

PORTSMOUTH CITY HALL SIGNAGE



CONSTRUCTION SET 5/5/2023



273 CORPORATE DRIVE
PORTSMOUTH, NH 03801
T 603.436.2551
www.jsainc.com

Welch Sign
Signage/Wayfinding Consultant
7 Lincoln Ave.
Scarborough, ME 04074

PORTSMOUTH CITY
HALL SIGNAGE
1 Junkins Ave
Portsmouth, NH 03801

CITY OF PORTSMOUTH



Date: 5/5/2023
Project Number: 22-234.00

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NO.	DESCRIPTION	DATE

CONSTRUCTION SET

COVER SHEET

T.01

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GENERAL ABBREVIATIONS	
#	POUND OR NUMBER
&	AND
<	ANGLE
@	AT
CL	CENTERLINE
ACAS	ACCESSIBLE AISLE
ACOUS	ACOUSTICAL
ACSP	ACCESSIBLE SPACE
ACT	ACOUSTICAL CEILING TILE
ADJ	ADJUSTABLE
ADJC	ADJACENT
AFF	ABOVE FINISH FLOOR
AGGR	AGGREGATE
ALUM	ALUMINUM
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT
AUD	AUDITORIUM
BD	BOARD
BITUM	BITUMINOUS
BLD	BOLLARD
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BOD	BOTTOM OF ROOF DECK
BOT	BOTTOM
CAB	CABINET
CB	CATCH BASIN
CEM	CEMENT
CER	CERAMIC
CI	CAST IRON
CJ	CONTROL JOINT
CLAD	CLADDING
CLG	CEILING
CLO	CLOSET
CLR	CLEAR
CO	CASED OPENING
COL	COLUMN
COMP	COMPRESSIBLE
CONC	CONCRETE
CONJ	CONNECTION
CONSTR	CONSTRUCTION
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
CTSK	COUNTERSUNK
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DN	DOWN
DO	DOOR OPENING
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DWG	DRAWING
DWR	DRAWER
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
EP	ELECTRICAL PANELBOARD
EQ	EQUAL
EOPM	EQUIPMENT
ESB	EXTERIOR SOFFIT BOARD
EW	ELECTRIC WATER COOLER
EXP	EXPANSION
EXPO	EXPOSED
EXT	EXISTING
EXT	EXTERIOR
FA	FIRE ALARM
FD	FLOOR DRAIN
FDC	FIRE DEPARTMENT CONNECTION
FDN	FOUNDATION

GENERAL ABBREVIATIONS	
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FHC	FIRE HOSE CABINET
FIN	FINISH
FL	FLOOR
FLSH	FLASHING
FLUOR	FLUORESCENT
FM	FLOOR MAT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
FR	FIRE RATED
FRP	FIBERGLASS REINFORCED
FRPF	FIREPROOF
FRT	FIRE RETARDANT TREATED
FS	FULL SIZE
FT	FOOT OR FEET
FTG	FOOTING
FUR	FURRING
FUT	FUTURE
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLASS
GL BLK	GLASS BLOCK
GND	GROUND
GR	GRADE
GRT	GRATE
GWB	GYPSUM WALL BOARD
GYP	GYPSUM
HB	HOSE BIB
HC	HOLLOW CORE
HDCP	HANDICAPPED
HDWD	HARDWOOD
HDWE	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR CLOSET
JT	JOINT
LBE	LOAD BEARING ELEMENT
LCC	LEAD COATED COPPER
LH	LEFT HAND
LKR	LOCKER
LP	LOW POINT
LT	LIGHT
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MEMB	MEMBRANE
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
MTD	MOUNTED
MTL	METAL
MUL	MULLION
N	NORTH
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFF	OFFICE
OFI	OWNER FURNISHED OWNER INSTALLED
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OVHD	OVERHEAD
PART	PARTITION
PC	PRECAST
PEP	PROCELAIN ENAMEL PANEL

GENERAL ABBREVIATIONS	
PERF	PERFORATED
PL	PLATE
PLAS	PLASTER
PLYWD	PLYWOOD
POL	POLISHED
POLY	POLYETHYLENE
PR	PAIR
PT	PRESSURE TREATED
PTD	PAINTED
QT	QUARRY TILE
R	RISER
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REINF	REINFORCED
REM	REMOVE
RECD	REQUIRED
RESIL	RESILIENT
REV	REVISION
RH	RIGHT HAND
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RTU	ROOF TOP UNIT
S	SOUTH
SAFB	SOUND ATTENUATION FIRE BLANKET
SCHED	SCHEDULE
SECT	SECTION
SG	SOUND GASKET
SH	SHELF
SHT	SHEET
SIM	SIMILAR
SOH	SIMILAR OPPOSITE HAND
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYS	SYSTEM
TEL	TELEPHONE
TER	TERRAZZO
THK	THICK
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNF	UNFINISHED
UON	UNLESS OTHERWISE NOTED
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VEN	VENER
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VWC	VINYL WALL COVERING
W	WEST
W/	WITH
W/O	WITHOUT
WD	WOOD
WH	WALL HUNG
WID	WIDTH
WP	WATERPROOF
WT	WEIGHT

DRAFTING SYMBOLS	
Room name	AREA TAG
150 SF	
Room name	ROOM TAG
101	
101	DOOR TAG
AA	WINDOW TAG
IS	WALL TAG
0.0	GRID LINES AND BUBBLES
1 SIM A101	BUILDING SECTION
1 SIM A101	
1 SIM A101	WALL SECTION
1 SIM A101	DETAIL
1 SIM A101	CALLOUT
A201 1	EXTERIOR ELEVATION
4 AS012 3	INTERIOR ELEVATION
LEVEL 1 0'-0"	DATUM/SPOT ELEVATION
A1 View Name	TITLE MARK
N	NORTH ARROW
26'-0"	

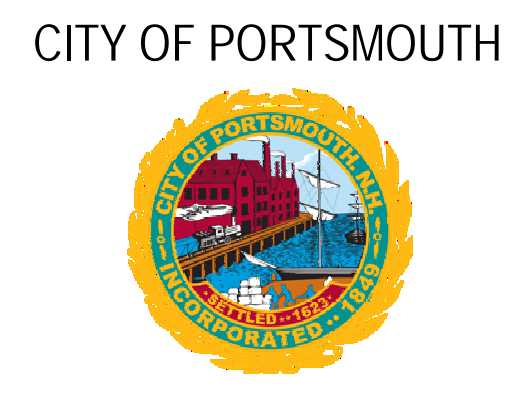
SHEET LIST - CONSTRUCTION SET		
SHEET NO.	NAME	Construction Set
COVER SHEETS		
T.01	COVER SHEET	-
T.02	DRAWING INDEX, NOTES AND SYMBOLS	-
DEMOLITION PLANS		
ID1.01	SECOND FLOOR DEMO PLAN	-
ID1 - PLANS		
ID1.01	SECOND FLOOR PLAN	-
ID11 - REFLECTED CEILING PLAN		
ID1.1	SECOND FLOOR REFLECTED CEILING PLAN	-
ID50 - INTERIOR ELEVATIONS		
ID5.0	INTERIOR ELEVATIONS & MILLWORK DETAILS	-



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CONSTRUCTION SET
DRAWING INDEX,
NOTES AND
SYMBOLS

T.02

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CONSTRUCTION SET

SECOND FLOOR
DEMO PLAN

IDD1.01

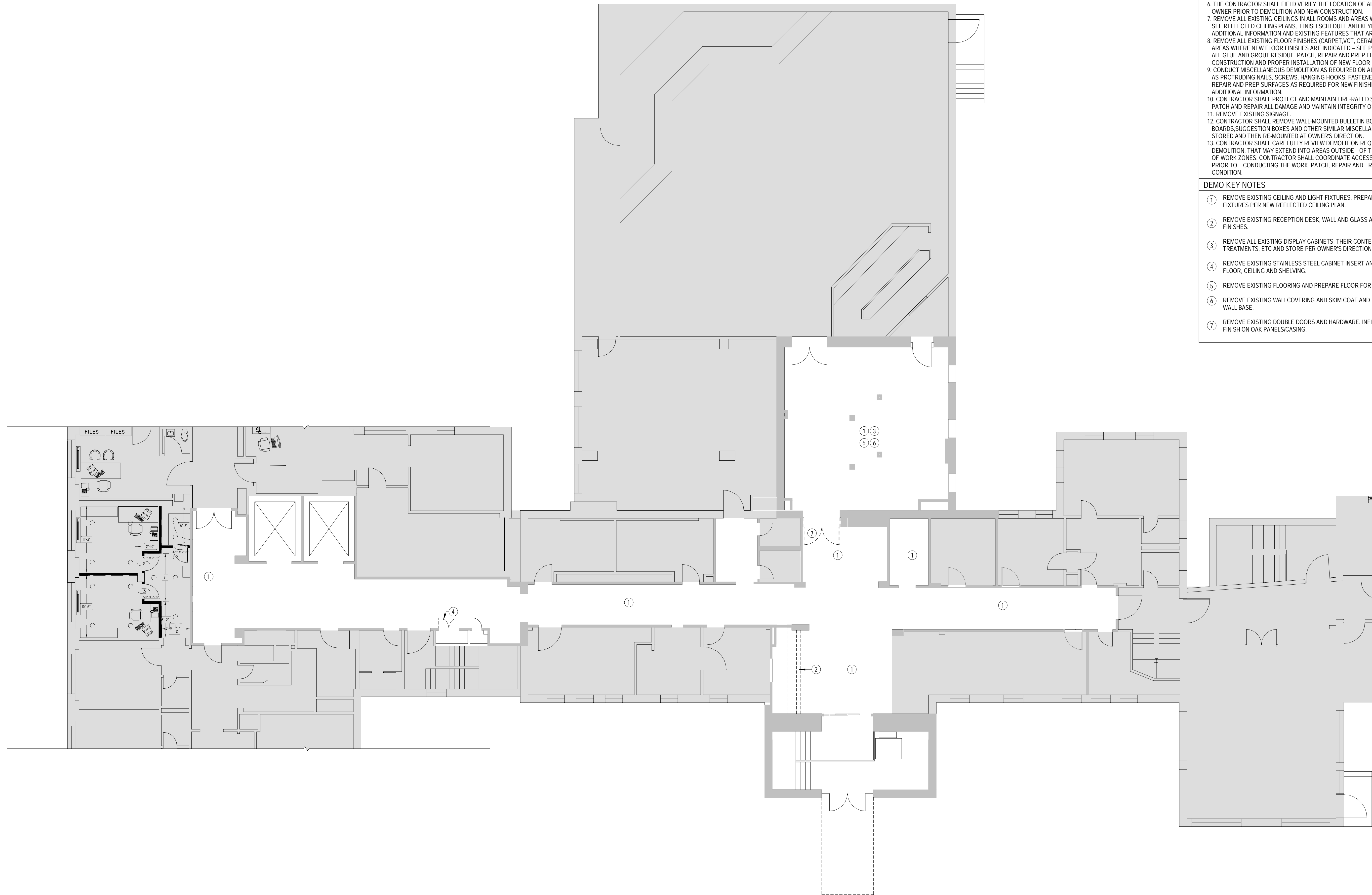
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GENERAL DEMO NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ALL BUILDING AND SITE DAMAGE CAUSED BY DEMOLITION AND NEW CONSTRUCTION.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS, CONDITIONS, MATERIALS AND CLEARANCE DISCREPANCIES. CONFLICTS SHALL BE REPORTED TO THE ARCHITECT.
3. THE CONTRACTOR SHALL REPORT ALL EXISTING DAMAGE AND DETERIORATION TO THE OWNER AND ARCHITECT IN WRITING PRIOR TO BEGINNING OF DEMOLITION AND NEW CONSTRUCTION.
4. THE CONTRACTOR SHALL REFER TO THE DRAWINGS FOR NEW CONSTRUCTION AND COORDINATE/VERIFY THE EXACT REQUIRED EXTENTS OF DEMOLITION. CONFLICTS AND DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
5. THE CONTRACTOR SHALL CONTACT THE OWNER AND COORDINATE ALL EXISTING WARRANTY ISSUES PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
6. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE OWNER PRIOR TO DEMOLITION AND NEW CONSTRUCTION.
7. REMOVE ALL EXISTING CEILINGS IN ALL ROOMS AND AREAS WHERE NEW CEILINGS ARE INDICATED - SEE REFLECTED CEILING PLANS. FINISH SCHEDULE AND KEY DEMOLITION NOTES FOR ADDITIONAL INFORMATION AND EXISTING FEATURES THAT ARE TO REMAIN AND BE RE-USED.
8. REMOVE ALL EXISTING FLOOR FINISHES (CARPET, VCT, CERAMIC TILE, ETC.) IN ALL ROOMS AND AREAS WHERE NEW FLOOR FINISHES ARE INDICATED - SEE PLANS AND FINISH SCHEDULE. REMOVE ALL GLUE AND GROUT RESIDUE. PATCH, REPAIR AND PREP FLOORS AS REQUIRED FOR NEW CONSTRUCTION AND PROPER INSTALLATION OF NEW FLOOR FINISHES.
9. CONDUCT MISCELLANEOUS DEMOLITION AS REQUIRED ON ALL SURFACES TO REMOVE ITEMS SUCH AS PROTRUDING NAILS, SCREWS, HANGING HOOKS, FASTENERS, TAPE AND WALLPAPER. PATCH, REPAIR AND PREP SURFACES AS REQUIRED FOR NEW FINISHES. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
10. CONTRACTOR SHALL PROTECT AND MAINTAIN FIRE-RATED SPRAY-ON MATERIAL ON ALL STEEL. PATCH AND REPAIR ALL DAMAGE AND MAINTAIN INTEGRITY OF FIRE PROTECTION.
11. REMOVE EXISTING SIGNAGE.
12. CONTRACTOR SHALL REMOVE WALL-MOUNTED BULLETIN BOARDS, ART WORK, MARKER BOARDS, SUGGESTION BOXES AND OTHER SIMILAR MISCELLANEOUS ITEMS. ALL ITEMS TO BE STORED AND THEN RE-MOUNTED AT OWNER'S DIRECTION.
13. CONTRACTOR SHALL CAREFULLY REVIEW DEMOLITION REQUIREMENTS, INCLUDING MEP DEMOLITION THAT MAY EXTEND INTO AREAS OUTSIDE OF THE SCOPE OF THE DESIGNATED SCOPE OF WORK ZONES. CONTRACTOR SHALL COORDINATE ACCESS INTO SUCH SPACES WITH OWNER PRIOR TO CONDUCTING THE WORK. PATCH, REPAIR AND RESTORE ANY DAMAGE TO AS-FOUND CONDITION.

DEMO KEY NOTES

- 1 REMOVE EXISTING CEILING AND LIGHT FIXTURES. PREPARE AREA FOR NEW CEILING AND LIGHT FIXTURES PER NEW REFLECTED CEILING PLAN.
- 2 REMOVE EXISTING RECEPTION DESK, WALL AND GLASS ABOVE. PREPARE AREA FOR NEW FINISHES.
- 3 REMOVE ALL EXISTING DISPLAY CABINETS, THEIR CONTENTS, FURNITURE, ARTWORK, WINDOW TREATMENTS, ETC AND STORE PER OWNER'S DIRECTION.
- 4 REMOVE EXISTING STAINLESS STEEL CABINET INSERT AND PREPARE AREA FOR NEW DOOR, FLOOR, CEILING AND SHELVING.
- 5 REMOVE EXISTING FLOORING AND PREPARE FLOOR FOR NEW CARPET TILE.
- 6 REMOVE EXISTING WALLCOVERING AND SKIM COAT AND PREP WALLS FOR PAINTING AND NEW WALL BASE.
- 7 REMOVE EXISTING DOUBLE DOORS AND HARDWARE. INFILL HOLES, SAND AND PREP FOR PAINT FINISH ON OAK PANEL CASING.



1 SECOND FLOOR - 1/8" DEMO FLOOR PLAN
1/8" = 1'-0"

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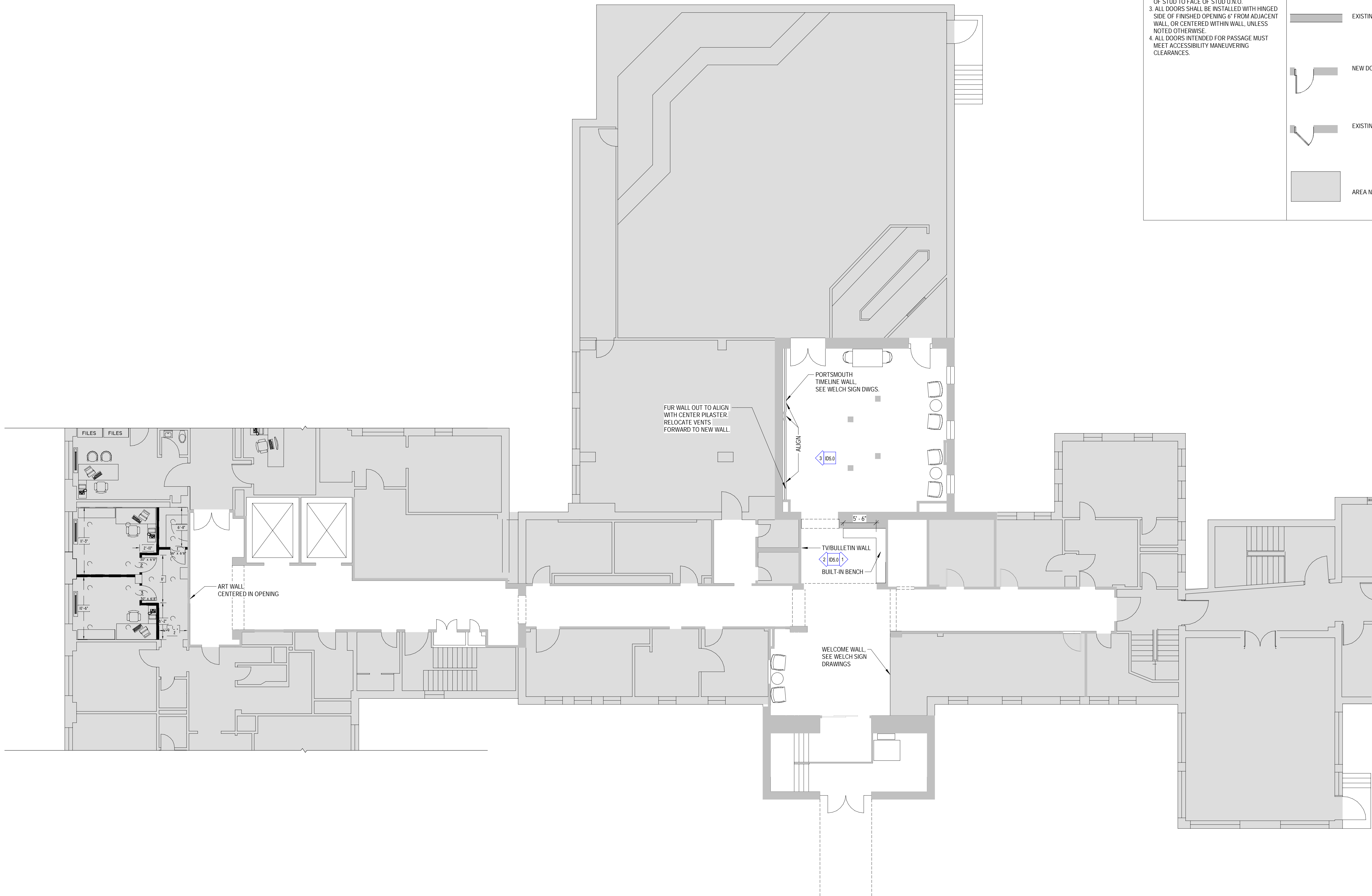
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SECOND FLOOR
 PLAN

ID1.01

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GENERAL PLAN NOTES	PLAN LEGEND
1. GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DRAWINGS.	NEW WALL
2. INTERIOR DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD U.N.O.	EXISTING WALL TO REMAIN
3. ALL DOORS SHALL BE INSTALLED WITH HINGED SIDE OF FINISHED OPENING 6" FROM ADJACENT WALL, OR CENTERED WITHIN WALL, UNLESS NOTED OTHERWISE.	NEW DOOR
4. ALL DOORS INTENDED FOR PASSAGE MUST MEET ACCESSIBILITY MANEUVERING CLEARANCES.	EXISTING DOOR TO REMAIN
	AREA NOT IN SCOPE



1 SECOND FLOOR - 1/8" FLOOR PLAN
 1/8" = 1'-0"

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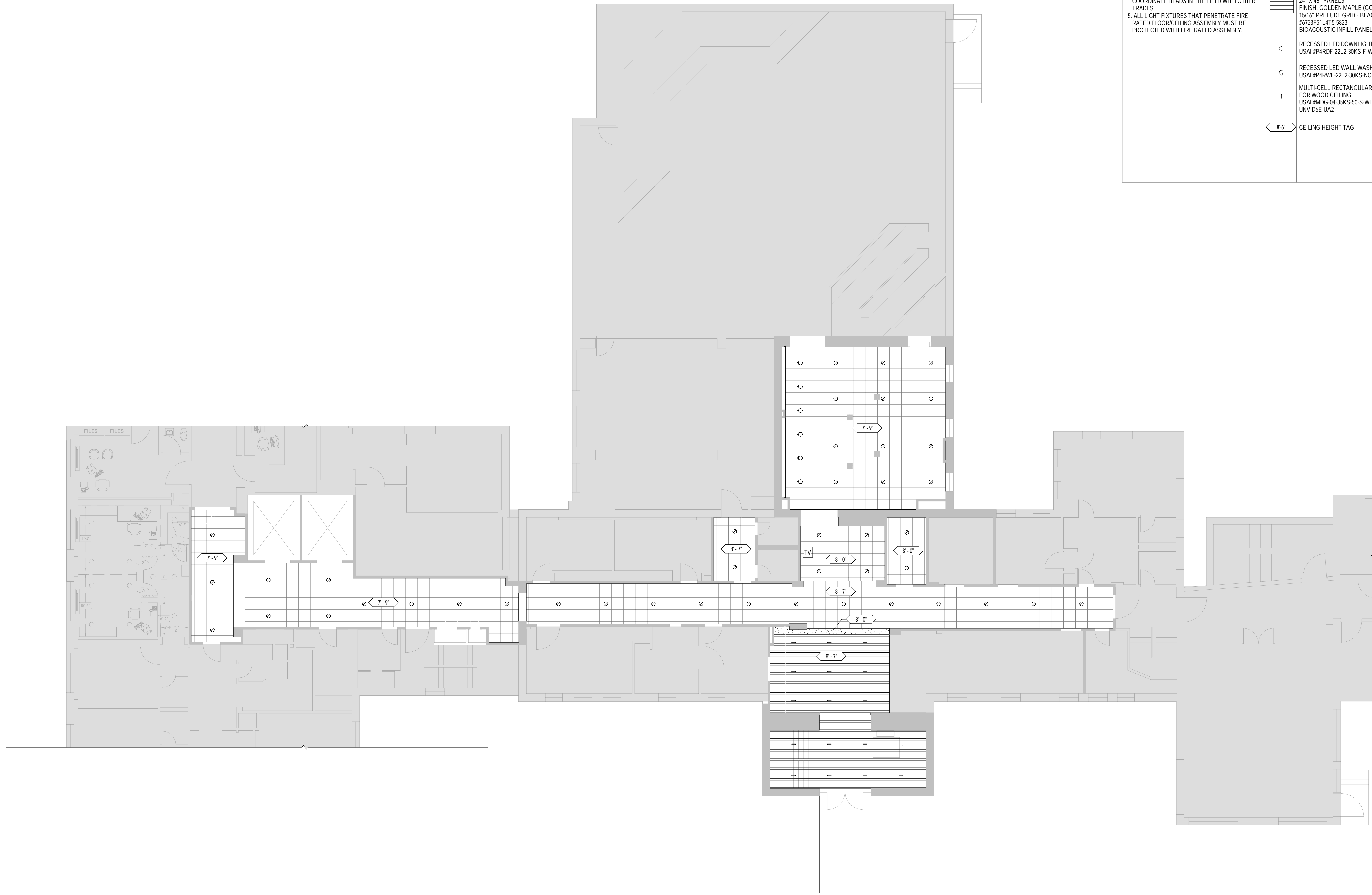
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CONSTRUCTION SET
 SECOND FLOOR
 REFLECTED
 CEILING PLAN

ID1.1

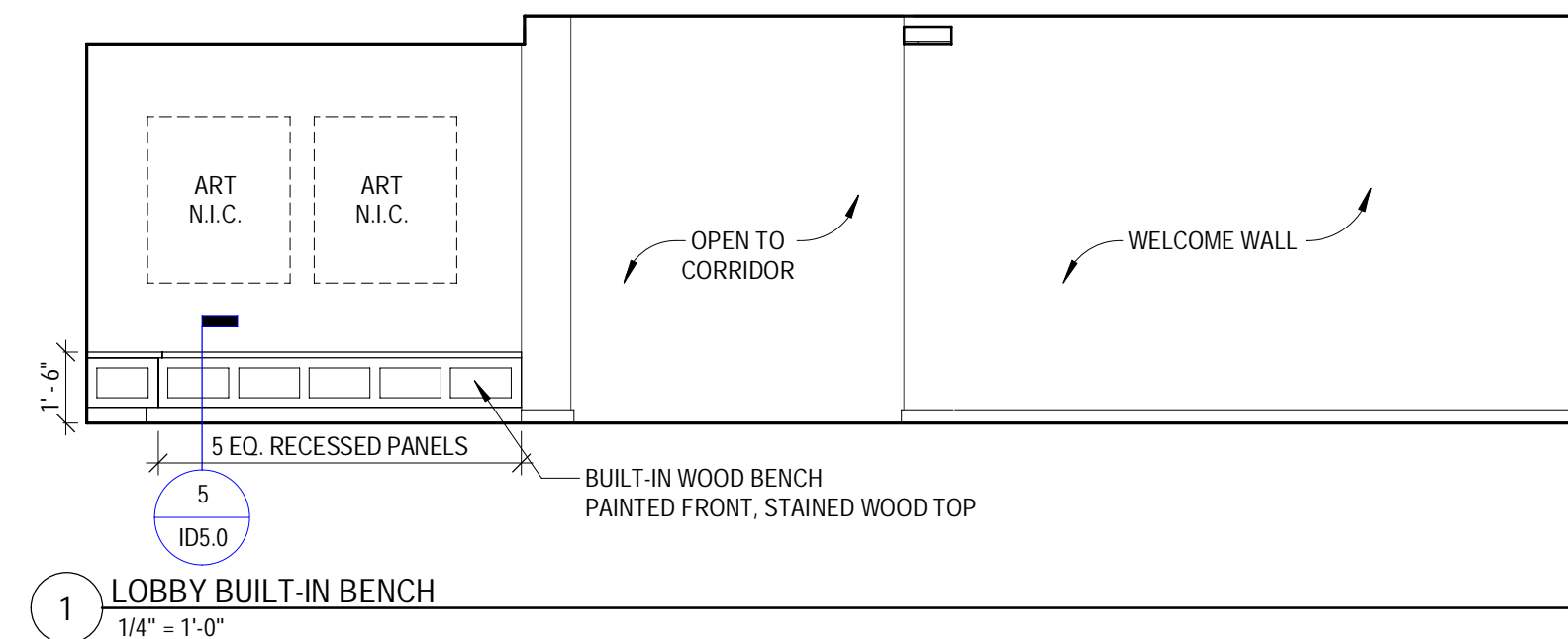
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GENERAL RCP NOTES	REFLECTED CEILING PLAN LEGEND
1. CENTER ALL SINGLE LIGHT FIXTURES WITHIN THE ROOM.	2x2' BEVELED REGULAR ACOUSTICAL CEILING TILE - TO MATCH PORTSMOUTH CITY HALL STANDARD
2. MECHANICAL AND ELECTRICAL EQUIPMENT SHOWN ON RCP'S ARE FOR LOCATION AND COORDINATION ONLY.	PTD GWB CEILING, SHERWIN WILLIAMS #SN7757 HIGH REFLECTIVE WHITE, FLAT FINISH
3. PLACEMENT AND LOCATION OF EQUIPMENT AS FOLLOWS: LIGHT FIXTURES CENTERED IN ACT PANELS. CENTER REGISTERS, DIFFUSERS, EXIT LIGHTS, AND SMOKE DETECTORS IN TILE PANEL.	ARMSTRONG WOODWORKS GRILLE REGULAR CEILING 24" X 48" PANELS FINISH: GOLDEN MAPLE (GGM) 1516" PRELUDE GRID - BLACK #6723F51L4T5-5823 BIOACOUSTIC INFILL PANEL - BLACK
4. EXISTING SPRINKLER HEADS ARE NOT SHOWN. COORDINATE HEADS IN THE FIELD WITH OTHER TRADES.	RECESSED LED DOWNLIGHT USAI #P4RDF-22L2-30KS-F-WH-NC-120V
5. ALL LIGHT FIXTURES THAT PENETRATE FIRE RATED FLOOR/CEILING ASSEMBLY MUST BE PROTECTED WITH FIRE RATED ASSEMBLY.	RECESSED LED WALL WASHER USAI #P4RWF-22L2-30KS-NC-120V-D21
	MULTI-CELL RECTANGULAR DOWNLIGHT FOR WOOD CEILING USAI #MDG-04-35KS-50-S-WH-BL-NC-MB-UNV-D6E-UA2
	8'-0" CEILING HEIGHT TAG

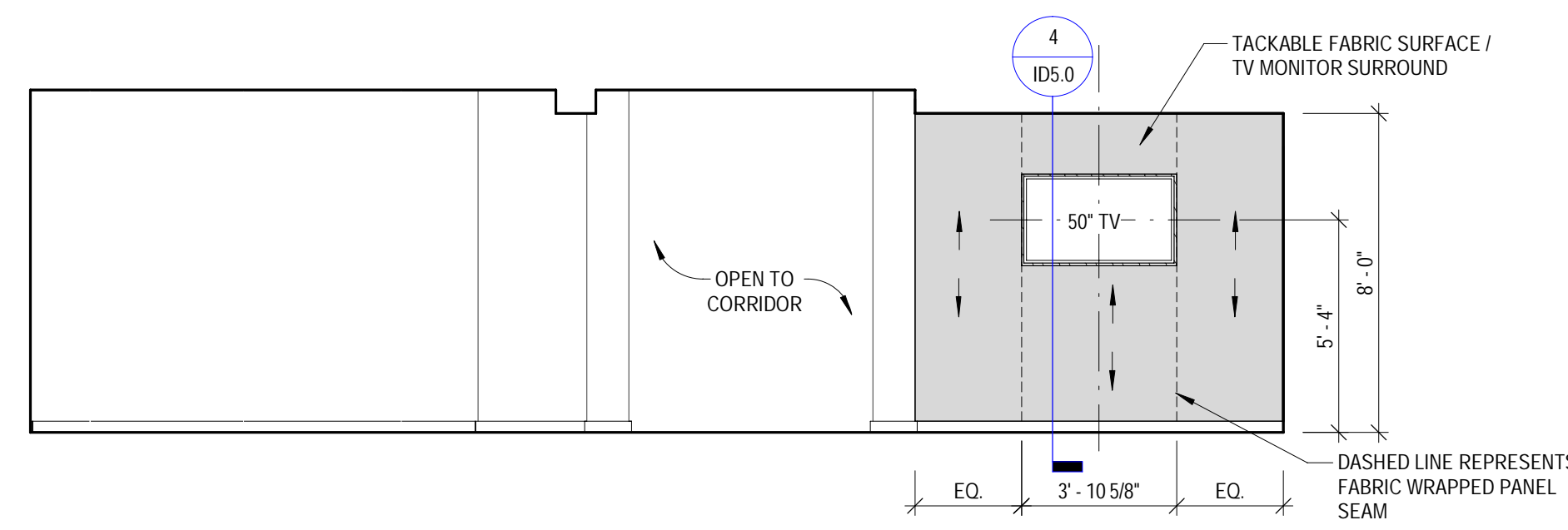


1 SECOND FLOOR - 1/8" RCP
 1/8" = 1'-0"

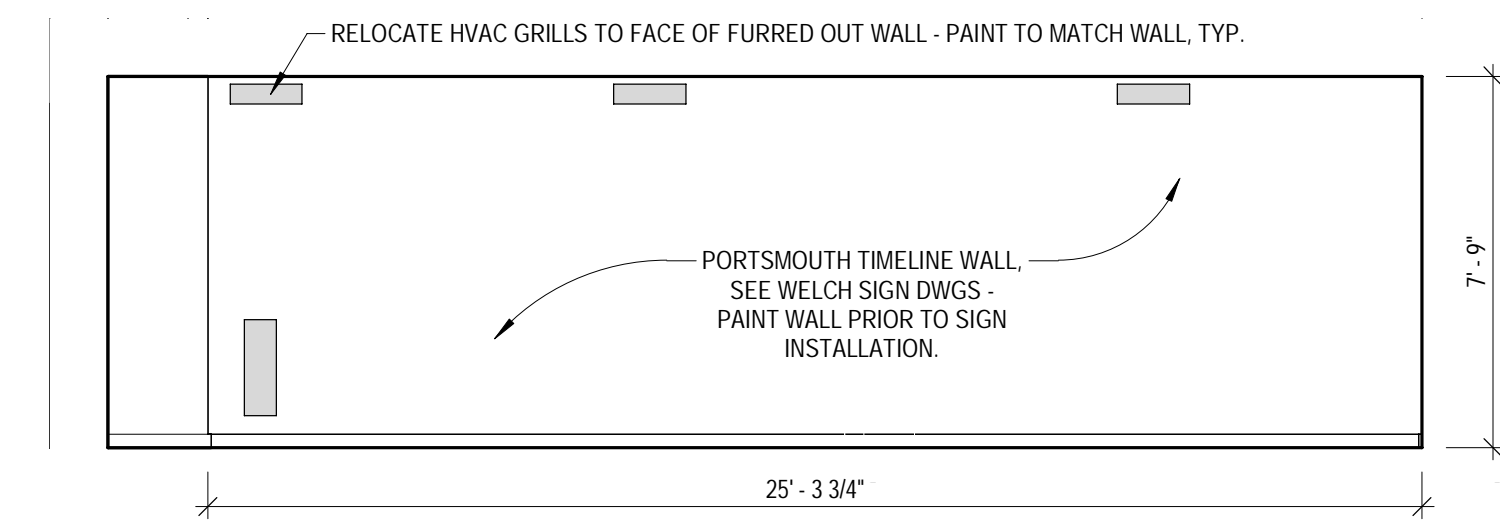
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1 LOBBY BUILT-IN BENCH
1/4" = 1'-0"



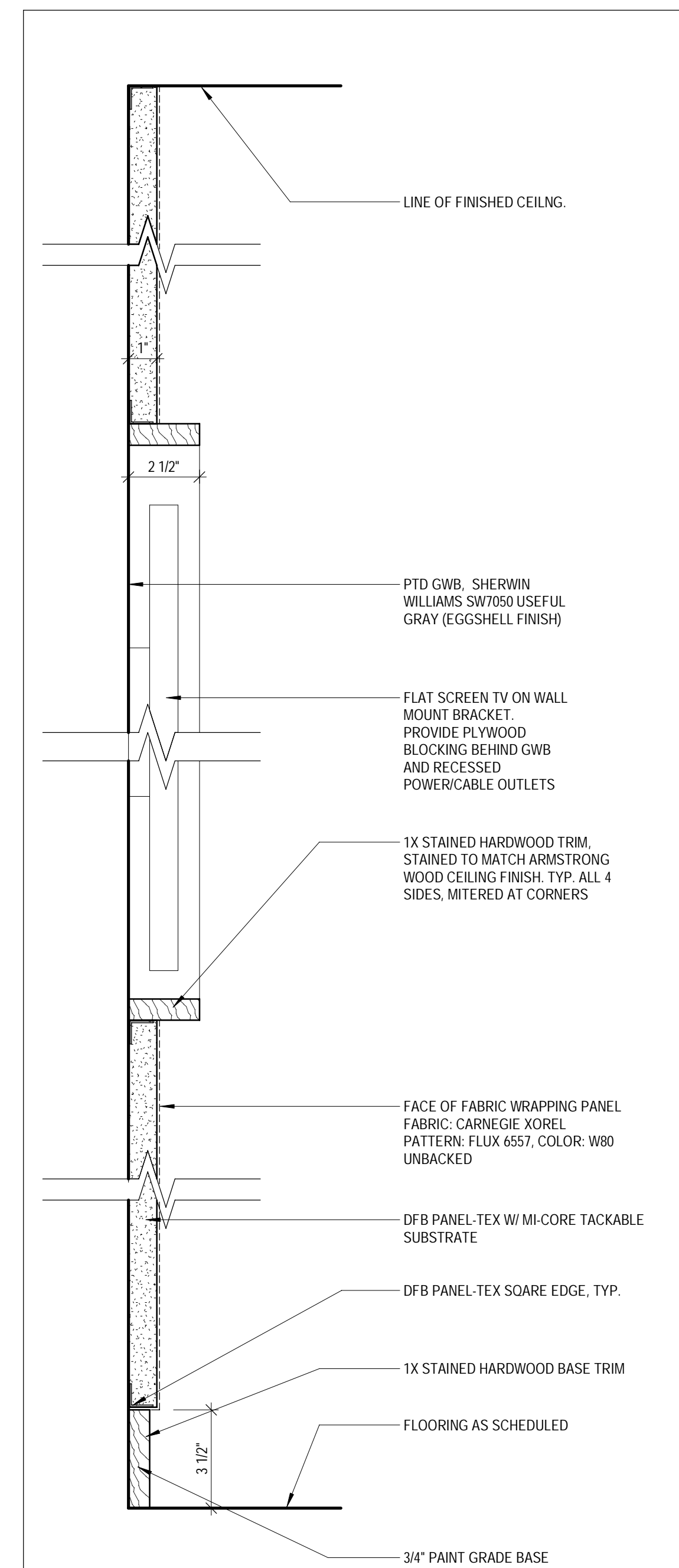
2 LOBBY - CC MONITOR & BULLETIN WALL
1/4" = 1'-0"



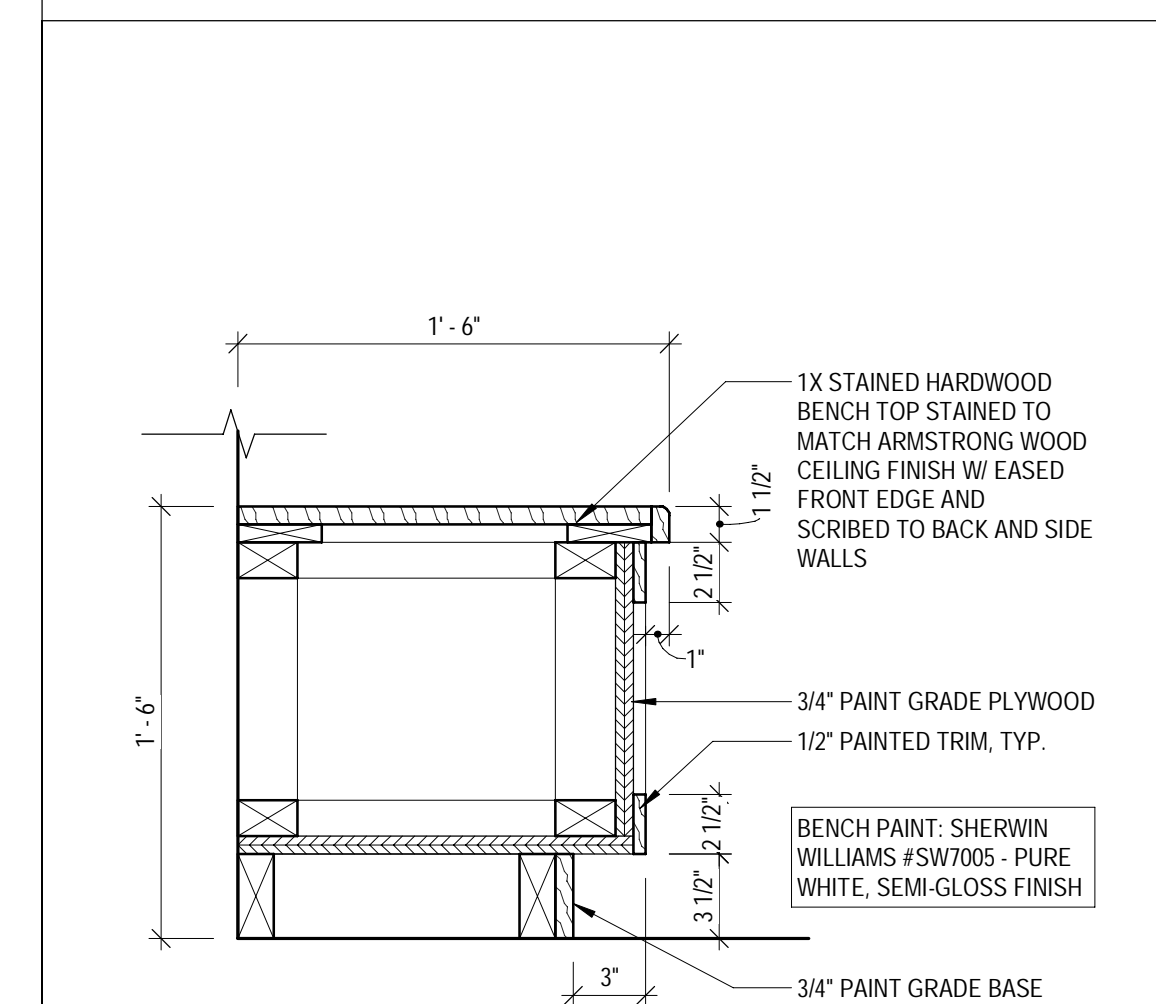
3 PORTSMOUTH ROOM - TIMELINE WALL
1/4" = 1'-0"

TYPICAL FINISHES:

- WALLS - SHERWIN WILLIAMS SW7050 USEFUL GRAY (EGGSHELL FINISH)
- TRIM/BENCH - SHERWIN WILLIAMS SW7005 PURE WHITE (SEMI-GLOSS FINISH)
- DRYWALL CEILINGS/SOFFITS - SHERWIN WILLIAMS SW7757 HIGH REFLECTIVE WHITE (FLAT FINISH)
- FABRIC WRAPPED PANELS - CARNEGIE XOREL PATTERN: FLUX 6557, COLOR: W80, UNBACKED



4 MILLWORK DETAIL - FABRIC WRAPPED TACKABLE PANEL
3" = 1'-0"



5 MILLWORK DETAIL - BENCH W/ RECESSED PANEL
1 1/2" = 1'-0"



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INTERIOR
ELEVATIONS &
MILLWORK
DETAILS

ID5.0