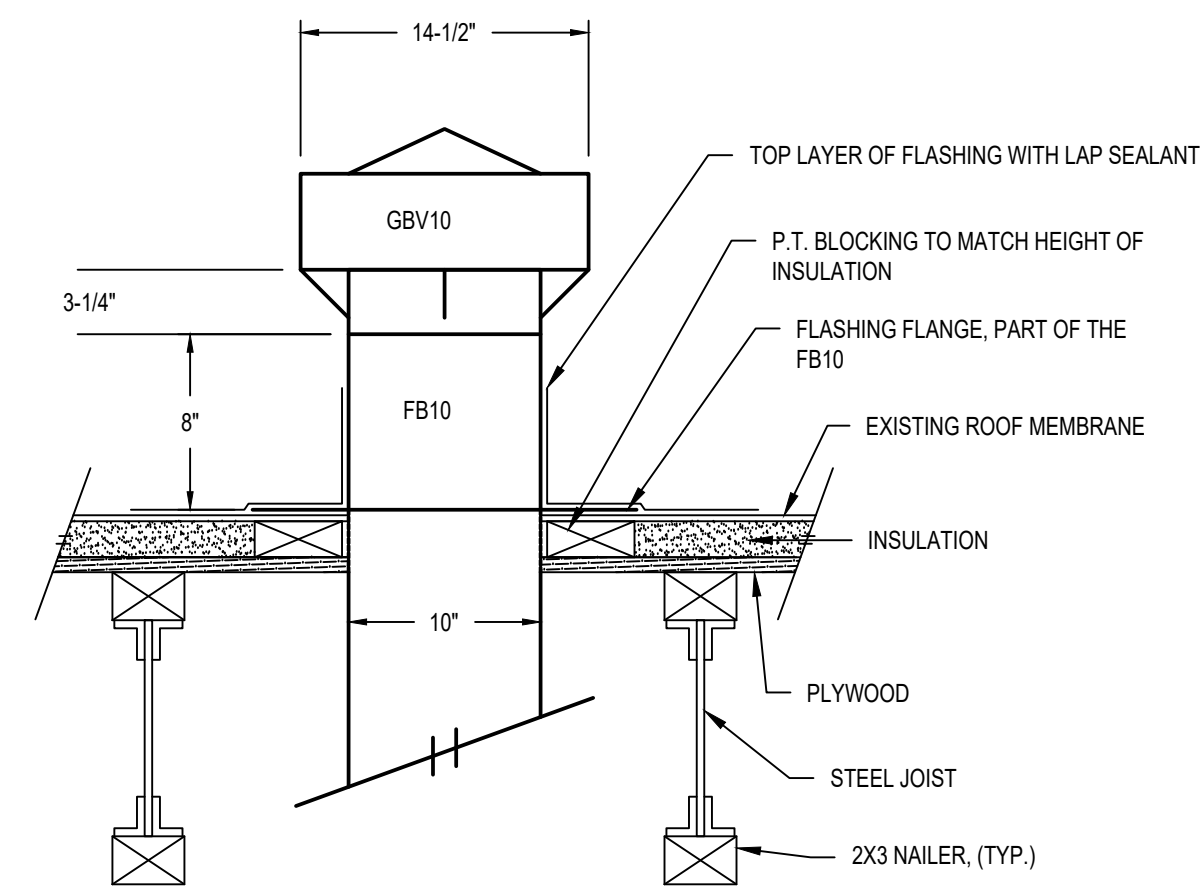
REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019

DETAILS

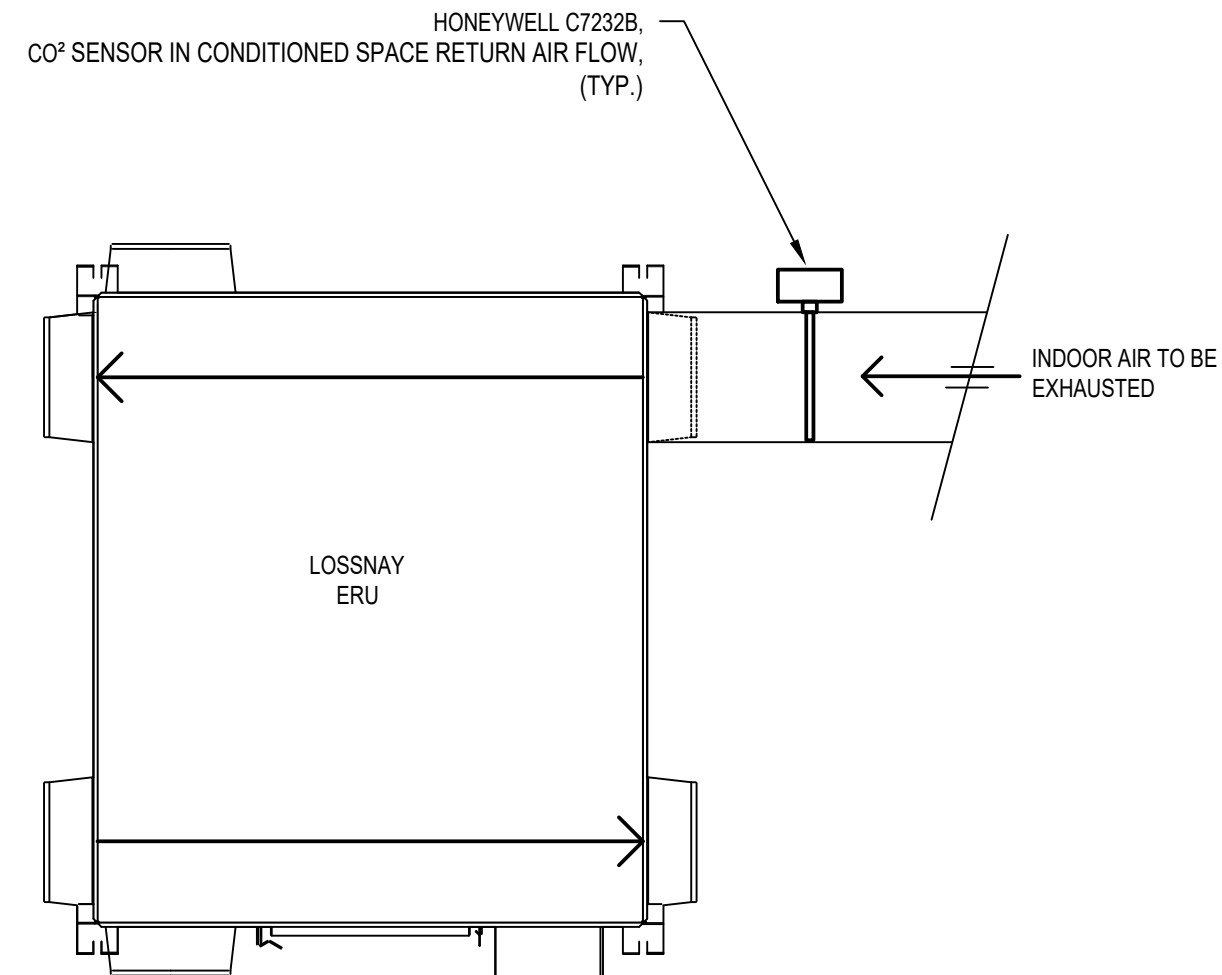
PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-8.0

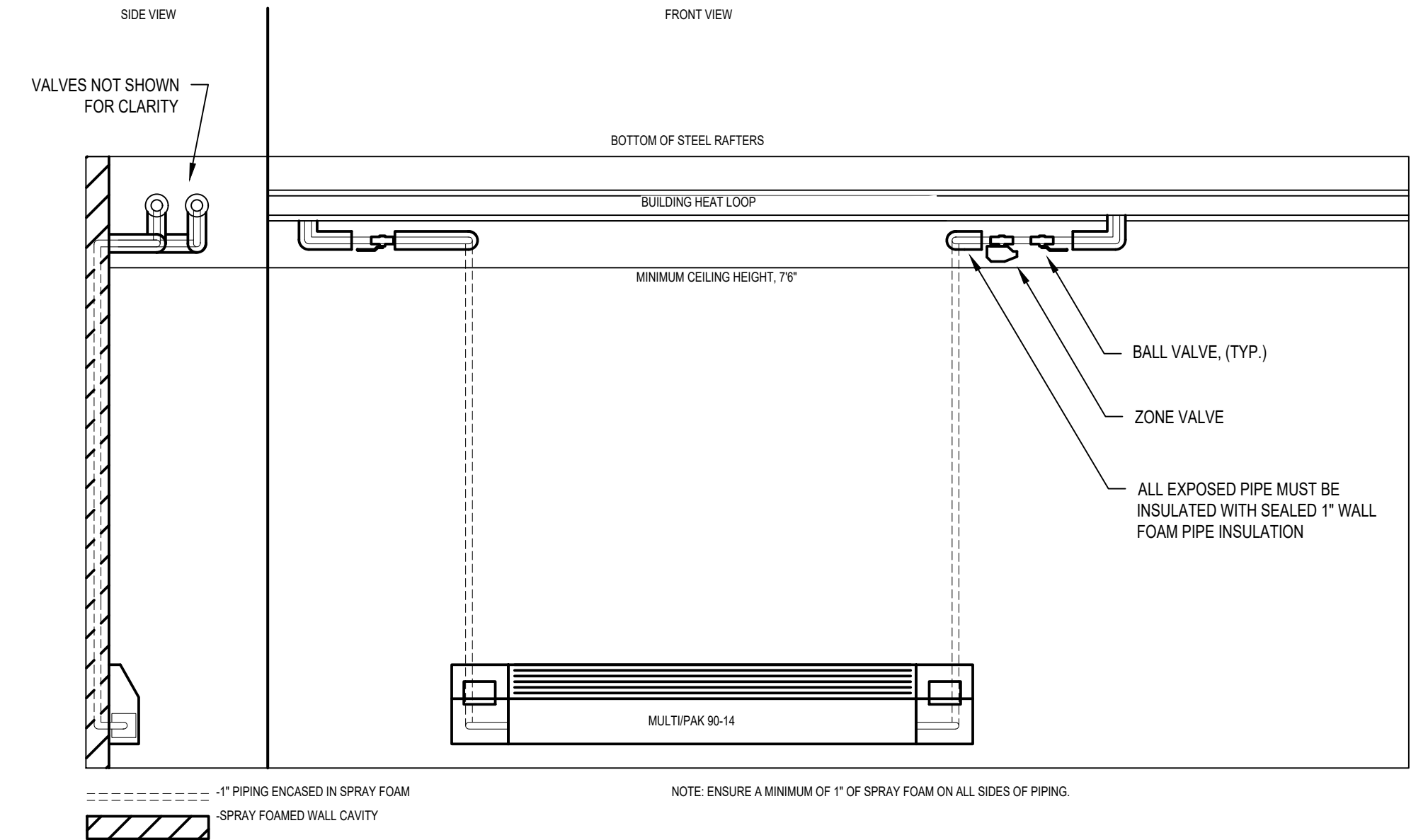
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ISSUED FOR BID



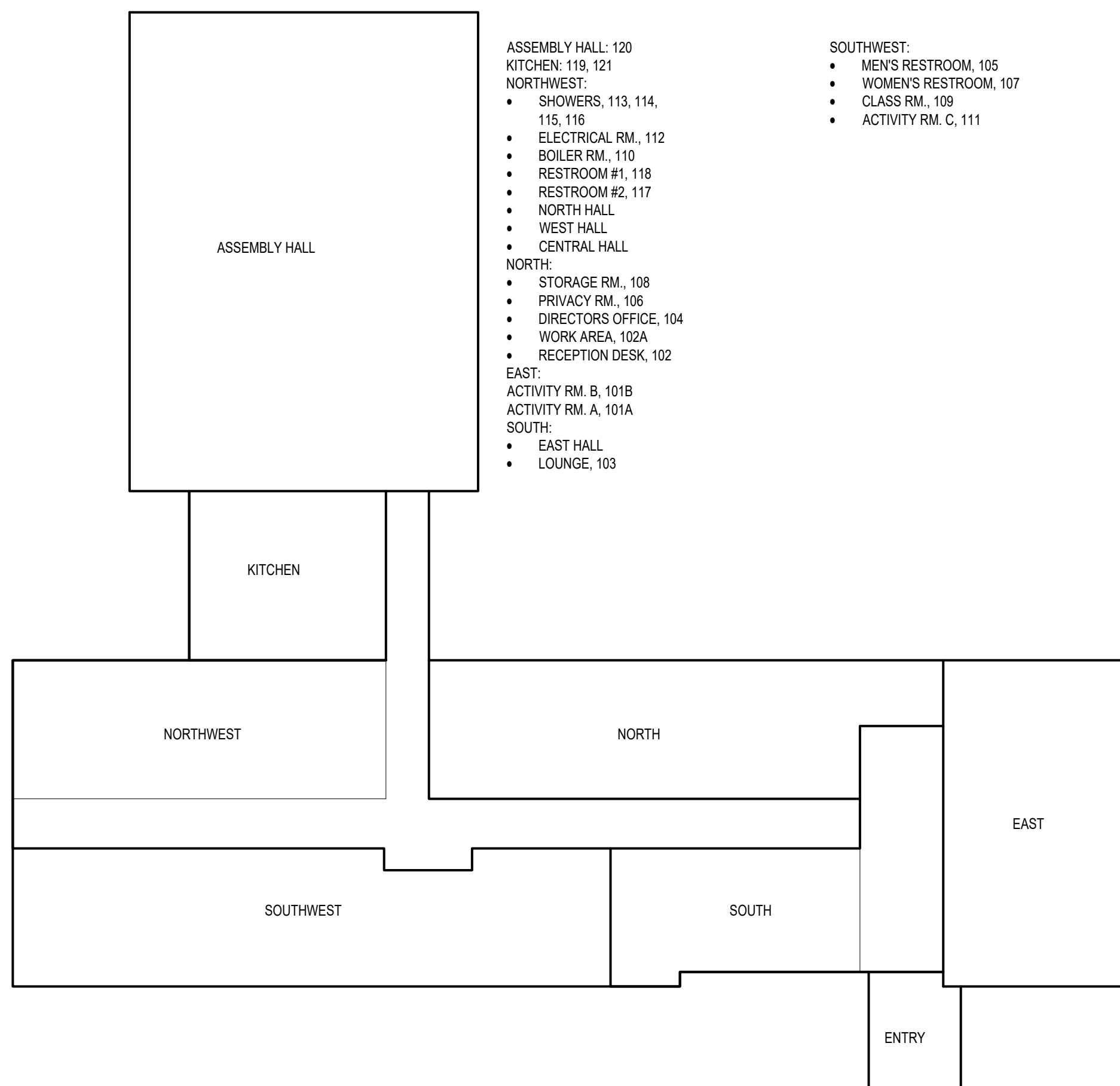
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NO SCALE



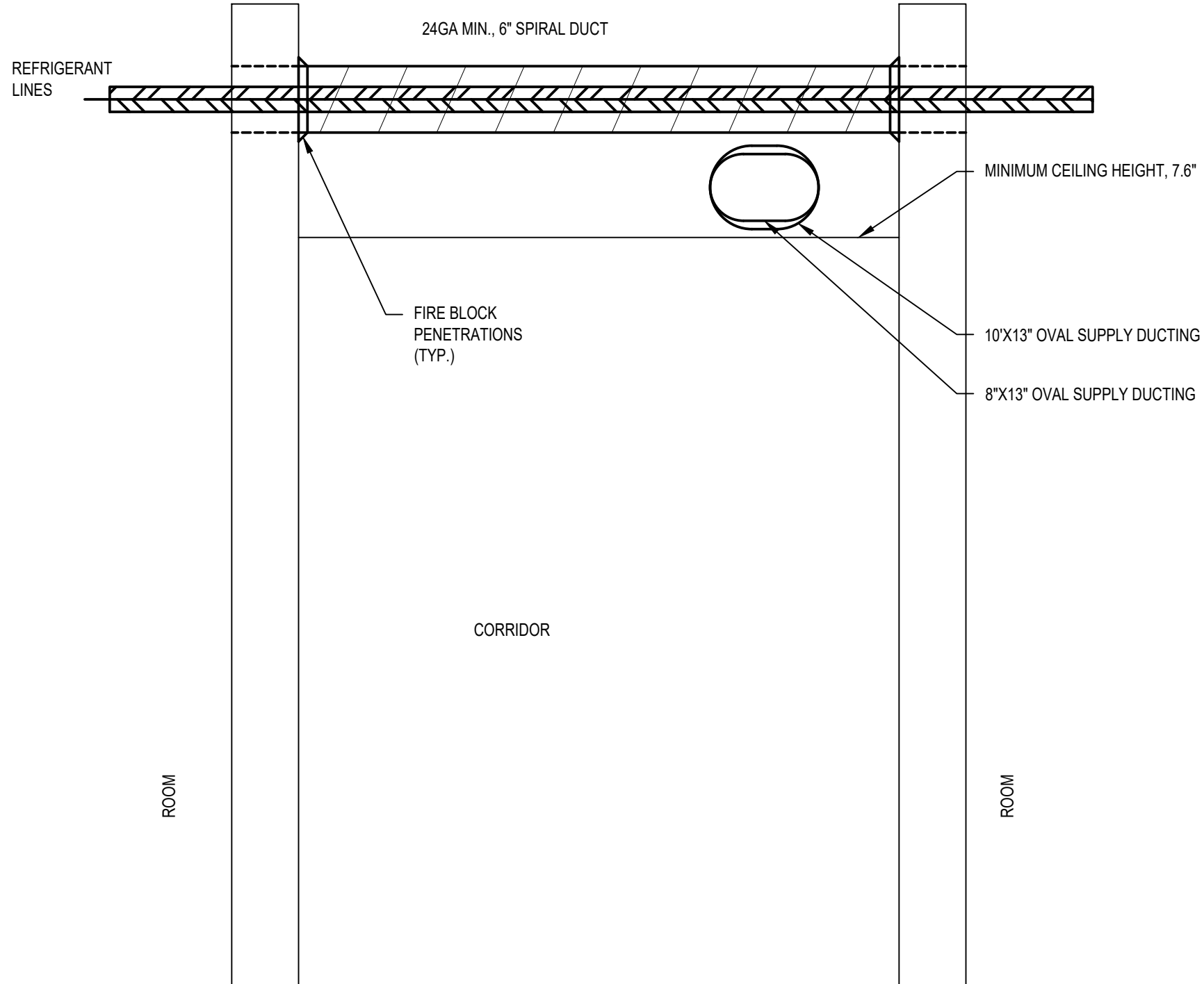
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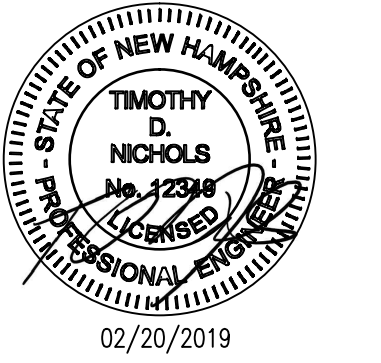
C RADIATOR PIPING DETAIL
NO SCALE



D HVAC ZONE DESIGNATIONS
1/16"=1'



E REFRIGERANT PIPING IN CORRIDOR
NO SCALE



**PORTSMOUTH
SENIOR ACTIVITY
CENTER**

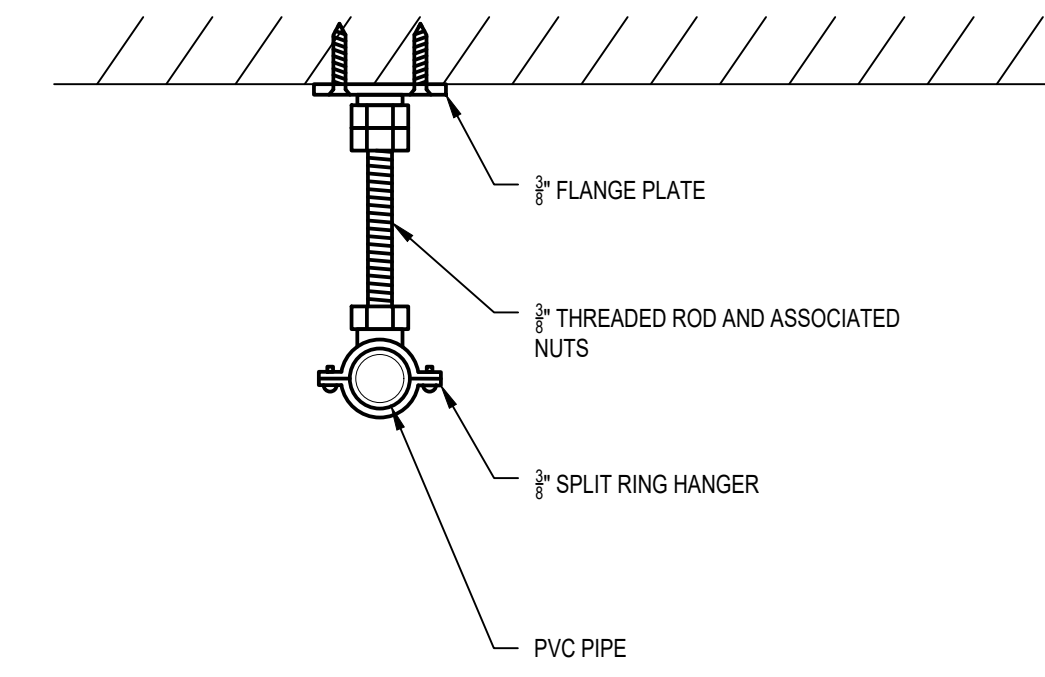
REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019

DETAILS

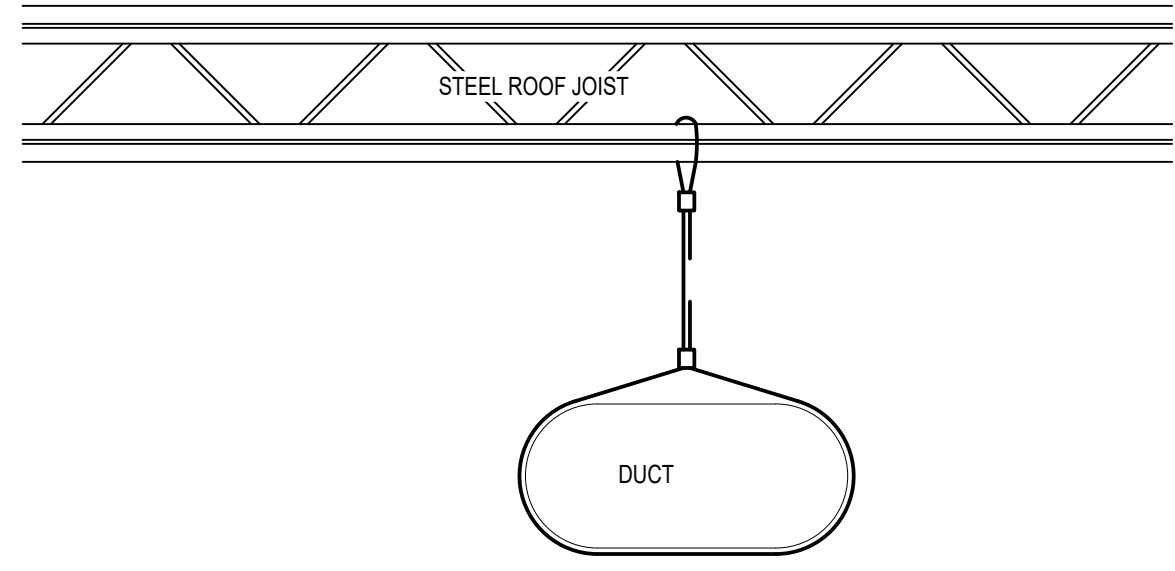
PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

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PROJECT PHASE:
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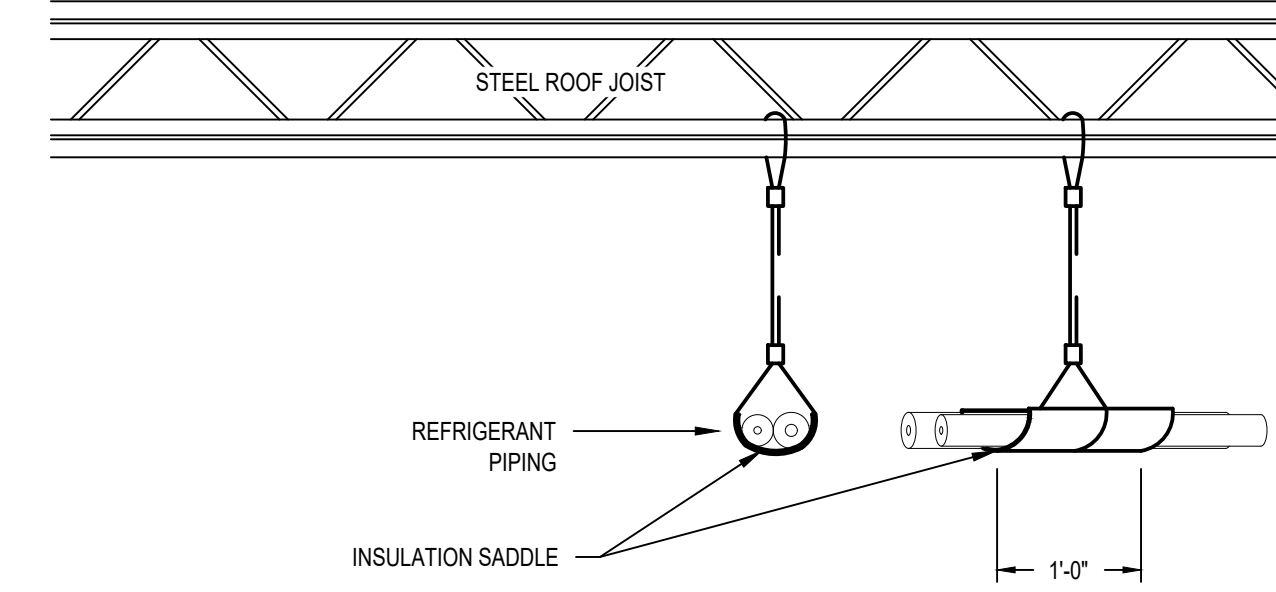


A PVC PIPE SUPPORT DETAIL (TYP.)
NO SCALE



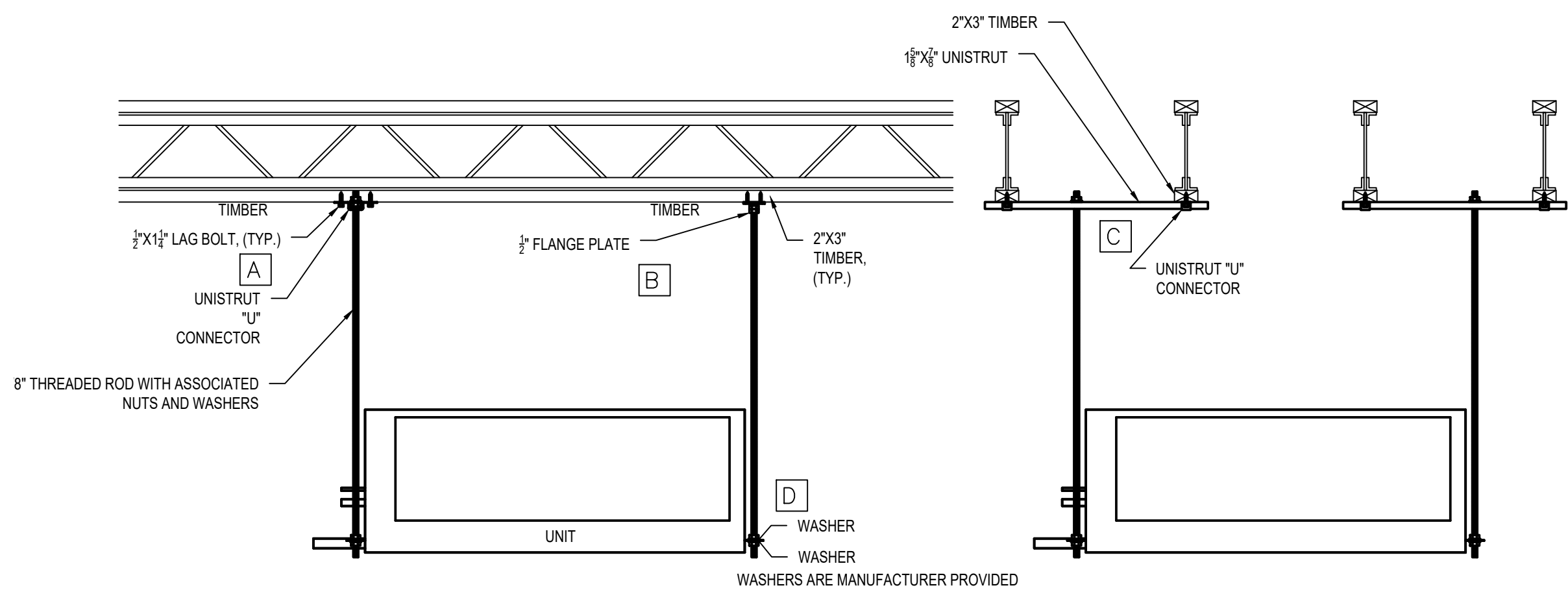
DESIGN BASED ON: DURO DYNE, DYNA-TITE CL23-WC6, 8FT SPACING.

B DUCT SUPPORT DETAIL (TYP.)
NO SCALE

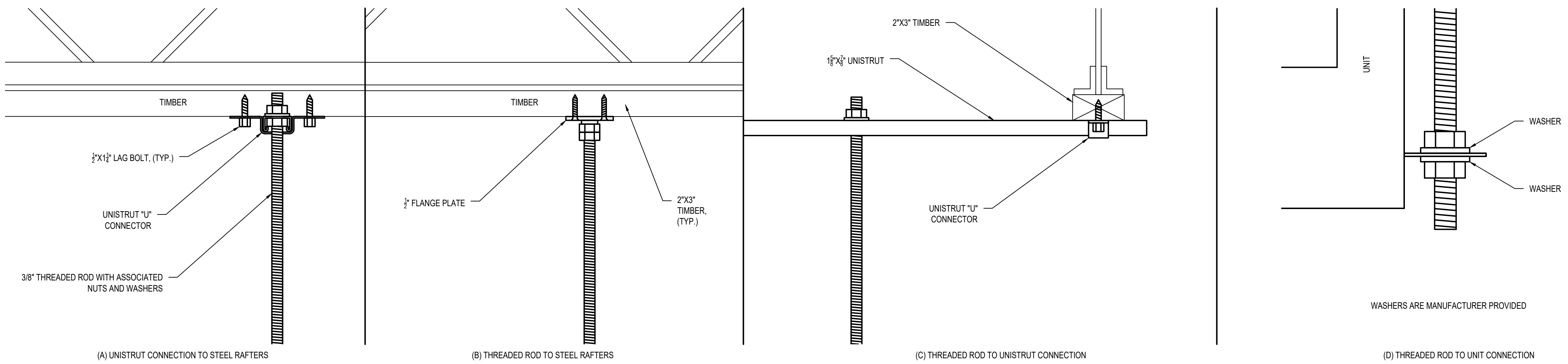


DESIGN BASED ON: BUCKAROOS, INC, PVC CLEAN SADDLE P105512W, AND DYNA-TITE CL23-WC6, 5FT SPACING.

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NO SCALE



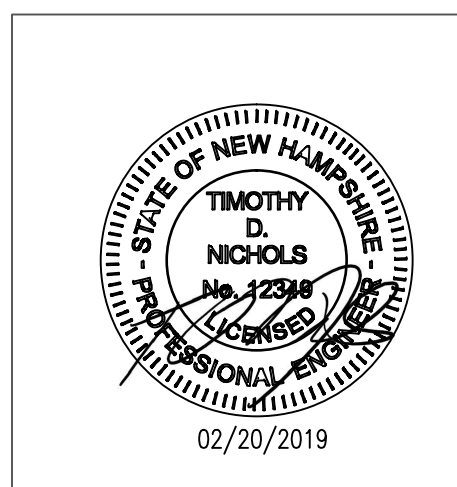
D UNIT SUPPORT DETAIL: ERU OR FCU
NO SCALE



E CLOSE UP OF DETAIL C
NO SCALE



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CITY OF PORTSMOUTH
1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
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3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019

SCHEDULES

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-9.0

PROJECT PHASE:
ISSUED FOR BID

FAN COIL (FCU) SCHEDULE

TAG	MANUFACTURER AND MODEL	SERVICE (ZONE)	ASSOCIATED HEAT PUMP	SUPPLY FAN			SOUND LEVEL (LOW-HIGH)	POWER						CAPACITY BTU/H		ACCESSORIES		
				CFM (LOW-HIGH)	STATIC PRESSURE (IN. WG)	QUANTITY		SOURCE	CONSUMPTION (KW)		CURRENT (A)		HEATING	COOLING	FILTER BOX MODEL NUMBER	DRAIN PUMP		
									HEATING	COOLING	HEATING	COOLING					MCA	MOCP
FCU-1	PEFY-P48NMHU-E	NORTHWEST	HP-1	936-1342	0.20"	2	31-41 dB(A)	208, 1PH, 60HZ	0.683	0.683	3.38	3.38	4.23	15	54,000	48,000	PAC-KE140TB-F	PAC-KE04DM-F
FCU-2	PEFY-P72NMHU-E	NORTH	HP-2	2048**	0.28-0.64	2	45 dB(A)**	208V, 3PH, 60HZ	1.352	1.352	4.48	4.48	5.60	15	80,000	72,000	PAC-KE250TB-F	PAC-KE04DM-F
FCU-3	PEFY-P96NMHU-E	EAST	HP-2	2541**	0.28-0.64	3	52 dB(A)**	208V, 3PH, 60HZ	1.690	1.690	5.69	5.69	7.12	15	108,000	96,000	PAC-KE250TB-F	PAC-KE04DM-F
FCU-4	PEFY-P54NMHU-E	SOUTH	HP-1	989-1412	0.20"	2	31-41 dB(A)	208, 1PH, 60HZ	0.695	0.695	3.43	3.43	4.29	15	60,000	54,000	PAC-KE140TB-F	PAC-KE04DM-F
FCU-5	PEFY-P72NMHU-E	SOUTHWEST	HP-2	2048**	0.28-0.64	2	45 dB(A)**	208V, 3PH, 60HZ	1.352	1.352	4.48	4.48	5.60	15	80,000	72,000	PAC-KE250TB-F	PAC-KE04DM-F
FCU-6	SLZ-KA15NA	ENTRY	HP-3	(LOW, MED, HI) 280, 320, 390	DUCTLESS	1	(LOW, MED, HI) 31, 35, 40	208V, 1PH, 60HZ	N/A	N/A	N/A	N/A	1	15	15,000	18,000	N/A	N/A

NOTE: * = VALUES SHOWN ARE DEFAULT SP (STATIC PRESSURE) RATINGS, SP CAN BE SET TO 0.6WIG @ 208V AND 0.8WIG @230. ** = NO INFORMATION AVAILABLE FOR OTHER SP SETTINGS, THOUGH IT IS INDICATED THERE ARE OTHER SP SETTINGS.

AIR SOURCE HEAT PUMP (ASHP) SCHEDULE

TAG	SERVES (ZONES)	OUTDOOR LOCATION	MANUFACTURER	MODEL	COMPRESSOR		SOUND PRESSURE LEVEL (DBA)		OPERATING TEMPERATURE RANGE (°F)		CAPACITY KBTU/H		POWER			ACCESSORIES FROM MITSUBISHI		
					OP. RANGE	QUANTITY AND TYPE	COOLING	HEATING	COOLING	HEATING	COOLING	HEATING	SOURCE	MCA	MOCP	BASE PAN HEATER	TWINNING KIT	STAND
ASHP-1	NORTHWEST, SOUTH	NORTH CENTRAL	mitsubishi	PUHY-P96TSKMU-A	8-100%	INVERTER DRIVEN SCROLL, 1	58		23 - 115	-13 - 60	96	108	208V, 3PH, 60HZ	34	40	SBPH-T2	N/A	SS100M, SS48M
ASHP-2	NORTH, EAST, SOUTHWEST	NORTH CENTRAL	mitsubishi	PUHY-P216TSKMU-A*	8-100%	INVERTER DRIVEN SCROLL, 1	62.5		23 - 115	-13 - 60	120	135	208V, 3PH, 60HZ	45	50	SBPH-T3	CMY-Y100CBK3	SS100M, SS101M, SS48M, SS70M
					8-100%	INVERTER DRIVEN SCROLL, 1			23 - 115	-13 - 60	96	108	208V, 3PH, 60HZ	34	40	SBPH-T2		
ASHP-3	ENTRY	SOUTH CENTRAL	mitsubishi	SUZ-KA15NA	20-100%	INVERTER DRIVEN TWIN ROTARY, 1	49	51	14 - 115	-4 - 70	15	18	208V, 1PH, 60HZ	12	15	MAC-640BH-U	N/A	DSD-400N

NOTE: * = UNIT IS MADE UP OF TWO UNITS TWINNED TOGETHER.

RADIATOR (BB) SCHEDULE

TAG	MANUFACTURER	MODEL	# OF TIERS	BTU/FOOT, 1" COPPER @ 180°F
BB-1	SLANT/FIN	MULTI/PAK 90-14	1	1346
BB-2	SLANT/FIN	MULTI/PAK 90-21	2	2063

NOTE: LENGTHS ARE SHOWN ON TAGS ADJACENT TO RESPECTIVE RADIATOR.

UNIT HEATER (UH) SCHEDULE

TAG	MANUFACTURER	MODEL	KBTU OUTPUT ON HIGH @ 180°F	POWER	
				VOLTS	WATTS
UH-1	SMITHS	CASPIAN SKYLINE CT60	17.5	120VAC, 1PH, 60HZ	40

ROUND AND FLAT OVAL DUCTWORK

MANUFACTURER/SERIES (DESIGN)	SEAL TYPE	SIZE
EASTERN SHEET METAL/EASTERN TIGHT	GASKETED	REFER TO DESIGN

AIR TERMINAL (SA, RA, EA, FA, DA) SCHEDULE

TAG	SELECTION RANGE (CFM)	OVERALL SIZE (IN)	CONNECTION TYPE & SIZE	SERVICE	MANUFACTURER AND MODEL NUMBER (BASIS OF DESIGN)	FACE VELOCITY (FPM)	MAX. NEGATIVE STATIC PRESSURE	MAX NC	MATERIAL
SA-1	56	10X3	DUCT MOUNTED	SUPPLY AIR	TITUS, US300	400	0.20	20	ALUMINUM
SA-2	84	10X4	DUCT MOUNTED	SUPPLY AIR	TITUS, US300	400	0.20	20	ALUMINUM
SA-3	156	12X6	DUCT MOUNTED	SUPPLY AIR	TITUS, US300	400	0.20	20	ALUMINUM
SA-4	208	16X6	DUCT MOUNTED	SUPPLY AIR	TITUS, US300	400	0.20	20	ALUMINUM
SA-5	284	20X6	DUCT MOUNTED	SUPPLY AIR	TITUS, US300	400	0.20	20	ALUMINUM
SA-6	215	12X6	DUCT MOUNTED	SUPPLY AIR	TITUS, US-DL	400	0.20	20	ALUMINUM
SA-7	2250	24X24	WALL/CUST. BOX	SUPPLY AIR	TITUS, 300RS	600	0.07	28	STEEL
SA-8	196	24X24	CEILING/CUST. BOX	SUPPLY AIR	TITUS, OMNI-AA	N/A	0.20	21	ALUMINUM
SA-9	148	8X8	CEILING/CUST. BOX	SUPPLY AIR	HART&COOLEY 92	400	0.20	20	STEEL
SA-10	76	6X6	CEILING/CUST. BOX	SUPPLY AIR	HART&COOLEY 92	400	0.20	20	STEEL
SA-11	228	12X6	CEILING/CUST. BOX	SUPPLY AIR	HART&COOLEY 92	400	0.20	20	STEEL
RA-1	288	20X6	DUCT MOUNTED	RETURN AIR	TITUS, US8F	400	0.20	20	ALUMINUM
RA-2	352	24X6	DUCT MOUNTED	RETURN AIR	TITUS, US8F	400	0.20	20	ALUMINUM
RA-3	444	18X10	DUCT MOUNTED	RETURN AIR	TITUS, US8F	400	0.20	20	ALUMINUM
RA-4	728	24X12	DUCT MOUNTED	RETURN AIR	TITUS, US8F	400	0.20	20	ALUMINUM
RA-5	488	14X14	WALL/CUST. BOX	RETURN AIR	TITUS, 350	N/A	0.20	20	ALUMINUM
RA-6	856	24X14	WALL/CUST. BOX	RETURN AIR	TITUS, 350	N/A	0.20	20	ALUMINUM
RA-6	355	24x8	CEILING/CUST. BOX	RETURN AIR	HART&COOLEY, PFG	N/A	0.20	20	STEEL
EA-1	196	24X24	CEILING/CUST. BOX	EXHAUST AIR	TITUS, OMNI-AA	N/A	0.20	21	ALUMINUM
EA-2	300	24X24	CEILING/CUST. BOX	EXHAUST AIR	TITUS, OMNI-AA	N/A	0.20	20	ALUMINUM
EA-3	436	24X24	CEILING/CUST. BOX	EXHAUST AIR	TITUS, OMNI-AA	N/A	0.20	20	ALUMINUM
EA-4	222	8X8	WALL/CUST. BOX	EXHAUST AIR	TITUS, 350	N/A	0.20	20	ALUMINUM
EA-5	528	12X12	WALL/CUST. BOX	EXHAUST AIR	TITUS, 350	N/A	0.20	20	ALUMINUM
EA-6	810	16X16	WALL/CUST. BOX	EXHAUST AIR	TITUS, 350	N/A	0.20	20	ALUMINUM
EA-7	2250	24X24	WALL/CUST. BOX	EXHAUST AIR	TITUS, 300RS	600	0.07	28	STEEL
FA-1	600	15X10	STACK/10"Ø	FRESH AIR	FAMCO, GBV10	N/A	0.20	30	ALUMINUM
DA-1	600	15X10	STACK/10"Ø	DISCHARGE AIR	FAMCO, GBV10	N/A	0.20	30	ALUMINUM

NOTE: FA AND DA TO BE USED IN CONJUNCTION WITH FAMCO, FB10, FLASHING STACK BASE.

LOSSNAY ENERGY RECOVERY UNIT (ERU) SCHEDULE

TAG	SERVES (ZONE)	LOCATION (ROOM)	MANUFACTURER	MODEL	FAN		MOTOR QUANTITY AND TYPE	ENTERING TEMPERATURE OPERATION RANGE (°F)	POWER			
					CFM (EXTRA LOW, LOW, HIGH, EXTRA HIGH)	STATIC PRESSURE (EXTRA LOW, LOW, HIGH, EXTRA HIGH)			SOURCE	CURRENT	MCA	MOCP
ERU-2	NORTHWEST	110	mitsubishi	LGH-F470RX5-E	147, 330, 420, 470	0.07, 0.33, 0.54, .080	2, 4 POLE CAPACITOR PERMANENT SPLIT-PHASE INDUCTION MOTOR	14 TO 104 UP TO 80%RH*	208V, 1PH, 60HZ	0.6-2.5	3.1	15
ERU-3	NORTH	106	mitsubishi	LGH-F470RX5-E	147, 330, 420, 470	0.07, 0.33, 0.54, .080	2, 4 POLE CAPACITOR PERMANENT SPLIT-PHASE INDUCTION MOTOR	14 TO 104 UP TO 80%RH*	208V, 1PH, 60HZ	0.6-2.5	3.1	15
ERU-4	EAST	101B	mitsubishi	LGH-F470RX5-E	147, 330, 420, 470	0.07, 0.33, 0.54, .080	2, 4 POLE CAPACITOR PERMANENT SPLIT-PHASE INDUCTION MOTOR	14 TO 104 UP TO 80%RH*	208V, 1PH, 60HZ	0.6-2.5	3.1	15
ERU-5	EAST	101A	mitsubishi	LGH-F470RX5-E	147, 330, 420, 470	0.07, 0.33, 0.54, .080	2, 4 POLE CAPACITOR PERMANENT SPLIT-PHASE INDUCTION MOTOR	14 TO 104 UP TO 80%RH*	208V, 1PH, 60HZ	0.6-2.5	3.1	15
ERU-6	SOUTH	103	mitsubishi	LGH-F470RX5-E	147, 330, 420, 470	0.07, 0.33, 0.54, .080	2, 4 POLE CAPACITOR PERMANENT SPLIT-PHASE INDUCTION MOTOR	14 TO 104 UP TO 80%RH*	208V, 1PH, 60HZ	0.6-2.5	3.1	15
ERU-7	SOUTHWEST	105	mitsubishi	LGH-F470RX5-E	147, 330, 420, 470	0.07, 0.33, 0.54, .080	2, 4 POLE CAPACITOR PERMANENT SPLIT-PHASE INDUCTION MOTOR	14 TO 104 UP TO 80%RH*	208V, 1PH, 60HZ	0.6-2.5	3.1	15
ERU-8	SOUTHWEST	109	mitsubishi	LGH-F470RX5-E	147, 330, 420, 470	0.07, 0.33, 0.54, .080	2, 4 POLE CAPACITOR PERMANENT SPLIT-PHASE INDUCTION MOTOR	14 TO 104 UP TO 80%RH*	208V, 1PH, 60HZ	0.6-2.5	3.1	15

NOTE: * = WHEN BELOW 14°F TO 5°F THE UNIT RUNS 10 MINUTES OFF FOR EVERY 60MIN ON AS A DEFROST CYCLE.

HE ENERGY RECOVERY UNIT (ERU) SCHEDULE

TAG	SERVES (ZONE)	OUTDOOR LOCATION	CO² SENSOR	MANUFACTURER	MODEL	FAN		MOTOR		ELECTRICAL SPECIFICATIONS					ACCESSORIES
						CFM	STATIC PRESSURE	QUANTITY	TYPE	HP	VOLTS	FLA/MOTOR	MCA	MOCP	STAND
ERU-1	ASS. HALL	NORTH OF HALL	CO2-W	RENEWAIRE	HE3XRTC	1940	0.25	2	VFD	3	208V, 3PH, 60HZ	9.4	40.2	45	24" MIN.

AUTOMATIC SMOKE DAMPER SCHEDULE

TAG	SERVES		SIZE	MANUFACTURER	MODEL	CLASS	ACTUATION	VOLTAGE	DEPTH
	UNIT	DUCT FUNCTION							
SD-1	FCU-1	EA, MAIN HALL	Ø6"	ABI	FS1	1	CLOSE ON INTERRUPTION OF POWER, (FAIL SAFE)	120VAC	1'-6"
SD-2		SA, MAIN HALL	28"X12" OVAL	ABI	FS1	1		120VAC	1'-6"
SD-3		RA, MAIN HALL	18"X12" OVAL	ABI	FS1	1		120VAC	1'-6"
SD-4		SA, REST ROOMS	12"X6" OVAL	ABI	FS1	1		120VAC	1'-6"
SD-5	FCU-4	EA, MAIN HALL	Ø8"	ABI	FS1	1		120VAC	1'-6"
SD-6		RA, EAST HALL	13"X10" OVAL	ABI	FS1	1		120VAC	1'-6"
SD-7		SA, EAST HALL	13"X10" OVAL	ABI	FS1	1		120VAC	1'-6"
SD-8	FCU-5	RA, MAIN HALL	14"X14" SQUARE	ABI	FS1G/F	1		120VAC	1'-6"

DUCT SMOKE SENSOR SCHEDULE

TAG	SERVES		MANUFACTURER	SERIES	MODEL	COMPATIBLE WITH	
	UNIT	ZONE				MANUFACTURER	SERIES
SS-1	ERU-1	ASS. HALL	GAMEWELL	INNOVAIRFLEX	DNR/DNRW	GAMEWELL	7100
	AHU-1	ASS. HALL	GAMEWELL	INNOVAIRFLEX	DNR/DNRW	GAMEWELL	7100
	FCU-1	NORTHEAST	GAMEWELL	INNOVAIRFLEX	DNR/DNRW	GAMEWELL	7100
	FCU-2	NORTH	GAMEWELL	INNOVAIRFLEX	DNR/DNRW	GAMEWELL	7100
	FCU-3	EAST	GAMEWELL	INNOVAIRFLEX	DNR/DNRW	GAMEWELL	7100
	FCU-4	SOUTH	GAMEWELL	INNOVAIRFLEX	DNR/DNRW	GAMEWELL	7100
	ERU-7	SOUTHWEST	GAMEWELL	INNOVAIRFLEX	DNR/DNRW	GAMEWELL	7100
	FCU-5	SOUTHWEST	GAMEWELL	INNOVAIRFLEX	DNR/DNRW	GAMEWELL	7100

AIR FILTER SCHEDULE

ASSOCIATED UNIT (FCU)	MERV/NBS	MANUFACTURER	PART NUMBER
1 & 4	14/90%	mitsubishi	PAC-KE44AF
2, 3 & 5	14/90%	mitsubishi	PAC-KE45AF

DOMESTIC HOT WATER (DHW) SCHEDULE

TAG	INPUT (BTU)	HW PRODUCTION (FIRST HOUR)	THERMAL EFFICIENCY	TANK MATERIAL	COMBUSTION TYPE	INLET/OUTLET SIZE (Ø)	VENT SIZE	INPUT (BTU)	POWER	MCOP	MFGR.	MODEL NO.
DHW-1	40K TO 160K	265 GAL. @ 100' RISE	96%	STAINLESS STEEL	CONDENSING	0'-1 1/2"	3"	160K	120VAC, 60HZ	15A	HTP	PH-160-80
DHW-2	40K TO 160K	265 GAL. @ 100' RISE	96%	STAINLESS STEEL	CONDENSING	0'-1 1/2"	3"	160K	120VAC, 60HZ	15A	HTP	PH-160-80

SPACE HEAT CIRCULATION PUMP

TAG	LOCATION	GPM	MAX. FT. OF HEAD	CONNECTIVITY	POWER SUPPLY	MCA	MANUFACTURE/MODEL
P-1	BOILER RM.	0-30	40	BACNET CAPABLE	230VAC, 60HZ	2.70A	GRUNDFOS/ MAGNA3 D 40-150 F

NOTE: SET PUMP TO "AUTOADAPT".

HEATING AND FIRE SUPPRESSION WATER PIPE VALVE

SIZE	MAX PRESSURE (PSI)	TYPE	CONSTRUCTION/MATERIAL
3/8" TO 2"	600	BALL	2 PART/BRASS
2-1/2" TO 4"	400	BALL	2 PART/BRASS
6"	250	GATE	GATE/DUCTILE IRON

DOMESTIC WATER PIPE VALVE

SIZE	MAX PRESSURE (PSI)	TYPE	CONSTRUCTION/MATERIAL
1/2" TO 2"	600	BALL	2 PART/BRASS

DOMESTIC, HEATING AND FIRE SUPPRESSION PIPING SCHEDULE

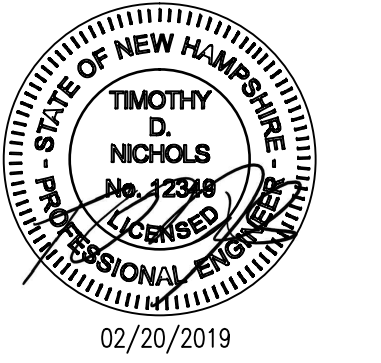
SIZE	MAX PRESSURE (PSI)	TYPE	CONSTRUCTION/MATERIAL
1/2" TO 2-1/2"	1596 TO 577	L	SEAMLESS DRAWN/COPPER
6"	595	K	SEAMLESS DRAWN/COPPER

MINIMUM PIPE INSULATION THICKNESS FOR ALL PIPE

SIZE	INSULATION THICKNESS
1/2" TO 1-1/2"	1"
1-1/2" TO 2-1/2"	1-1/2"



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CITY OF PORTSMOUTH
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REVISIONS

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2	95% SUBMISSION	01/12/2018
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4	ISSUED FOR BID	02/20/2019

SCHEDULES

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

M-9.1

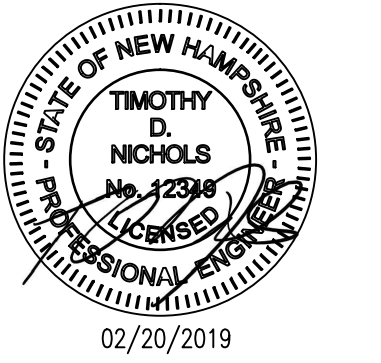
PROJECT PHASE:
ISSUED FOR BID

GENERAL NOTES

1. ALL CONDITIONS ARE SUBJECT TO CHANGE UNTIL PLANS ARE FINALIZED.
2. CLOUD CEILING (CC) DEFINITION USED IS DEFINED BY THE NFPA 13 3.3.5.1.
3. GC IS RESPONSIBLE FOR DESIGN OF FIRE SUPPRESSION SYSTEM. SUBMIT DESIGN TO THE CITY OF PORTSMOUTH FIRE DEPARTMENT FOR REVIEW AND APPROVAL.

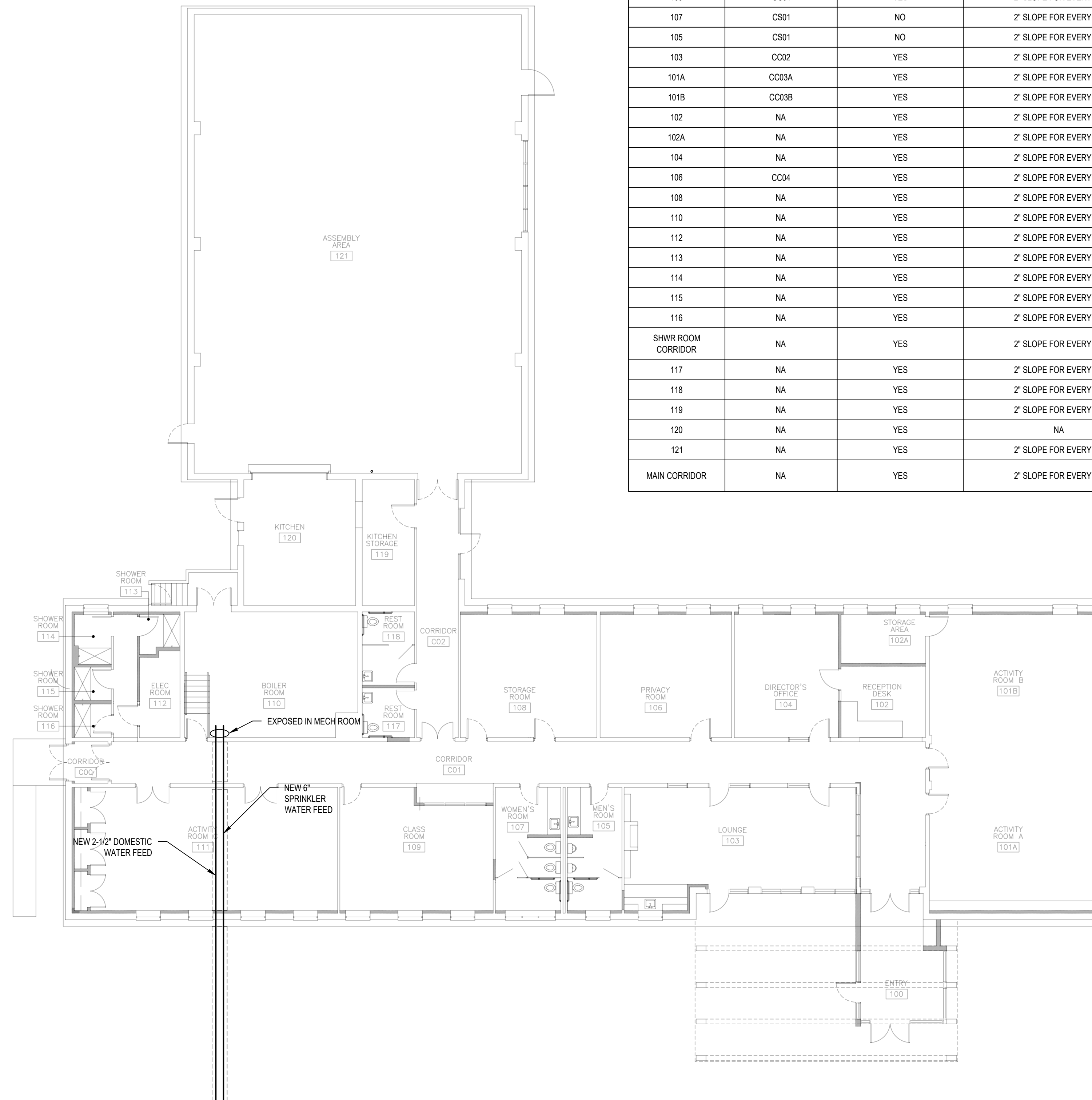


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SPRINKLER SYSTEM ROOM INFORMATION

ROOM #	CLOUD CEILING REF. #	STRUCTURAL CEILING EXPOSED	SLOPE OF STRUCTURAL CEILING	FLOOR AREA (SQ.FT)	CLOUD CEILING (SQ.FT)	ELEVATION TO LOWEST POINT OF STRUCTURAL CEILING	ELEVATION TO CLOUD CEILING	CONCEALED SPACE	ELEVATION TO CONCEALED SPACE
111	NA	YES	2" SLOPE FOR EVERY 56"	777	NA	8'-9"	NA	NO	NA
109	CC01	YES	2" SLOPE FOR EVERY 56"	410	205	8'-9"	7'-6"	NO	NA
107	CS01	NO	2" SLOPE FOR EVERY 56"	187	NA	8'-9"	NA	YES	7'-6"
105	CS01	NO	2" SLOPE FOR EVERY 56"	187	NA	8'-9"	NA	YES	7'-6"
103	CC02	YES	2" SLOPE FOR EVERY 56"	601	177	8'-9"	7'-6"	NO	NA
101A	CC03A	YES	2" SLOPE FOR EVERY 56"	581	194	8'-9"	7'-6"	NO	NA
101B	CC03B	YES	2" SLOPE FOR EVERY 56"	584	170	8'-9"	7'-6"	NO	NA
102	NA	YES	2" SLOPE FOR EVERY 56"	113	NA	8'-9"	NA	NO	NA
102A	NA	YES	2" SLOPE FOR EVERY 56"	101	NA	8'-9"	NA	NO	NA
104	NA	YES	2" SLOPE FOR EVERY 56"	353	NA	8'-9"	NA	NO	NA
106	CC04	YES	2" SLOPE FOR EVERY 56"	384	170	8'-9"	7'-6"	NO	NA
108	NA	YES	2" SLOPE FOR EVERY 56"	386	NA	8'-9"	NA	NO	NA
110	NA	YES	2" SLOPE FOR EVERY 56"	512	NA	8'-9"	NA	NO	NA
112	NA	YES	2" SLOPE FOR EVERY 56"	68	NA	8'-9"	NA	NO	NA
113	NA	YES	2" SLOPE FOR EVERY 56"	53	NA	8'-9"	NA	NO	NA
114	NA	YES	2" SLOPE FOR EVERY 56"	44	NA	8'-9"	NA	NO	NA
115	NA	YES	2" SLOPE FOR EVERY 56"	28	NA	8'-9"	NA	NO	NA
116	NA	YES	2" SLOPE FOR EVERY 56"	28	NA	8'-9"	NA	NO	NA
SHWR ROOM CORRIDOR	NA	YES	2" SLOPE FOR EVERY 56"	61	NA	8'-9"	NA	NO	NA
117	NA	YES	2" SLOPE FOR EVERY 56"	60	NA	8'-9"	NA	NO	NA
118	NA	YES	2" SLOPE FOR EVERY 56"	96	NA	8'-9"	NA	NO	NA
119	NA	YES	2" SLOPE FOR EVERY 56"	166	NA	8'-9"	NA	NO	NA
120	NA	YES	NA	3243	NA	NA	NA	NO	NA
121	NA	YES	2" SLOPE FOR EVERY 56"	341	NA	8'-9"	NA	NO	NA
MAIN CORRIDOR	NA	YES	2" SLOPE FOR EVERY 56"	1344	NA	8'-9"	NA	NO	NA



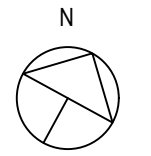
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CITY OF PORTSMOUTH
1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	LIGHT PLAN REVISION	09/25/2018
5	ISSUED FOR BID	02/20/2019



CONCEPTUAL FIRE SPRINKLER PLAN

PROJECT NO.: 17002
DATE ISSUED: 02/20/2019
SCALE: 3/32" = 1'
DRAWN BY: NPA
REVIEWED BY: TDN

M-10.0

PROJECT PHASE:
ISSUED FOR BID

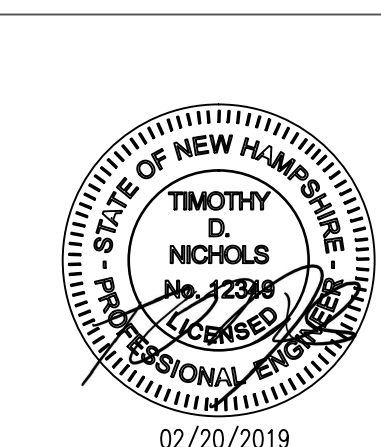
1 2 3 4 5 6 7 8 9 10 11 12

PLUMBING GENERAL NOTES

1. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, PERMITS AND FEES REQUIRED FOR THE COMPLETE INSTALLATION OF ALL SYSTEMS IN THIS SECTION OF WORK.
2. CONTRACTOR RESPONSIBLE FOR OFF SITE DISPOSAL OF ALL EQUIPMENT AND MATERIALS AT PERMITTED WASTE TRANSFER FACILITY. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ALL SYSTEMS OR BUILDING COMPONENTS DAMAGED DURING THE EXECUTION OF WORK. DAMAGE SHALL INCLUDE BUT NOT BE LIMITED TO THE DESTRUCTION OR DISPOSAL OF ITEMS INTENDED TO REMAIN OR BE SALVAGED.
3. ALL PLUMBING WORK TO BE PERFORMED IN ACCORDANCE WITH INTERNATIONAL PLUMBING CODE 2006 (IPC 2006) AND ANY OTHER APPLICABLE CODES.
4. THE PLUMBING PLANS AND DETAILS INDICATE THE GENERAL INTENT AND ARE NOT INTENDED TO SHOW ALL ITEMS TO BE REMOVED OR RETAINED. THE PLUMBING CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE SUBMISSION OF BIDS TO BECOME FAMILIAR WITH THE ACTUAL CONDITIONS AND EXTENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS.
5. ALL EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE GUARANTEED TO FREE OF DEFECTS FOR A PERIOD OF ONE (1) YEAR AFTER FINAL ACCEPTANCE OF WORK OR IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS.
6. THESE DRAWINGS ARE DIAGRAMMATIC AND SHOW GENERAL LOCATION AND ARRANGEMENT OF ALL MATERIALS AND EQUIPMENT. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING PLUMBING SYSTEMS.
7. ALL LOW VOLTAGE WIRING RELATED TO PLUMBING EQUIPMENT AND SYSTEMS IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. ALL HIGH VOLTAGE CONNECTIONS TO PLUMBING EQUIPMENT, INCLUDING DISCONNECTS TO BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR.
8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ANY ACCESS DOORS RELATED TO PLUMBING SYSTEM (WITH EXCEPTION OF CLEANOUT COVERS).
9. CONTRACTOR IS RESPONSIBLE FOR CUTTING AND PATCHING OF WALLS, FLOORS AND CEILINGS RELATED TO THE INSTALLATION OF PLUMBING EQUIPMENT AND SYSTEMS.
10. INSULATION IS REQUIRED ON ALL WATER SUPPLY PIPING AND FITTINGS (HOT AND COLD) ABOVE THE FINISHED FLOOR. INSULATION MUST HAVE SEALED OR TAPED SEAMS. REFER TO TABLE FOR VALUES.
11. ANY PLUMBING FIXTURES WITH A COMMON SHUT-OFF VALVE ARE TO INCLUDE A CHECK VALVE ON THE HOT AND COLD WATER VALVES TO PREVENT INTERCONNECTION OF HOT AND COLD WATER LINES.
12. ALL SUBGRADE FITTINGS ARE TO BE BRAZED WITH BRAZING ROD SPECIFIED FOR POTABLE USE. ALL EXPOSED FITTING ARE TO BE SOLDERED WITH SOLDER SPECIFIED FOR POTABLE USE.
13. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL UTILITY OUTAGES AND DISRUPTIONS WITH THE CITY OF PORTSMOUTH.
14. ALL PLUMBING FITTINGS AND PIPE MUST BE CERTIFIED LEAD FREE AND SPECIFIED FOR POTABLE USE.



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CITY OF PORTSMOUTH
1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019

GENERAL NOTES

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	NO SCALE
DRAWN BY:	NPA
REVIEWED BY:	TDN

P-1.0

PROJECT PHASE:
ISSUED FOR BID

PLUMBING ABBREVIATIONS

AAV	AIR ADMITTANCE VALVE
ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
BFP	BACK FLOW PREVENTED
BV	BALL OR BALANCING VALVE
CO	CLEAN OUT
CV	CHECK VALVE
CW	COLD WATER
E.C.	ELECTRICAL SUB-CONTRACTOR
FCO	FLOOR CLEAN OUT
FD	FLOOR DRAIN
G.C.	GENERAL CONTRACTOR
HW	HOT WATER
M.C.	MECHANICAL SUB-CONTRACTOR
P.C.	PLUMBING SUB-CONTRACTOR
PRV	PRESSURE REDUCING VALVE
SS	SANITARY SEWER

PLUMBING FIXTURE LEGEND

SYMBOL	DESCRIPTION
	CAPPED PIPE
	FLOOR CLEAN OUT
	ELEVATION CHANGE IN PIPING
	P-TRAP

LINE WEIGHT EXAMPLES

- THIS LINE WEIGHT INDICATES A NEWLY CONSTRUCTED FEATURE.
- THIS LINE WEIGHT INDICATES A FEATURE THAT ALREADY EXISTS.

DOMESTIC WATER PIPE VALVE

SIZE	MAX PRESSURE (PSI)	TYPE	CONSTRUCTION/MATERIAL
1/2" TO 2-1/2"	600	BALL	2 PART/BRASS

DOMESTIC PIPING/FITTINGS SCHEDULE

SIZE	MAX PRESSURE (PSI)	TYPE	CONSTRUCTION/MATERIAL
1/2" TO 2-1/2"	1596 TO 577	L	SEAMLESS DRAWN/COPPER

WASTE PIPING/FITTINGS SCHEDULE

SIZE	CONNECTION TYPE	SCHEDULE	MATERIAL
1-1/2" TO 4"	SOLVENT-CEMENTED & NO-HUB COUPLINGS	40	PVC

MINIMUM PIPE INSULATION THICKNESS FOR ALL PIPE

SIZE	INSULATION THICKNESS
1/2" TO 1-1/2"	1"
1-1/2" TO 2-1/2"	1-1/2"

ASHRAE STANDARD 90.1-2010, SECTION 7.4.3

DOMESTIC HOT WATER (DHW) SCHEDULE

TAG	INPUT (BTU)	HW PRODUCTION (FIRST HOUR)	THERMAL EFFICIENCY	TANK MATERIAL	COMBUSTION TYPE	INLET/OUTLET SIZE (Ø)	VENT SIZE	INPUT (BTU)	POWER	MCOP	MFR.	MODEL NO.
DHW-1	40K TO 160K	265 GAL. @ 100° RISE	96%	STAINLESS STEEL	CONDENSING	Ø-1 1/2"	3"	160K	120VAC, 60HZ	15A	HTP	PH-160-80
DHW-2	40K TO 160K	265 GAL. @ 100° RISE	96%	STAINLESS STEEL	CONDENSING	Ø-1 1/2"	3"	160K	120VAC, 60HZ	15A	HTP	PH-160-80

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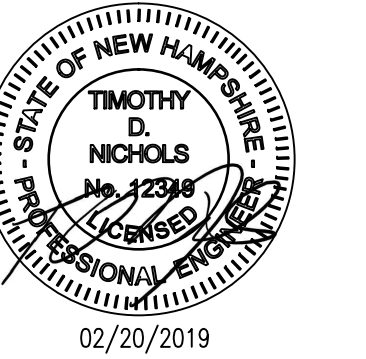


DEMOLITION KEYNOTES

1. SAW-CUT AND REMOVE CONCRETE WITHIN DASHED LINE, REMOVE SOIL TO EXPOSE ALL PIPES WITHIN THE HATCHED REGION.
2. REMOVE ALL PIPE FROM SOUTH WALL TO LAST FITTING WITHIN SAW CUT AREA. SEE ASSOCIATED LEADER FOR VARIANCE. IF REMAINING PIPE IS SMALLER THAN 4" THE PIPE MUST BE CUT BACK TO THE NEAREST 4" FITTING.
3. REMOVE EXISTING 2" DRAIN FROM 4" DRAIN TO JUST INSIDE RM. 17, LEAVING ENOUGH PIPE AVAILABLE FOR CONNECTION DURING CONSTRUCTION. IF WYE BRANCH AT 4" DRAIN IS SMALLER THAN 4", IT MUST BE REMOVED. CONTRACTOR SHALL PROTECT ALL FOUNDATION FOOTINGS INCLUDING INTERIOR CORRIDOR WALLS.
4. REFER TO SHEET P-3.0 FOR NEW DRAIN LOCATIONS AND ADJUST CUT AREA AS NEEDED.
5. EXCAVATE, CUT AND REMOVE 2-1/2" DOMESTIC WATER FEED FROM THE BOILER ROOM TO THE 6" POINT OF SERVICE. REFER TO SHEET P-4.0 DETAIL A FOR LOCATION AND DETAILS.
6. CAP BELOW FINISHED CONCRETE LEVEL.
7. GC SHALL ENSURE ALL OPEN SANITARY DRAINS ARE CAPPED AND SEALED TO PREVENT GASSES FROM ENTERING THE SPACE.
8. EXCAVATE TO EXPOSE PIPES WITHIN THE HATCHED REGIONS. BOTH PIPES SHALL BE EXHUMED FROM THE BUILDING FOOTING TO THEIR RESPECTIVE MAINS AT COTTAGE STREET. HAND TOOLS ARE TO BE USED WHEN IT IS DETERMINED PIPES ARE WITHIN 12" OF THE SURFACE.
9. ENSURE THE WATER HAS BEEN SHUT OFF AT THE STREET BEFORE COMMENCING EXCAVATION.



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CITY OF PORTSMOUTH
1 JUNKINS AVE.

PORTSMOUTH SENIOR ACTIVITY CENTER

125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
No.	DESCRIPTION	DATE
1	75% SUBMISSION	12/15/2017
2	95% SUBMISSION	01/12/2018
3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019

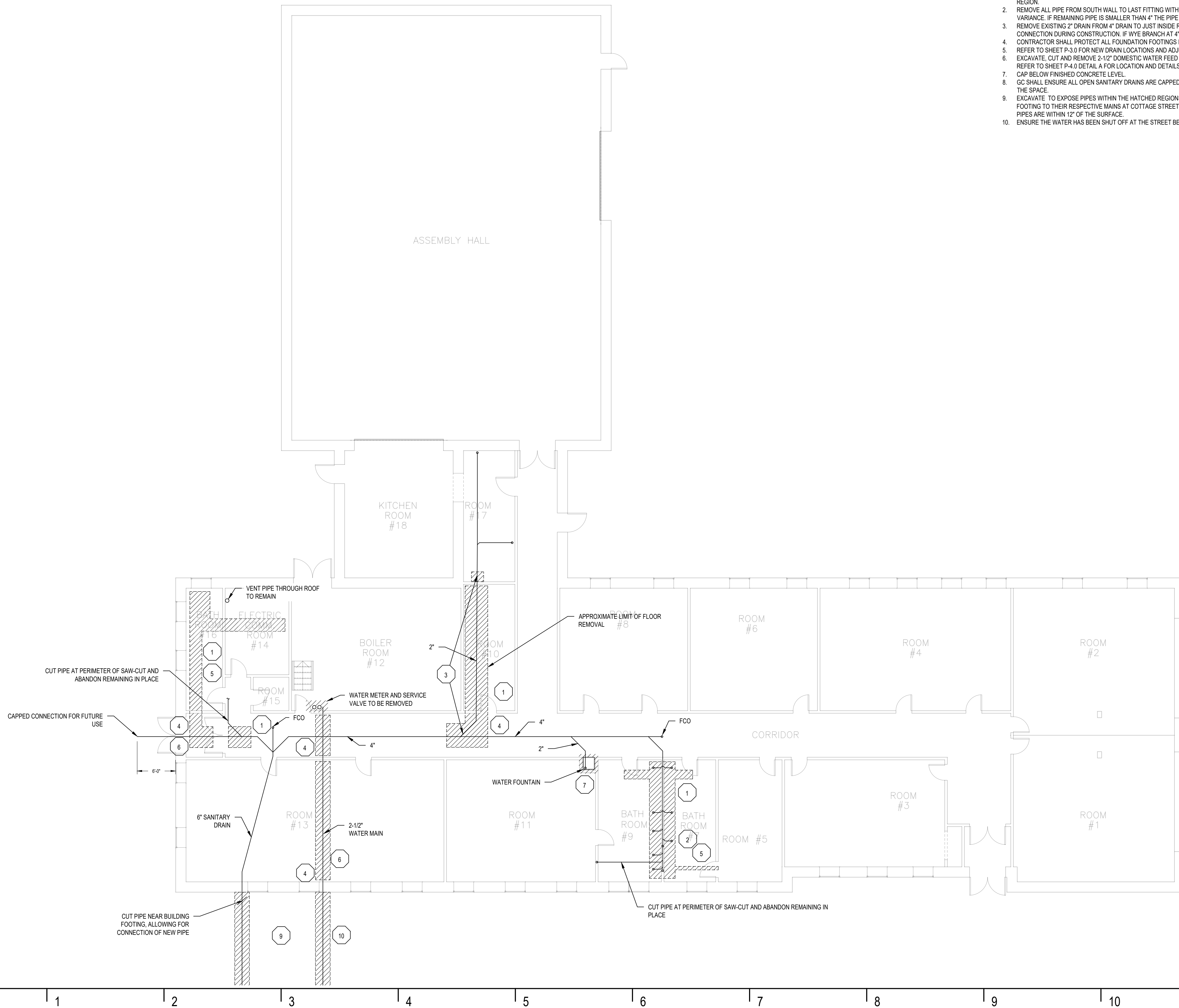


PLUMBING DEMOLITION PLAN

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/8"=1'
DRAWN BY:	NPA
REVIEWED BY:	TDN

P-2.0

PROJECT PHASE:
ISSUED FOR BID



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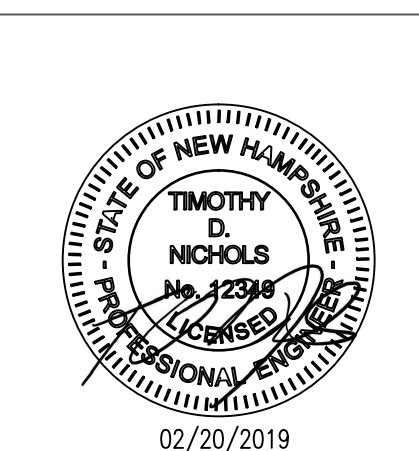
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NEW WORK KEYNOTES

1. REFER TO SHEET P-4.0 DETAIL A FOR NEW WATER FEEDS.
2. CONTRACTOR IS RESPONSIBLE FOR ALL SERVICE EXCAVATION AND PIPING FOR THE MAIN. THE CITY IS RESPONSIBLE FOR THE TAP INTO THE MAIN ONLY.
3. CONTRACTOR SHALL PROTECT ALL FOUNDATION FOOTINGS INCLUDING INTERIOR CORRIDOR WALLS.
4. USE AN AIR ADMITTANCE VALVE UNDER THE COUNTER FOR THIS FIXTURE. REFER TO SHEET P-4.1 DETAIL B.
5. PLACE 4" WYE IN LINE WITH EXISTING 4" SANITARY DRAIN.
6. CAP EXISTING DRAINS BELOW FINISH CONCRETE LEVEL.
7. P-TRAP IN FLOOR FOR FLOOR DRAIN.
8. CONNECT NEW PIPE TO EXISTING SANITARY DRAIN.
9. ALL BRANCHES FOR SHOWER DRAINS TO BE 1-1/2" PVC.
10. REFER TO SHEET P-4.0, DETAILS B, C, AND D FOR DOMESTIC WATER SUPPLY TO PLUMBING FIXTURES.
11. REPLACE 6" SANITARY DRAIN LINE FROM BUILDING TO SANITARY MAIN ON COTTAGE STREET.



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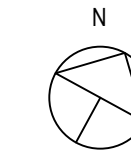


CITY OF PORTSMOUTH
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**PORTSMOUTH
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125 COTTAGE ST.
PORTSMOUTH, NH 03801

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4	ISSUED FOR BID	02/20/2019

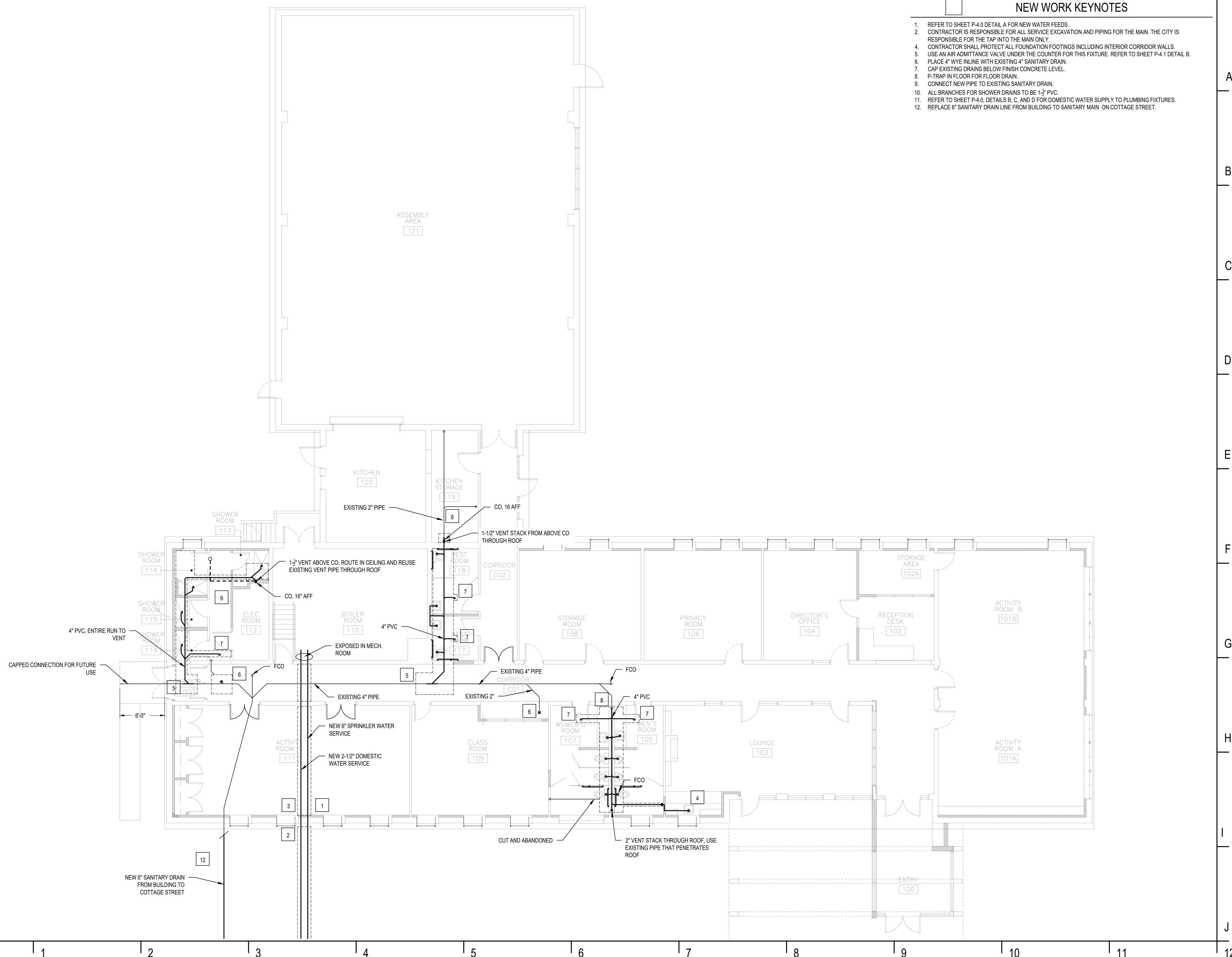


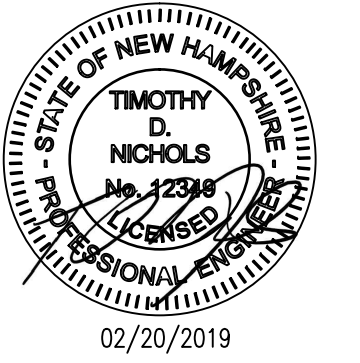
**NEW SANITARY DRAIN
PLUMBING PLAN**

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/8"=1'
DRAWN BY:	NPA
REVIEWED BY:	TDN

P-3.0

PROJECT PHASE:
ISSUED FOR BID



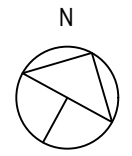


CITY OF PORTSMOUTH
1 JUNKINS AVE.

**PORTSMOUTH
SENIOR ACTIVITY
CENTER**

125 COTTAGE ST.
PORTSMOUTH, NH 03801

REVISIONS		
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3	100% SUBMISSION	02/23/2018
4	ISSUED FOR BID	02/20/2019



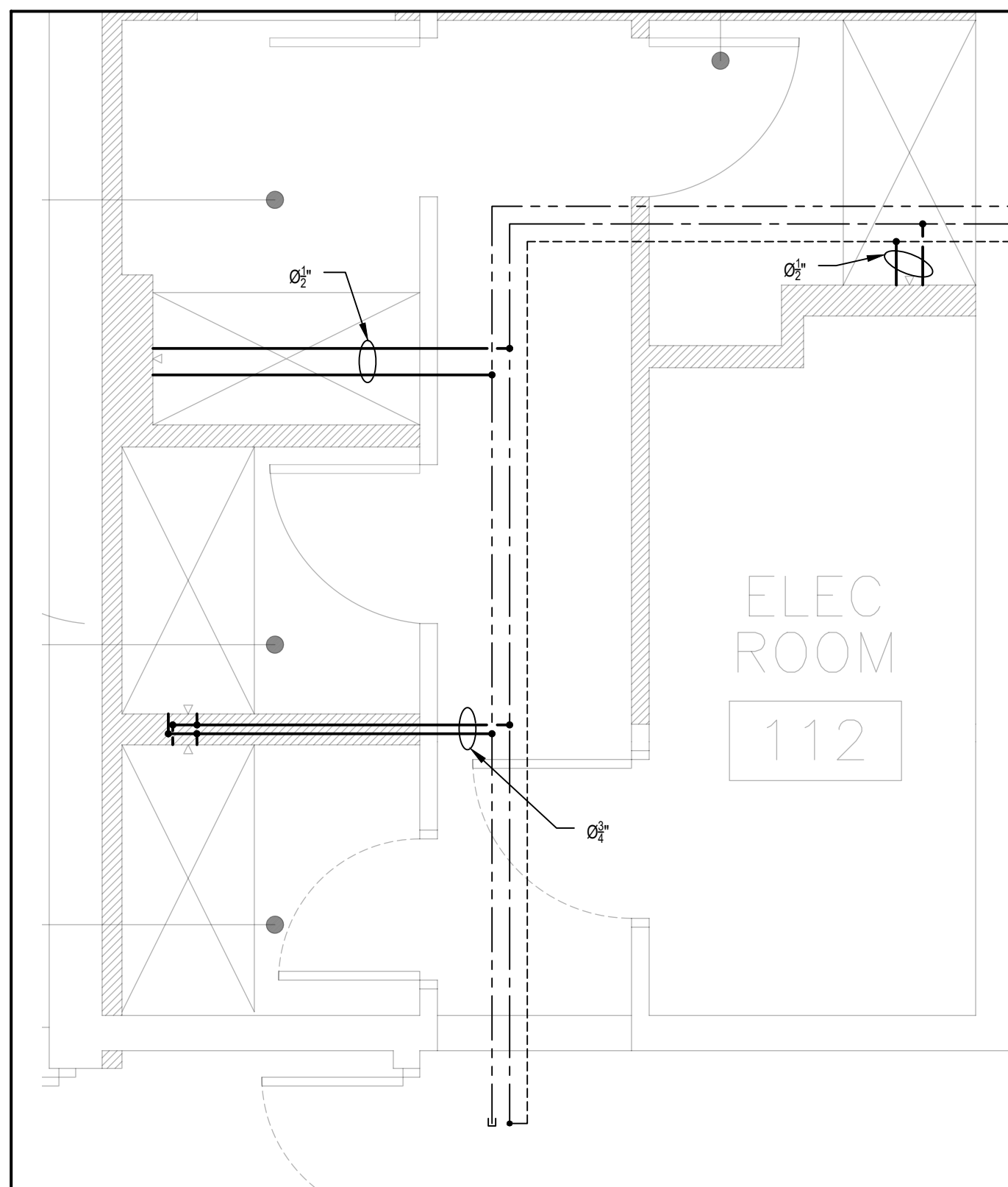
**NEW DOMESTIC SUPPLY
PLUMBING PLAN**

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	1/4" = 1'
DRAWN BY:	NPA
REVIEWED BY:	TDN

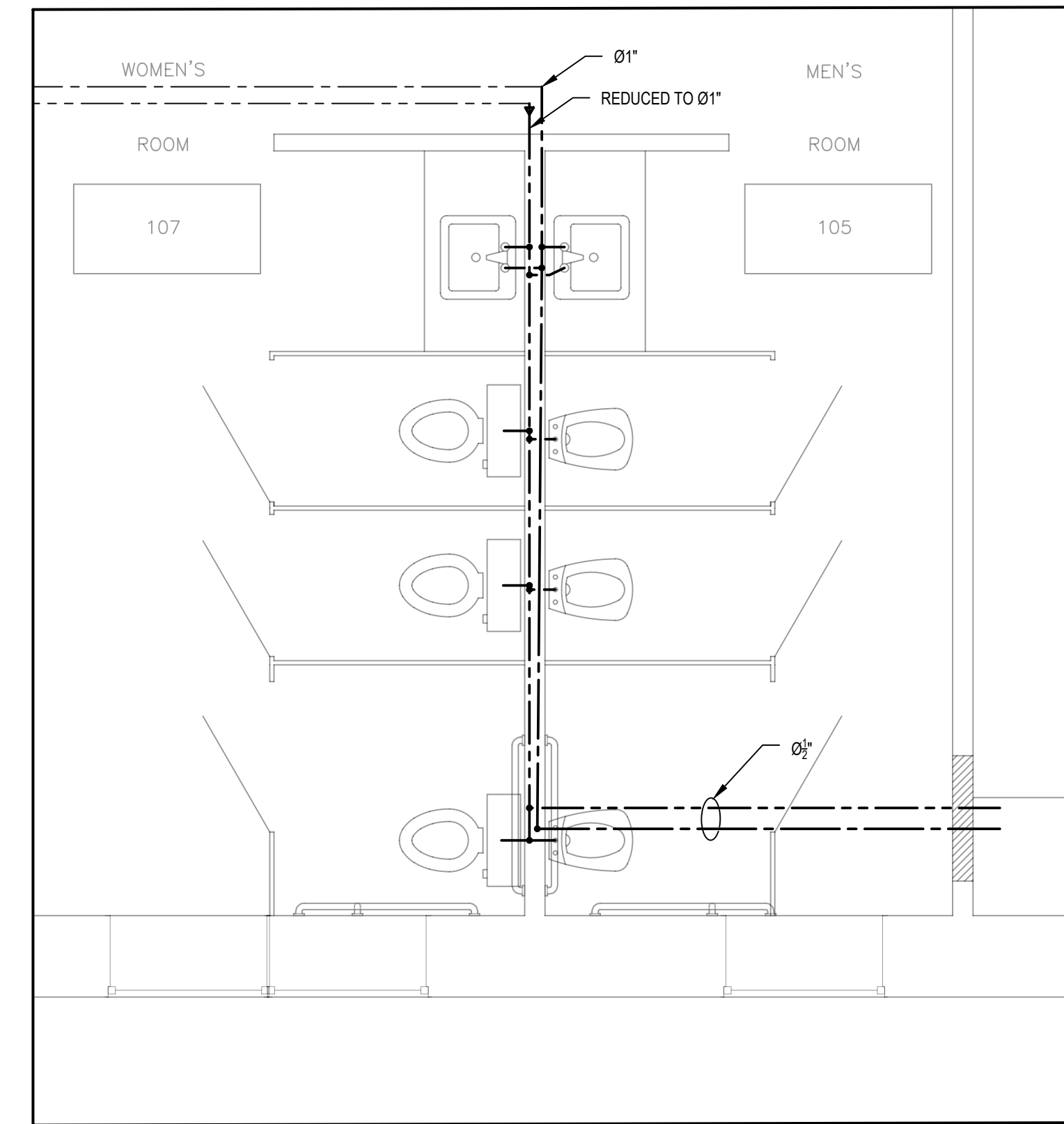
P-3.1

PROJECT PHASE:
ISSUED FOR BID

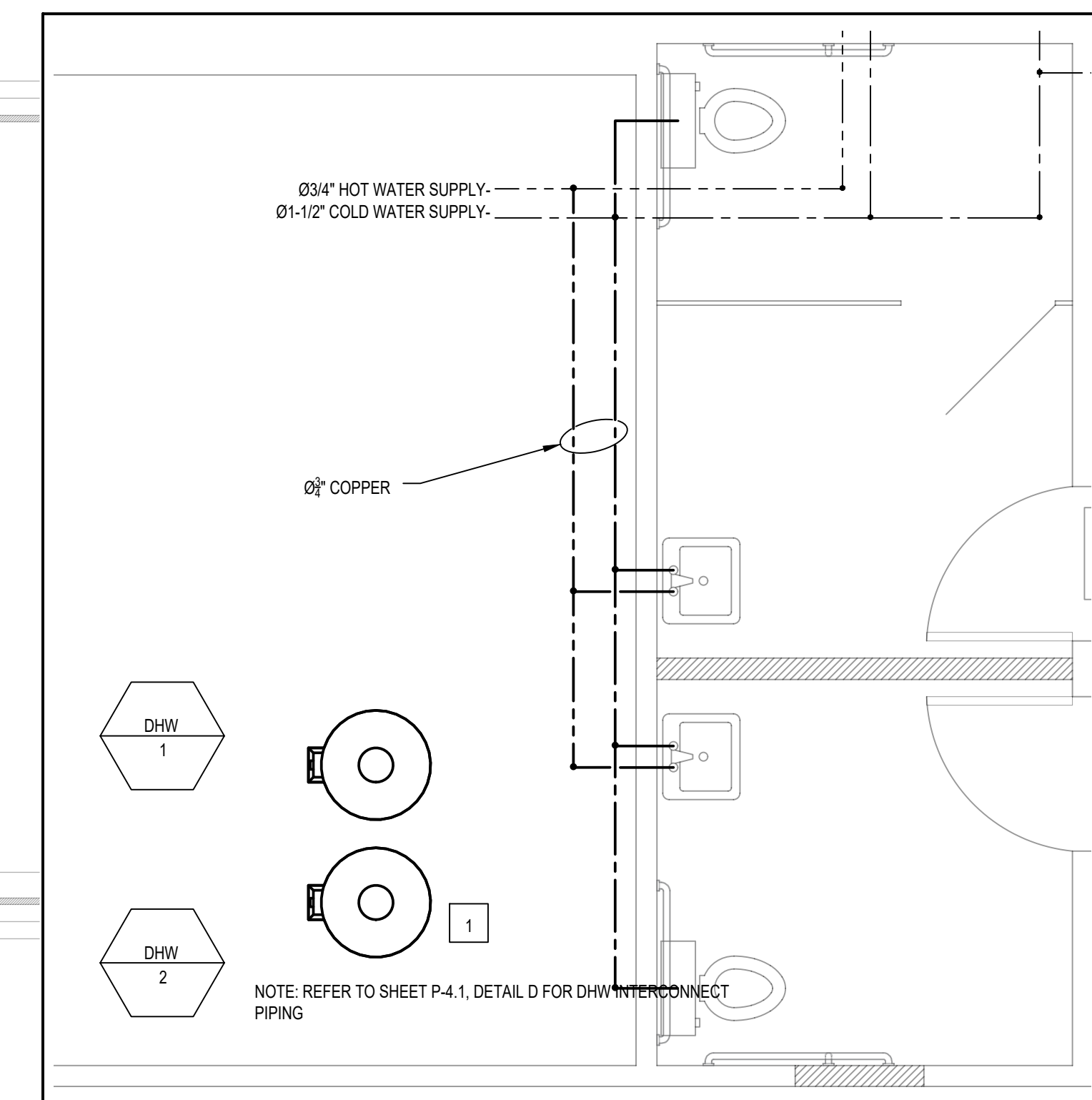
NEW WORK KEYNOTES
1. REFER TO SHEET P-4.0, DETAIL E FOR DHW INTERCONNECT PIPING.



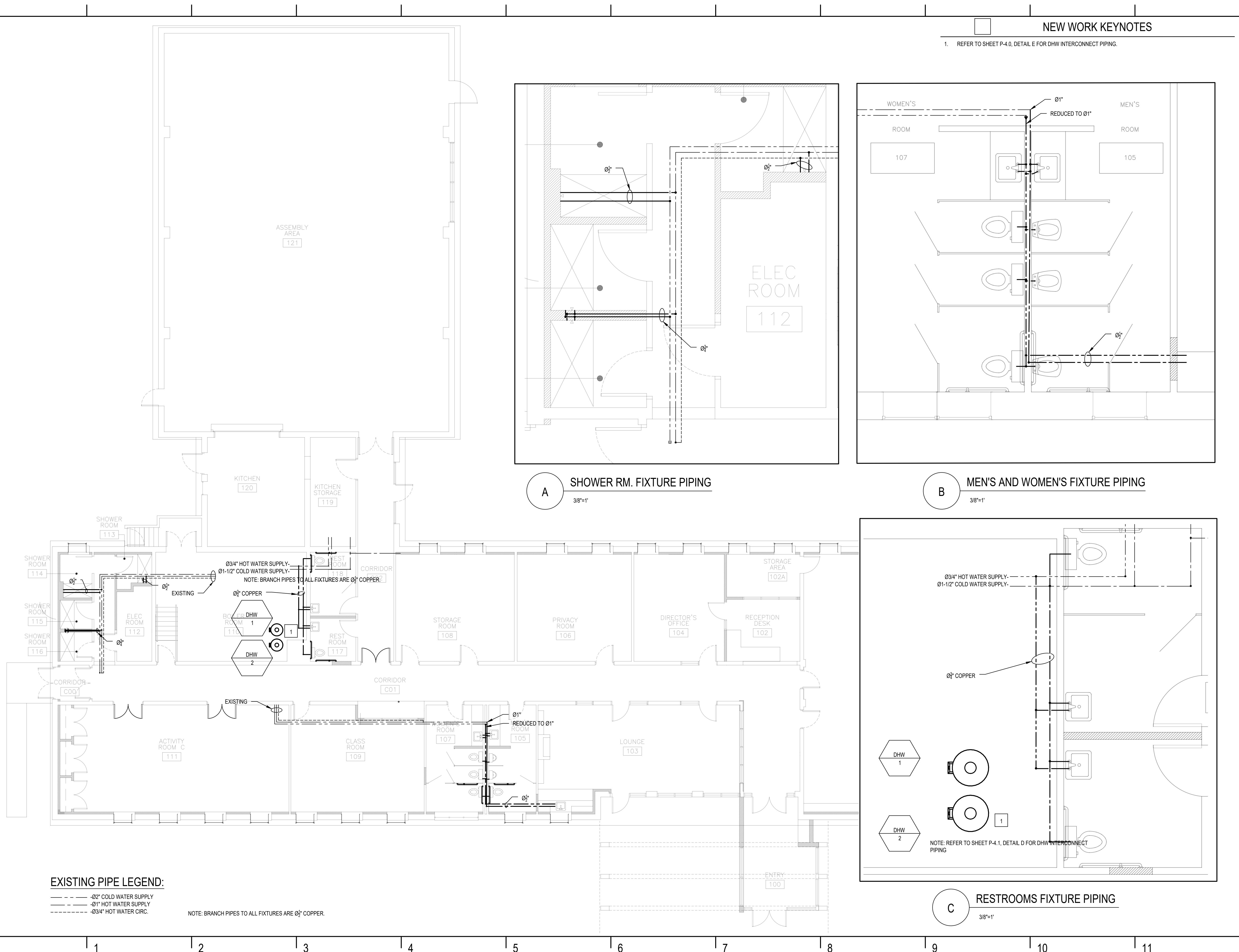
A SHOWER RM. FIXTURE PIPING
3/8"=1'



B MEN'S AND WOMEN'S FIXTURE PIPING
3/8"=1'



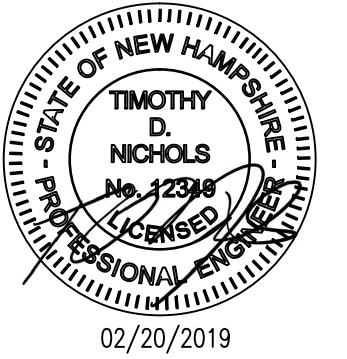
C RESTROOMS FIXTURE PIPING
3/8"=1'



EXISTING PIPE LEGEND:

- 1/2" COLD WATER SUPPLY
- 1/2" HOT WATER SUPPLY
- 3/4" HOT WATER CIRC.

NOTE: BRANCH PIPES TO ALL FIXTURES ARE 1/2" COPPER.



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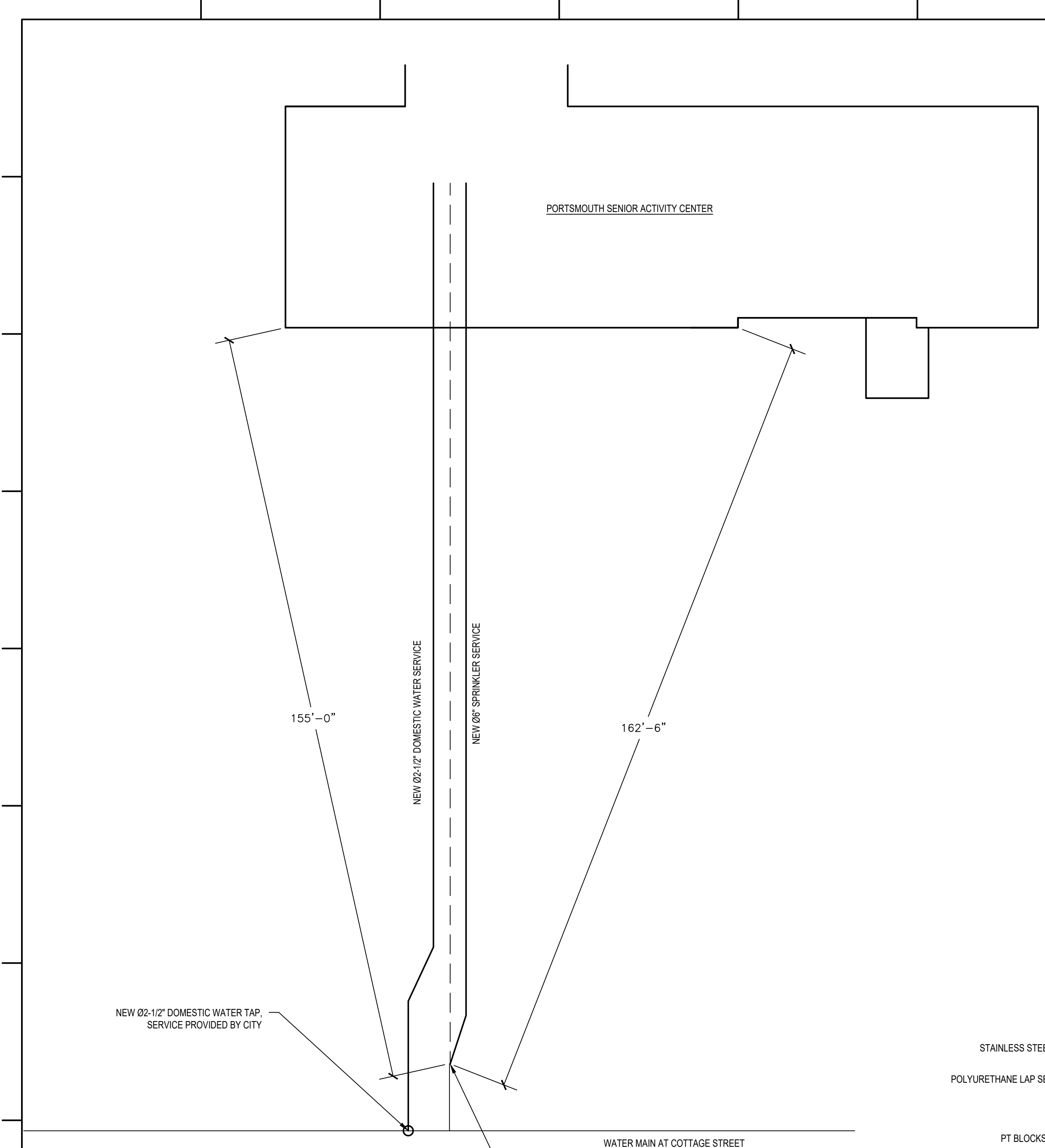
DETAILS

PROJECT NO.:	17002
DATE ISSUED:	02/20/2019
SCALE:	AS NOTED
DRAWN BY:	NPA
REVIEWED BY:	TDN

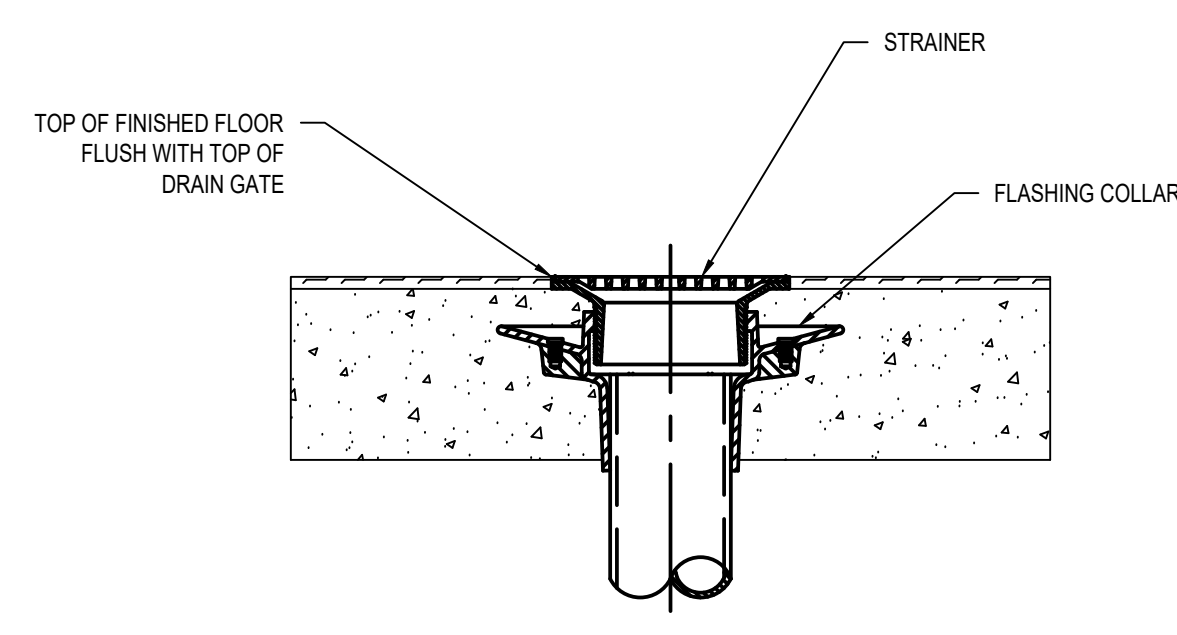
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PROJECT PHASE:
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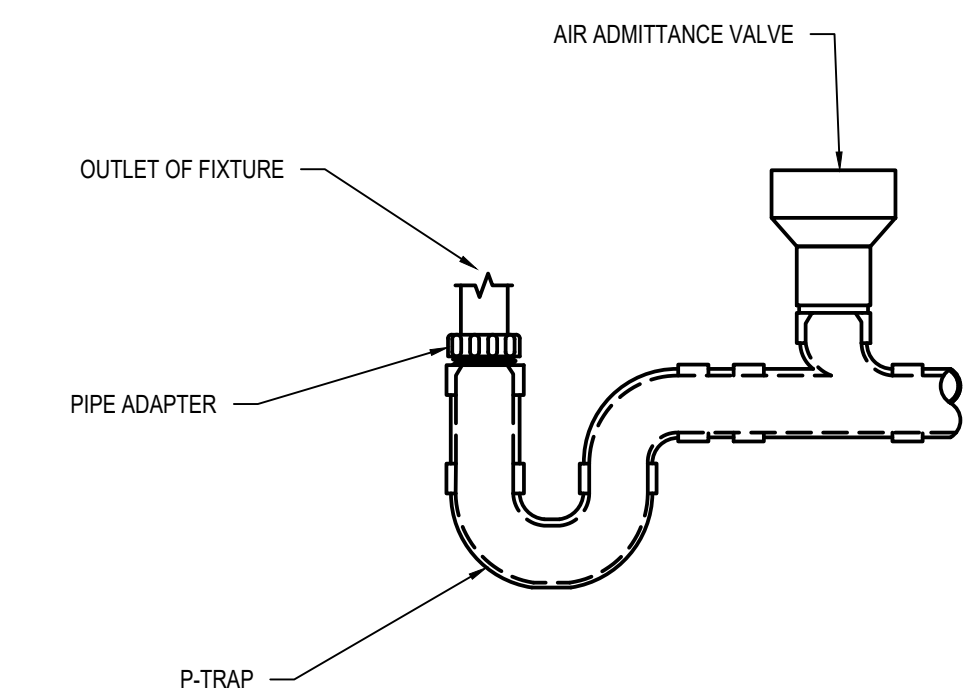
BATHROOM FIXTURES					
UNIT TYPE	MANUFACTURER	MODEL/OPTIONS	FINISH	QUANTITY	LOCATION (ROOM NO.)
RESTROOM SINK FAUCET	KOHLER	K-7517	VIBRANT STAINLESS	4	117, 118, 105, 107
RESTROOM SINK	AMERICAN STANDARD	9024.001EC	WHITE	4	117, 118, 105, 107
MIRROR	BRADLEY	740	STAINLESS	4	117, 118, 105, 107
SOAP DISPENSER	BRADLEY	6543	STAINLESS	4	117, 118, 105, 107
POWER HAND DRYER	BRADLEY	2923-28WOOD	WHITE	4	117, 118, 105, 107
PAPER TOWEL DISPENSER/WASTE RECEPTACLE	BRADLEY	2027	STAINLESS	4	117, 118, 105, 107
TOILET	AMERICAN STANDARD	3461.001 / SELECTRONIC TOUCHLESS VALVE	WHITE	6	(1)117, (1)118, (1)105, (2)107
URINAL	AMERICAN STANDARD	6550.51000	WHITE	2	(2)105
RESTROOM PARTITIONS	BRADLEY	699	NATURAL CANVAS	REFER TO DESIGN	105, 107
SIGHT AND URINAL SCREEN	BRADLEY	700	NATURAL CANVAS	1	105
TOILET PAPER DISPENSER	BRADLEY	5123	BRIGHT POLISHED STAINLESS STEEL	6	(1)117, (1)118, (1)105, (3)107
NAPKIN DISPOSAL	BRADLEY	4781-11	SATIN FINISH	6	(1)117, (1)118, (1)105, (3)107
SEAT COVER DISPENSER	BRADLEY	582	STAINLESS	6	(1)117, (1)118, (1)105, (3)107
BABY CHANGING STATION	BRADLEY	962	STAINLESS	2	117, 118
SHOWER VALVE/TRIMHEAD	KOHLER	K-TS45106-4 / KP304	VIBRANT BRUSHED NICKEL	4	113, 114, 115, 116
SOAP DISH	BRADLEY	900	STAINLESS	4	113, 114, 115, 116
PHENOLIC SHOWER SEAT	BRADLEY	9591	STAINLESS/WHITE	4	113, 114, 115, 116
SHOWER CURTAIN ROD	BRADLEY	9531	STAINLESS	4	113, 114, 115, 116
GRAB BAR	BRADLEY	817	STAINLESS	10	(1)113, (1)114, (1)115, (1)116, (2)117, (2)118, (1)105, (1)107



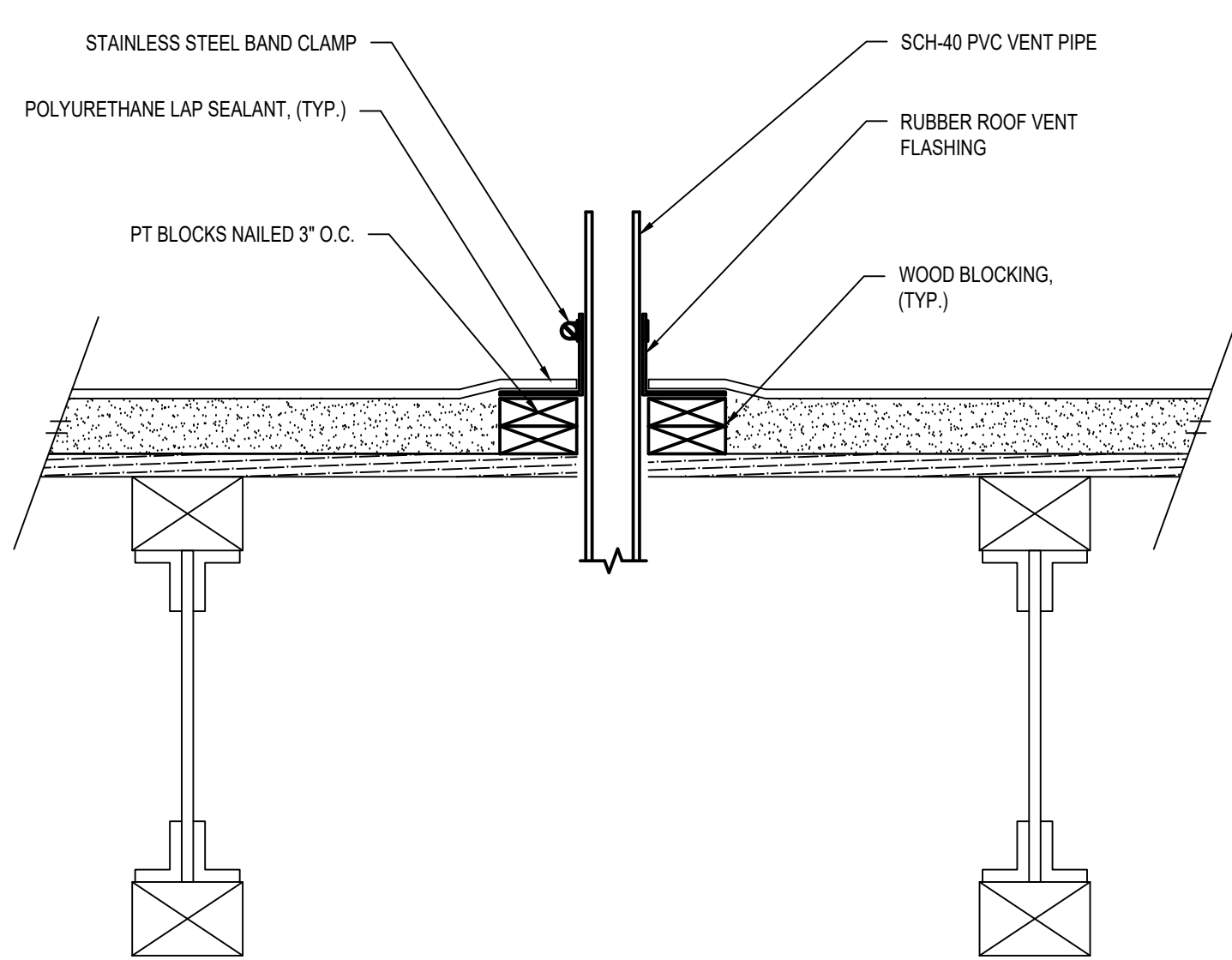
A WATER SERVICE PLAN
1/16"=1'



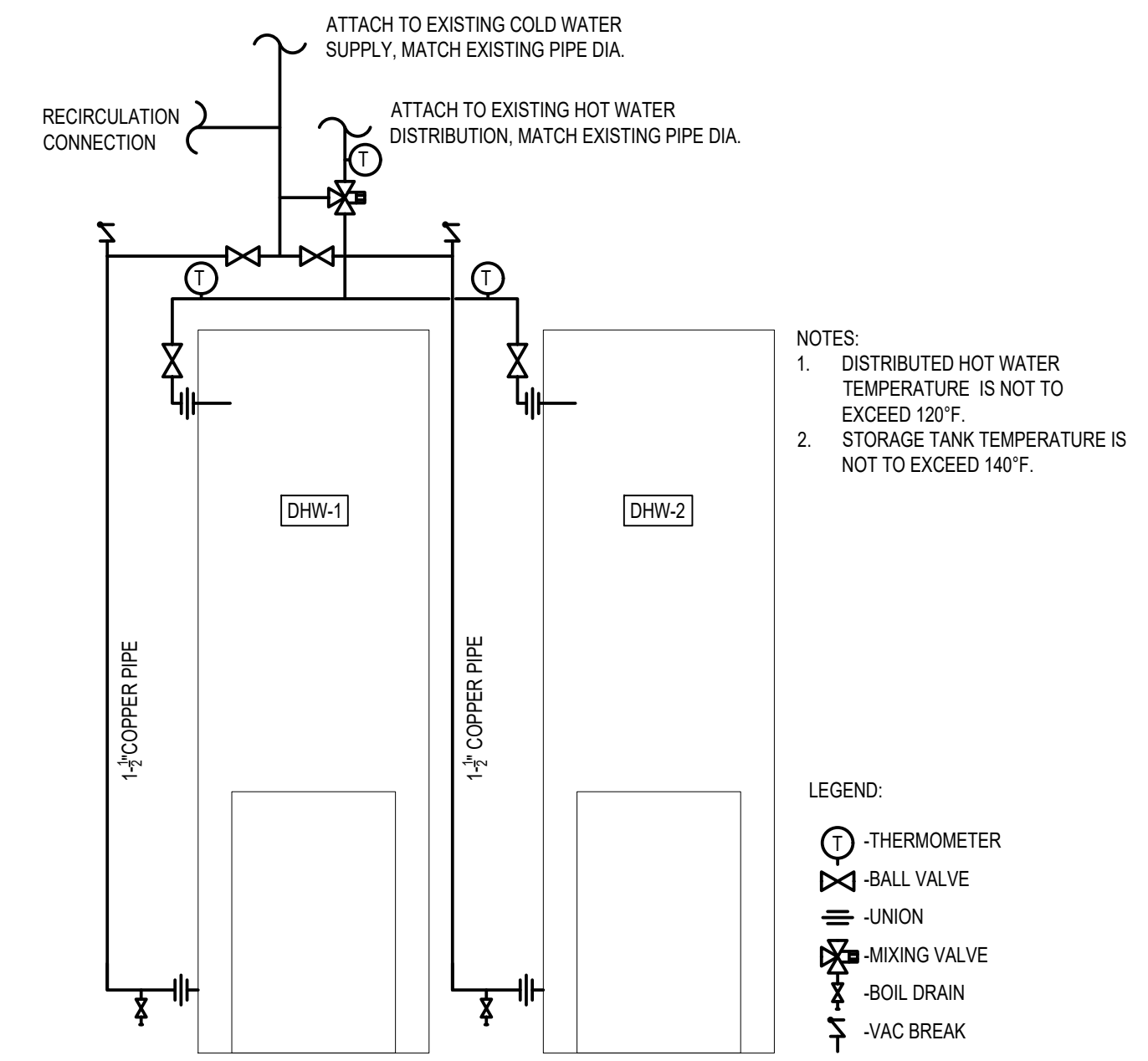
B FLOOR DRAIN (TYP.)
NOT TO SCALE



C AIR ADMITTANCE VALVE (TYP.)
NOT TO SCALE



D PLUMBING ROOF VENT/DHW COMBUSTION AIR, FLASHING (TYP.)
NOT TO SCALE



E DHW INTERCONNECT PLAN
NOT TO SCALE

- NOTES:
- DISTRIBUTED HOT WATER TEMPERATURE IS NOT TO EXCEED 120°F.
 - STORAGE TANK TEMPERATURE IS NOT TO EXCEED 140°F.

- LEGEND:
- THERMOMETER
 - BALL VALVE
 - UNION
 - MIXING VALVE
 - BOIL DRAIN
 - VAC BREAK